



hpa, inc.
600 grand ave, suite 302
oakland, ca
94610
tel: 949-862-2113
email: hpa@hparchs.com

Owner:

OMP
OVERTON MOORE PROPERTIES

19700 S VERMONT AVE, #100
TORRANCE, CA 90502

Project:

2334 LUNDY PLACE

SAN JOSE, CA

Consultants:

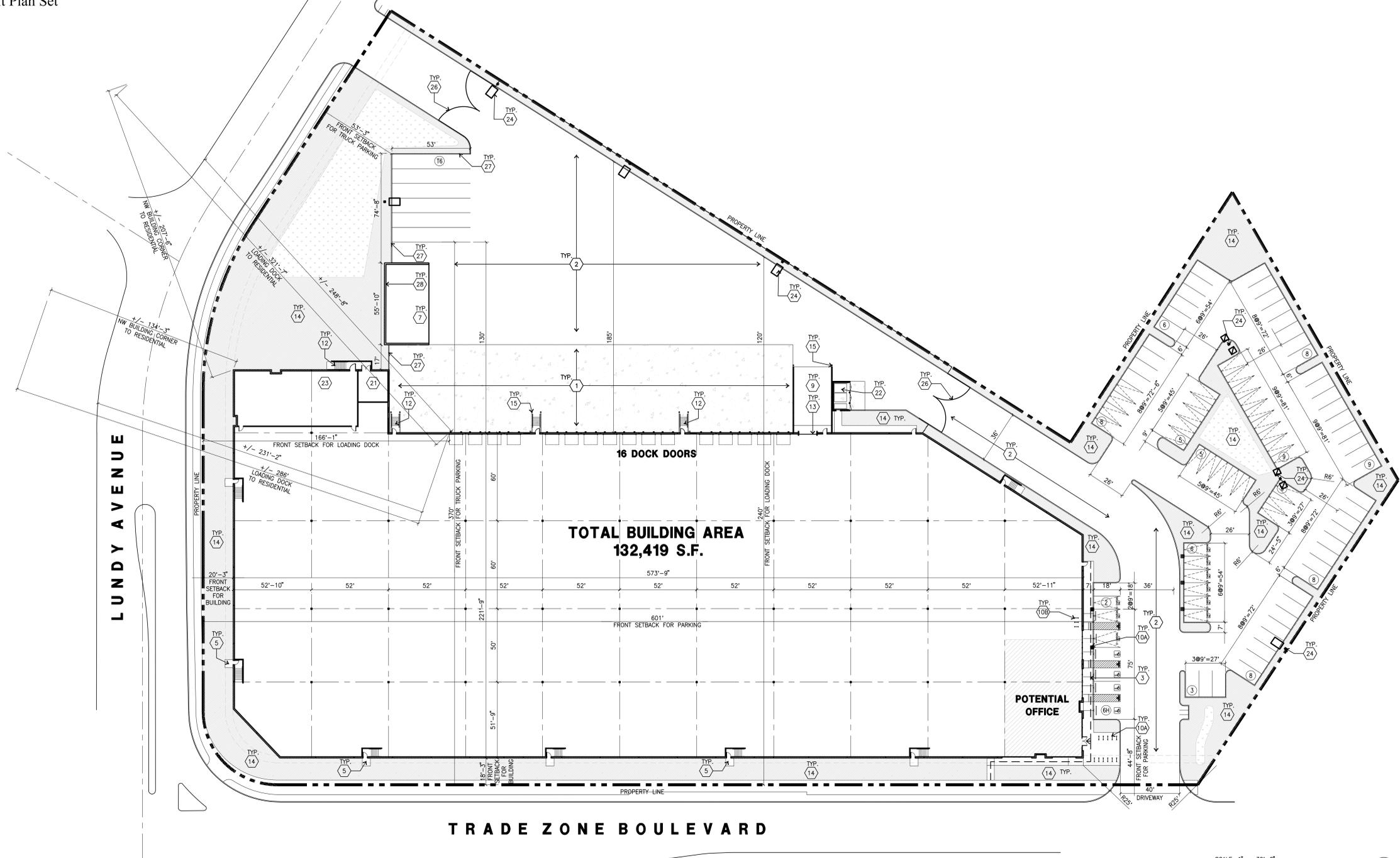
CIVIL K&W
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE GREEN DESIGN
FIRE PROTECTION
SOILS ENGINEER

Title: **OVERALL SITE PLAN**

Plan Check Number: H24-057
Project Number: 23445
Drawn by: M.D.
Date: 6/3/2025

Revision:

Sheet:
DAB-A1.1



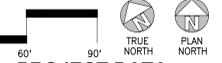
**TOTAL BUILDING AREA
132,419 S.F.**

16 DOCK DOORS

POTENTIAL OFFICE

OVERALL SITE PLAN (GENERAL PLAN - TRANSIT EMPLOYMENT CENTER)

SCALE: 1" = 30'-0"



Property owner

OVERTON MOORE PROPERTIES
19700 S VERMONT AVE, #100
TORRANCE, CA 90502
PHONE: (646) 379-1704
CONTACT: JENNIFER FREEDMAN

Applicant's representative

HPA, INC.
600 GRAND AVE., STE #302
OAKLAND, CA 94610
PHONE: (949) 863-1770
CONTACT: JUN LEE

Assessor's Parcel Number

244-01-023

Zoning

LIGHT INDUSTRIAL (LI)

BUILDING ADDRESS

2334 LUNDY PLACE
SAN JOSE, CA

CODE ANALYSIS

CONCRETE TILT-UP BUILDING
BUILDING OCCUPANCY: S-1 / B
OCCUPANCY SEPARATION: NONE
CONSTRUCTION TYPE: III-B
NUMBER OF STORIES: 2
AUTOMATIC FIRE SPRINKLER: YES (ESFR SYSTEM)
ALLOWABLE HEIGHT W/ AUTOMATIC SPRINKLER: 50'-0"
PROPOSED BUILDING HEIGHT: 40'-0"
ACTUAL AREA: 132,977 SF
ALLOWABLE AREA PER CBC 507: UNLIMITED BUILDING AREA

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 DRIVEWAY APRONS
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" - 1/2" MAX.
- 6 APPROXIMATE LOCATION OF TRANSFORMER.
- 7 EXISTING ELECTRICAL EQUIPMENT
- 8 CONCRETE WALKWAY, MEDIUM BROOM FINISH. SEE "L" DRAWINGS.
- 9 CONCRETE RAMP WITH CONCRETE GUARD WALL. SEE "C" DRAWINGS.
- 10A SHORT-TERM BIKE RACK.
- 10B LONG-TERM BIKE RACK.
- 11 ELECTRIC VEHICLE CHARGER.
- 12 EXTERIOR METAL STEEL STAIR.
- 13 12' x 14' DRIVE-IN DOOR

- 14 LANDSCAPE.
- 15 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- 16 PRE-CAST CONC. WHEEL STOP.
- 17 TRUNCATED DOMES.
- 18 ACCESSIBLE PARKING STALL SIGN.
- 19 HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- 20 ACCESSIBLE ENTRY SIGN.
- 21 PUMP ROOM.
- 22 TRASH ENCLOSURE.
- 23 ELECTRICAL ROOM.
- 24 EXTERIOR PARKING LIGHT POLE.
- 25 STORM TREATMENT. SEE "C" DRAWINGS.
- 26 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS.
- 27 8" HIGH CAST IN PLACE CONCRETE SOUND WALL.
- 28 EXISTING CONCRETE SOUND WALL APPROX. 8" HIGH

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA WAY W/ 1:20 MAX. SLOPE EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

VICINITY MAP

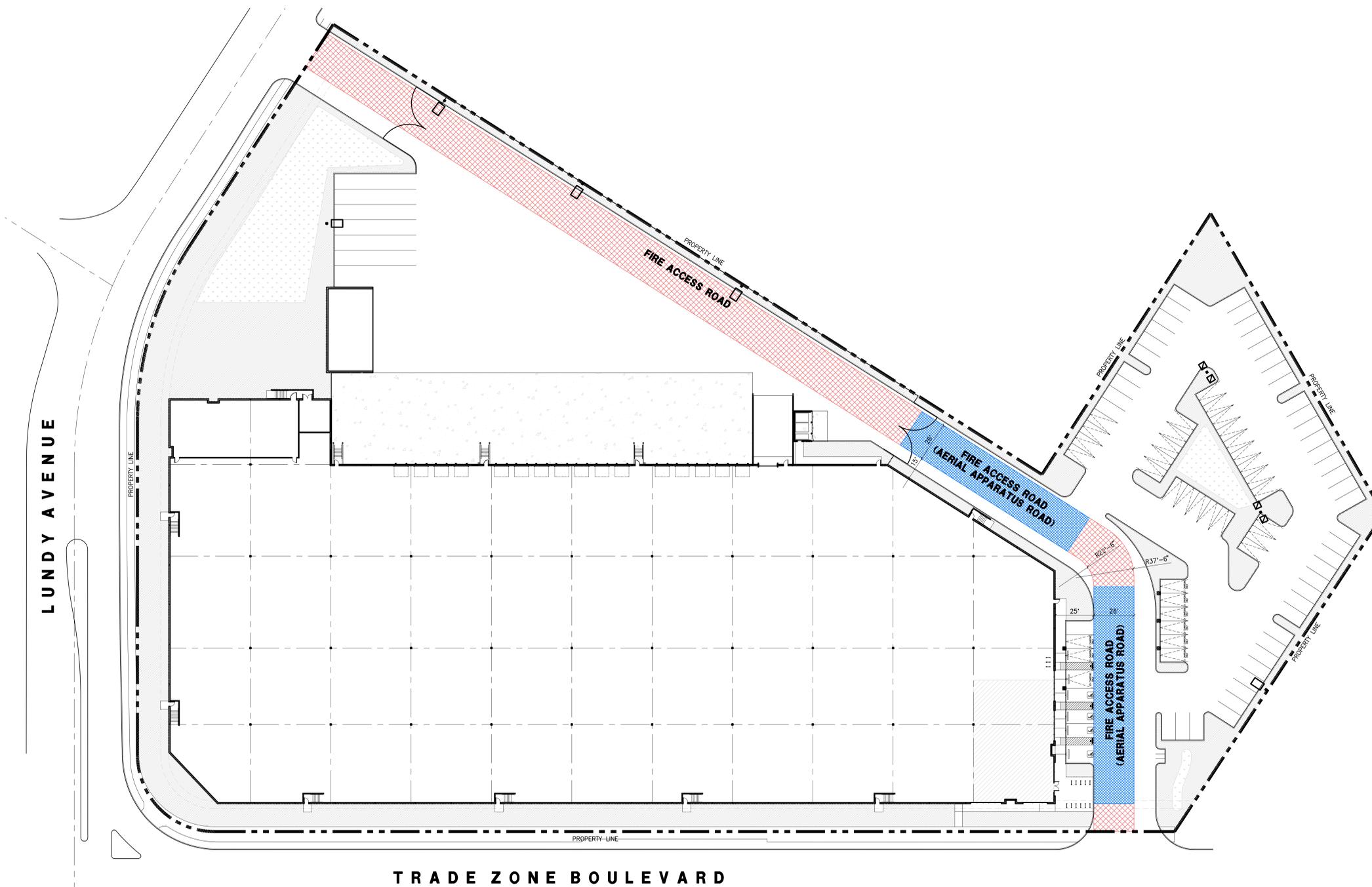


SITE PLAN GENERAL NOTES

- CONCRETE PAVING, SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL 9' X 18'
- EV STALL WITH CHARGER
- EV CAPABLE WITH CONDUIT ONLY
- LANDSCAPED AREA
- ACCESSIBLE PARKING STALL (9' X 18') + 5' W/ ACCESSIBLE AISLE
- ACCESSIBLE PARKING (VAN) STALL (9' X 18') + 9' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL, MINIMUM WIDTH TO BE 4', SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%, SEE CIVIL FOR GRADING PLAN

PROJECT DATA

SITE AREA	282,977 sf
In acres	6.50 ac
BUILDING AREA	
Office - 1st floor	5,000 sf
Office - mezzanine	5,000 sf
Industrial	122,419 sf
TOTAL	132,419 sf
Footprint	127,419 sf
FLOOR AREA RATIO	
Maximum Allow ed	To be verified
Actual	0.47
SITE COVERAGE	
Maximum Allow ed	To be verified
Actual	45.0%
AUTO PARKING REQUIRED	Required parking to be determined by TDM
AUTO PARKING PROVIDED	
Standard (12' x 18')	47 stalls
Accessible Standard (9' x 18')	3 stalls
Accessible Van (9' x 18')	1 stalls
Accessible EV Standard (9' x 18')	1 stalls
Accessible EV Van (9' x 18')	1 stalls
EVCS (9' x 18')	7 stalls
EV Capable (9' x 18')	26 stalls
TOTAL	86 stalls
TRAILER PARKING PROVIDED	
Trailer (10' x 55')	6 stalls
MOTORCYCLE PARKING	
Required (2.5% total auto stalls)	2 stalls
Provided (1 x 6)	3 stalls
BIKE PARKING PROVIDED	
Short Term	21
Long Term	5
BIKEWAY PROVIDED	
Short Term	22
Long Term	6
LOADING SPACES	
Required (15' x 30')	6
Provided	6
LOADING DOCKS	
Provided	16
ZONING ORDINANCE	
Zoning - LI Light Industrial	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - 50'	
SETBACKS	
Building	
Front - 15'	20' (30' for trucks, 50' for loading docks)
Side - 0' / 25' if Adj to Residential district	0' / 25' if Adj to Residential district
Rear - 0' / 25' if Adj to Residential district	0' / 25' if Adj to Residential district
Parking & Circulation	



FIRE ACCESS SITE PLAN
scale: 1" = 30'-0"



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600 grand ave, suite 302
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email: hpa@hparchs.com

Owner:

2334 Lundy Place LLC,
a Delaware limited liability company

Project:

2334 LUNDY PLACE

SAN JOSE, CA

Consultants:

CIVIL	K&W
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	GREEN DESIGN
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: FIRE ACCESS SITE PLAN

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STRUCTURAL	-
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Title: OVERALL FLOOR PLAN

Plan Check Number: H24-057

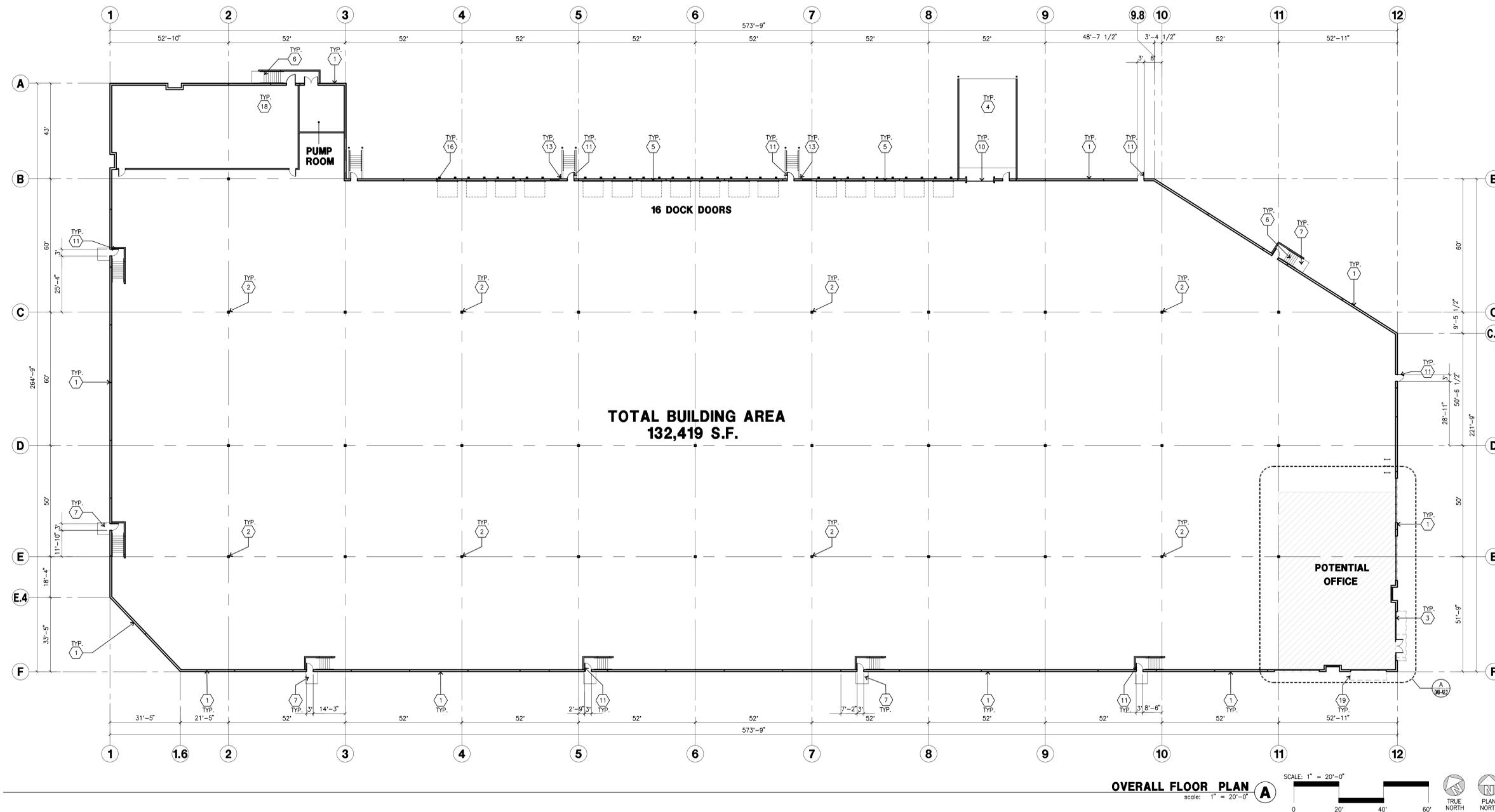
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**TOTAL BUILDING AREA
132,419 S.F.**

OVERALL FLOOR PLAN A
scale: 1" = 20'-0"
0 20' 40' 60'
TRUE NORTH PLAN NORTH

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 5 9' X 10' DOCK DOOR. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
- 8 4'X8' METAL LOUVER.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 CONC. FILLED GUARD POST. 6" DIA. U.N.O. 48"H.
- 13 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 14 INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- 15 INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- 16 Z GUARD.
- 17 INTERIOR BIKE RACK.
- 18 ELECTRICAL ROOM.
- 19 METAL CANOPY ABOVE.

GENERAL NOTES - FLOOR PLAN

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 125' +/- . A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE

FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS FOR DETAILS.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-R-96
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO GRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE F50 FL35 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE [Hatched Box] INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEGO OR EQUAL) CONFORMING TO ASTM E 1745 UNDER THE CONCRETE. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN OFFICE AREAS, WHERE SAND OVER VISQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 12. SEAL CONCRETE SLAB W/ "LAPIDOLITH" SEALER
 13. SHURESAL/LAPIDOLITH OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 14. NO PERMANENT GREASE PEN PANEL MARKS ON FLOOR SLAB.
 15. NO RED CAULK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
 16. 10' POUR STRIP AT TRUCK DOOR. 4FT. MAX. ELSEWHERE.
 17. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
 18. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.

PAINT NOTES

INTERIOR GYP. BD. WALLS : SINGLE COAT OF ACRYLIC PAINT
FRAZEEE "WHITE" ON INTERIOR WALLS.
ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GIRDERS SHALL HAVE LIGHT GRAY SHOP PRIMER.
INTERIOR STEEL COLUMNS : PAINT OSHA YELLOW 10' A.F.F. ABOVE 12' APPLY ONE COAT OF WHITE PAINT
PIPE BOLLARDS SHALL HAVE TWO COATS OF ENAMEL "OSHA YELLOW".
EXTERIOR CONCRETE WALLS WILL HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.
ALL EXTERIOR HOLLOW METAL DOORS AND DOCK DOORS TO HAVE ONE COAT OF EXTERIOR PRIMER AND TWO COATS OF ACRYLIC PAINT TO MATCH ADJACENT SURFACE COLORS. PIPE STEEL HANDRAILS SHALL HAVE TWO COATS OF LATEX PAINT.

WALL LEGEND - ALL FLOOR PLANS

- | | |
|----|--|
| 1 | CONCRETE TILT-UP WALL. SEE "S" DRAWINGS FOR PANEL THICKNESS. |
| 3 | STOREFRONT SYSTEM. SEE DETAIL 16/AD.4 |
| 4A | 3 5/8" 20GA METAL STUDS, U.N.O. @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. TO EXTEND TO 14' A.F.F., SEE DETAILS 16/AD.5 AND STUD SCHEDULE FOR SIZES PER HEIGHT.
PROVIDE BATT INSULATION AT PUMP ROOM FOR NOISE
* FIRE RATED CONSTRUCTION. SEE DETAIL 15/AD.5 |



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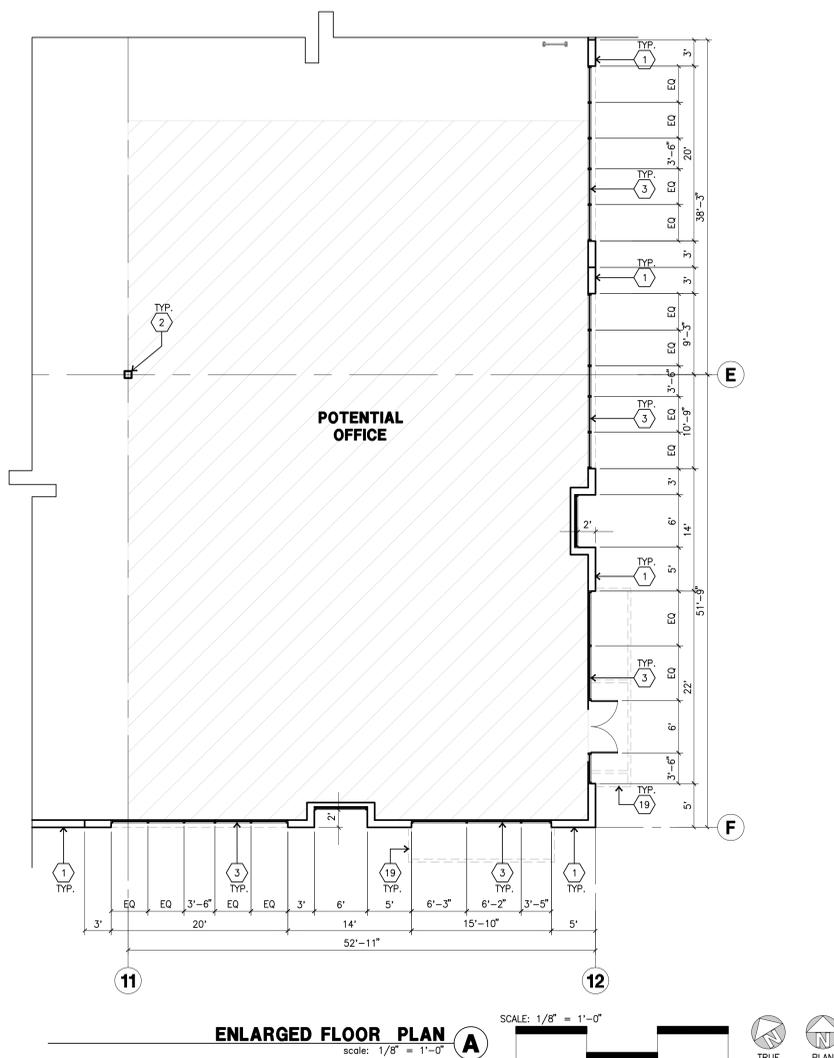
Drawn by: M.D.

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DAB-A2.2



KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
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- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
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- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 48"H.
- 13 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 14 INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- 15 INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- 16 Z GUARD.
- 17 INTERIOR BIKE RACK.
- 18 ELECTRICAL ROOM.
- 19 METAL CANOPY ABOVE.

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2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE

FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB: SEE STRUCTURAL DRAWINGS FOR DETAILS.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-R-99
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE F50 FLJS MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE [Hatched Box] INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEGO OR EQUAL) CONFORMING TO ASTM E 1745 UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN OFFICE AREAS, WHERE SAND OVER VISAKEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 12. SEAL CONCRETE SLAB W/ "LAPIDOLITH" SEALER
 13. SHURESAL/LAPIDOLITH OR APPROVED EQUAL FLOOR SEALER APPLIED ONE COAT AT END OF JOB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 14. NO PERMANENT GREASE PEN PANEL MARKS ON FLOOR SLAB.
 15. NO RED CAULK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
 16. 10' POUR STRIP AT TRUCK DOOR. 4FT. MAX. ELSEWHERE.
 17. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PISA BOND LV 2000/BURKE EPOXY INJECTION RESIN OR EQUAL.
 17. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 18. MM-80 AT SPEED BAY ONLY. PRICE AS ADDITIONAL ALTERNATE.

PAINT NOTES

- INTERIOR GYP. BD. WALLS : SINGLE COAT OF ACRYLIC PAINT
FRAZEE "WHITE" ON INTERIOR WALLS.
- ALL STRUCTURAL STEEL MEMBER INC. COLUMNS, LEDGERS, JOISTS, & GIRDERS SHALL HAVE LIGHT GRAY SHOP PRIMER.
- INTERIOR STEEL COLUMNS : PAINT OSHA YELLOW 10' A.F.F. ABOVE 12' APPLY ONE COAT OF WHITE PAINT
- PIPE BOLLARDS SHALL HAVE TWO COATS OF ENAMEL "OSHA YELLOW".
- EXTERIOR CONCRETE WALLS WILL HAVE ONE COAT OF PRIMER AND ONE FINISH COAT OF PAINT.
- ALL EXTERIOR HOLLOW METAL DOORS AND DOCK DOORS TO HAVE ONE COAT OF EXTERIOR PRIMER AND TWO COATS OF ACRYLIC PAINT TO MATCH ADJACENT SURFACE COLORS. PIPE STEEL HANDRAILS SHALL HAVE TWO COATS OF LATEX PAINT.

WALL LEGEND - ALL FLOOR PLANS

1	[Hatched Box]	CONCRETE TILT-UP WALL. SEE "S" DRAWINGS FOR PANEL THICKNESS.
3	[Hatched Box]	STOREFRONT SYSTEM. SEE DETAIL 16/AD.4
4A	[Hatched Box]	3 5/8" 200A METAL STUDS, U.N.O. @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. TO EXTEND TO 14' A.F.F.. SEE DETAILS 16/AD.5 AND STUD SCHEDULE FOR SIZES PER HEIGHT.
		PROVIDE BATT INSULATION AT PUMP ROOM FOR NOISE
		* FIRE RATED CONSTRUCTION. SEE DETAIL 15/AD.5



hpa, inc.
600 grand ave, suite 302
oakland, ca
94610
tel: 949-862-2113
email: hpa@hparchs.com

Owner:

2334 Lundy Place LLC,
a Delaware limited liability company

Project:

2334 LUNDY
PLACE

SAN JOSE, CA

Consultants:

CIVIL	K&W
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	GREEN DESIGN
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: ELEVATION

Plan Check Number: H24-057

Project Number: 23445

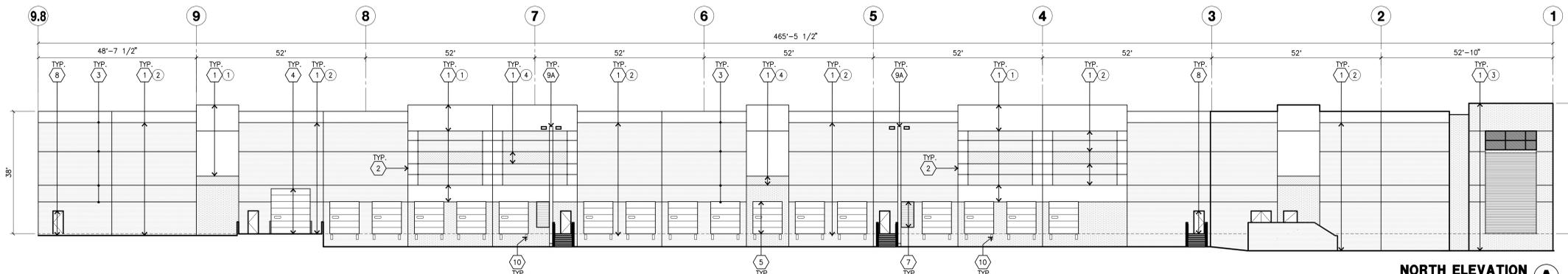
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Date: 6/3/2025

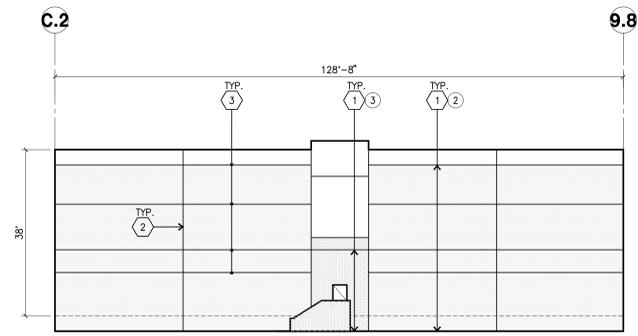
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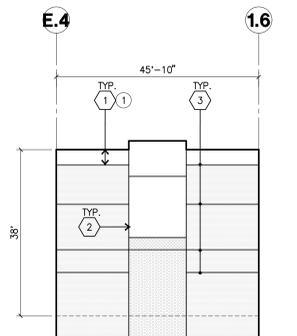
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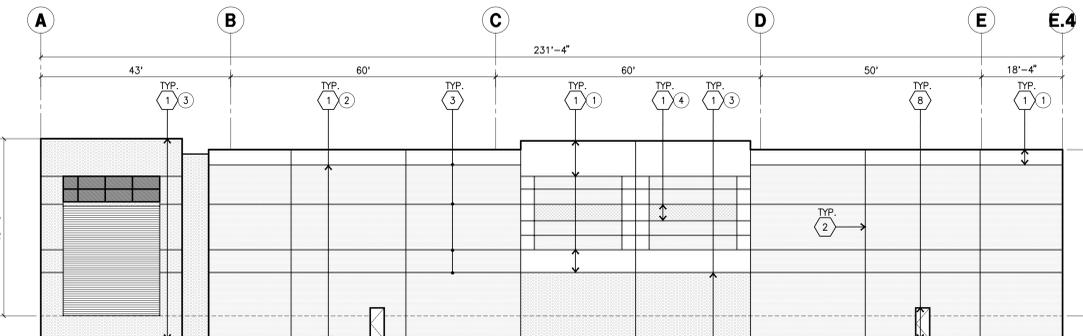
NORTH ELEVATION
scale: 1/16" = 1'-0" **A**



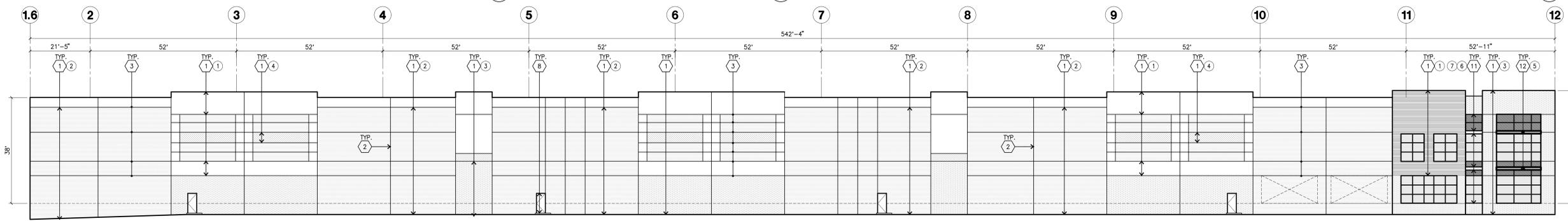
NORTHEAST ELEVATION
scale: 1/16" = 1'-0" **F**



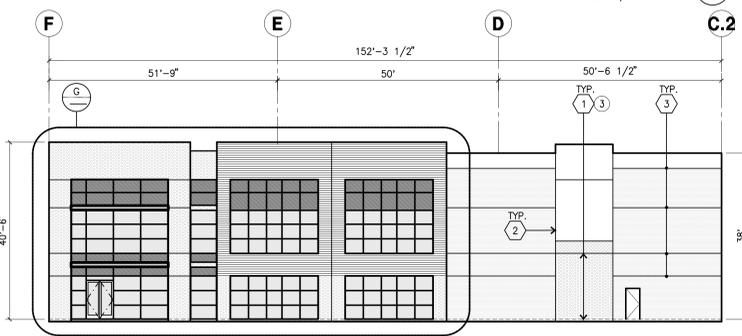
SOUTHWEST ELEVATION
scale: 1/16" = 1'-0" **E**



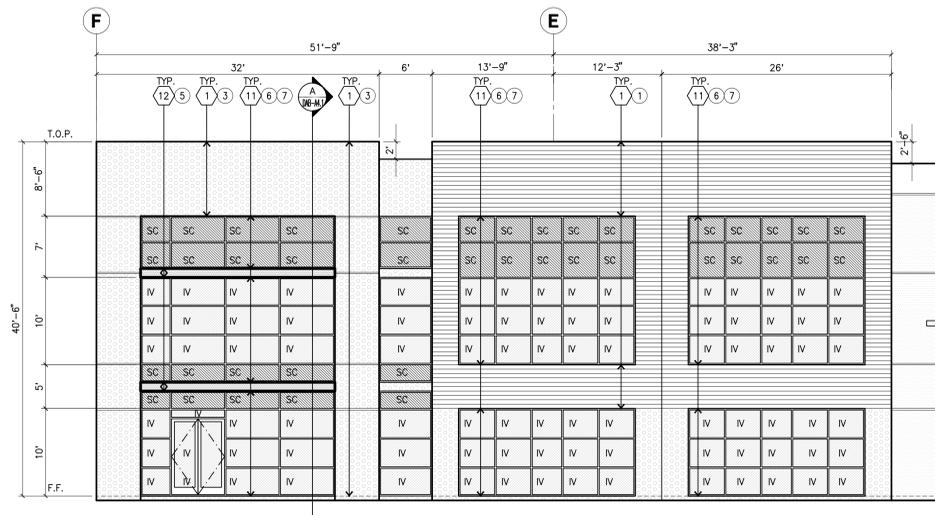
WEST ELEVATION
scale: 1/16" = 1'-0" **B**



SOUTH ELEVATION
scale: 1/16" = 1'-0" **C**



EAST ELEVATION
scale: 1/16" = 1'-0" **D**



ENLARGED EAST ELEVATION
scale: 1/8" = 1'-0" **G**

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE C DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 9B INTERIOR ROOF DRAIN AND OVERFLOW SCUPPER.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY

GENERAL NOTES - ELEVATIONS

- A ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C T.O.P. EL = TOP OF PARAPET ELEVATION.
- D F.F. = FINISH FLOOR ELEVATION.
- E STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY SPECIFIED WIND SPEED. EXPOSURE WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L EXTERIOR STAIRS AND RAMP TO MATCH BUILDING COLOR.
- M ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

GLAZING LEGEND

- IV INSULATED VISION GLASS
- SC SPANDREL GLASS WITH CONCRETE BEHIND
- SL SINGLE LITE VISION GLASS
- IV : INSULATED VISION GLASS
1/4" VISTACOOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.21 VLT: 28%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOOL PACIFICA WITH OPACI-COAT-300 WARM GRAY
INSTALLED ON CONCRETE.
- V : VISION GLASS
1/4" VISTACOOL PACIFICA
- MULLIONS : ANODIZED CLEAR.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL COLOR : SW 7006 EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL COLOR : SW 7072 ONLINE
- 3 CONCRETE TILT-UP PANEL COLOR : SW 7020 BLACK FOX
- 4 CONCRETE TILT-UP PANEL COLOR : SW 6244 NAVAL
- 5 CANOPY MATERIAL : SHERWIN-WILLIAMS METALLICS SW 7020 BLACK FOX (CLEAR COAT)
- 6 MULLIONS COLOR : ANODIZED CLEAR
- 7 GLAZING COLOR : BLUE GLAZING
- 8 DOOR COLORS : MATCH ADJACENT COLOR

WALL ARTICULATION

PERCENTAGE OF FACADE WALL ARTICULATION: 40.6%



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tel: 949-862-2113
email: hpa@hparchs.com

Owner:

2334 Lundy Place LLC,
a Delaware limited liability company

Project:

2334 LUNDY
PLACE

SAN JOSE, CA

Consultants:

CIVIL	K&W
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	GREEN DESIGN
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: SECTION

Plan Check Number: H24-057

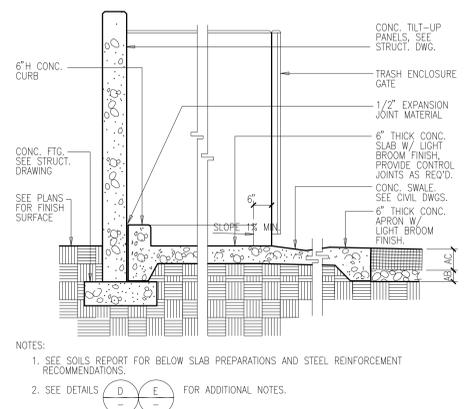
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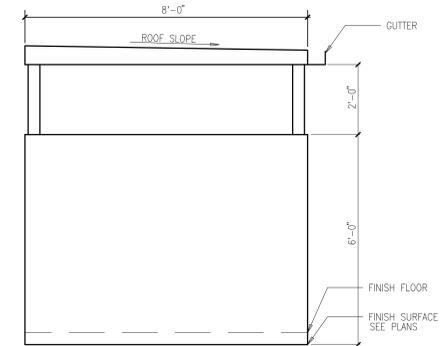
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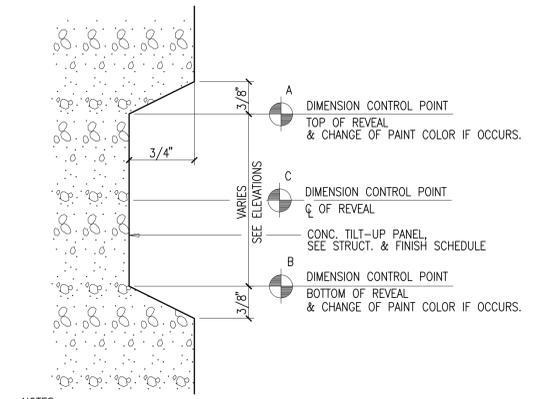
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DAB-A4.1



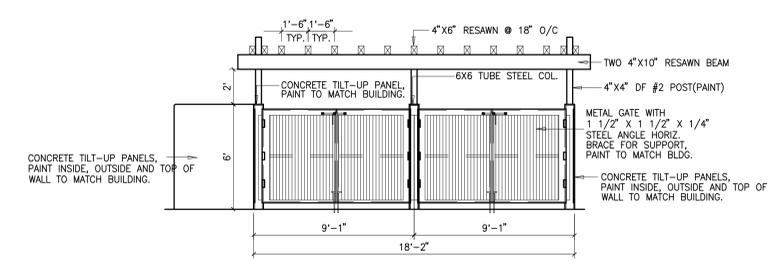
TRASH ENCLOSURE SECTION F
scale: 1/2" = 1'-0"



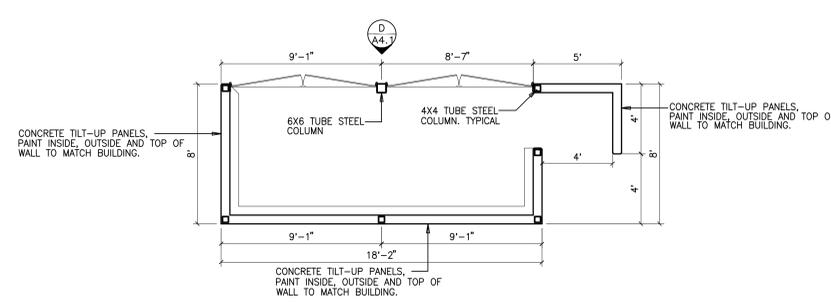
TRASH ENCLOSURE GATE SECTION E
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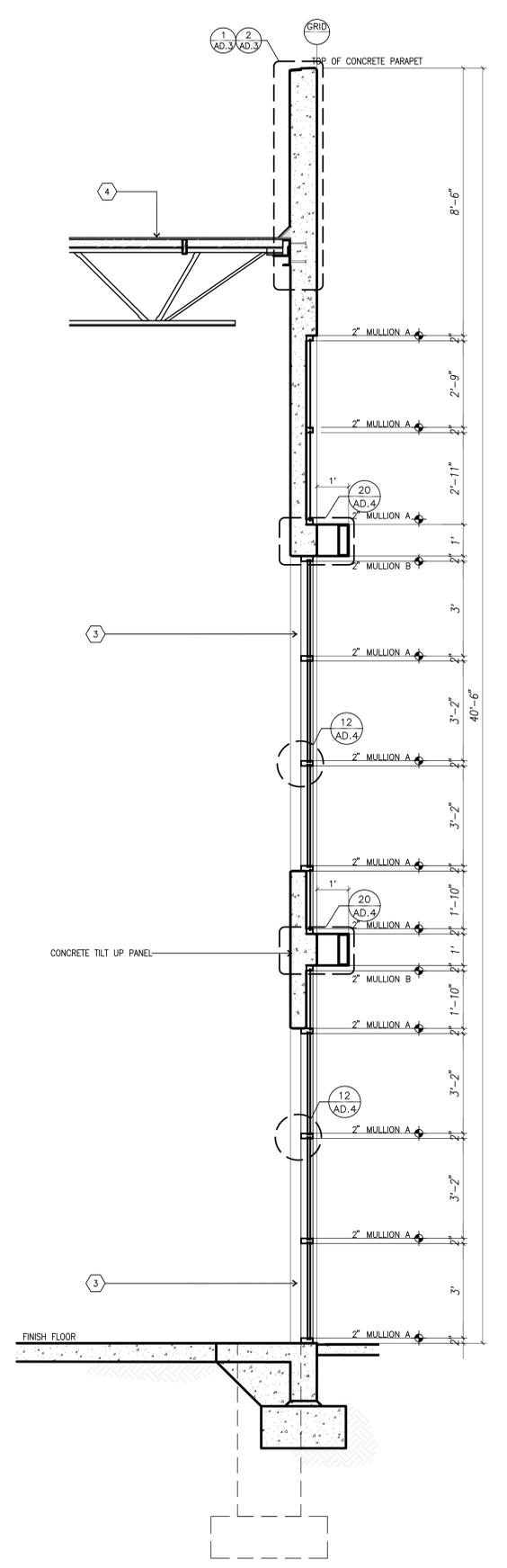
TYP. CONCRETE REVEAL B
scale: N.T.S.



TRASH ENCLOSURE GATE ELEVATION G
scale: 1/4" = 1'-0"



TRASH ENCLOSURE PLAN C
scale: 1/4" = 1'-0"



TYP. STOREFRONT ELEVATION A
scale: 1/2" = 1'-0"

Exhibit D - Permit Plan Set

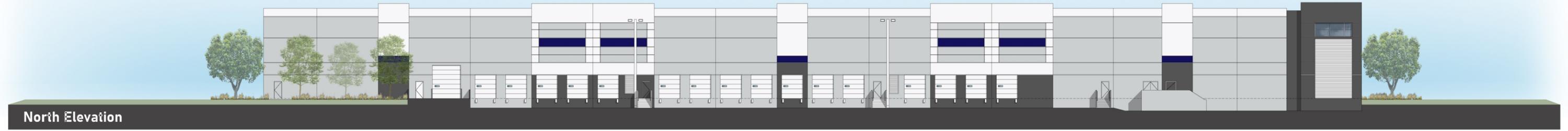
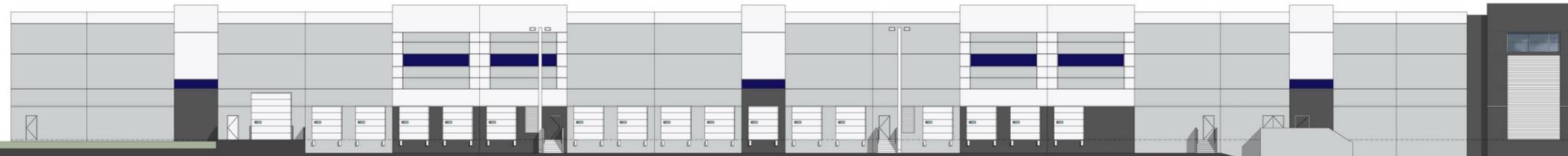
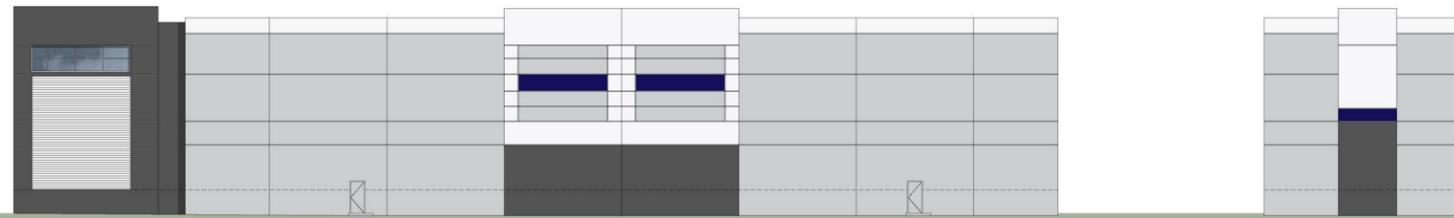


Exhibit D - Permit Plan Set



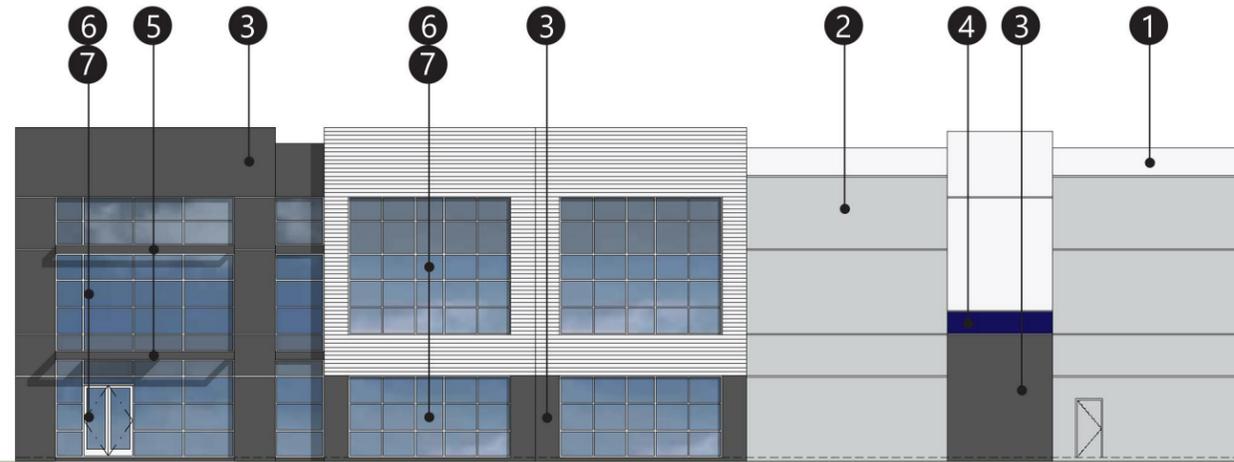
North Elevation



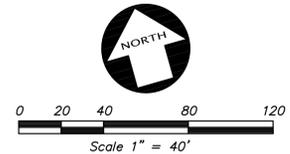
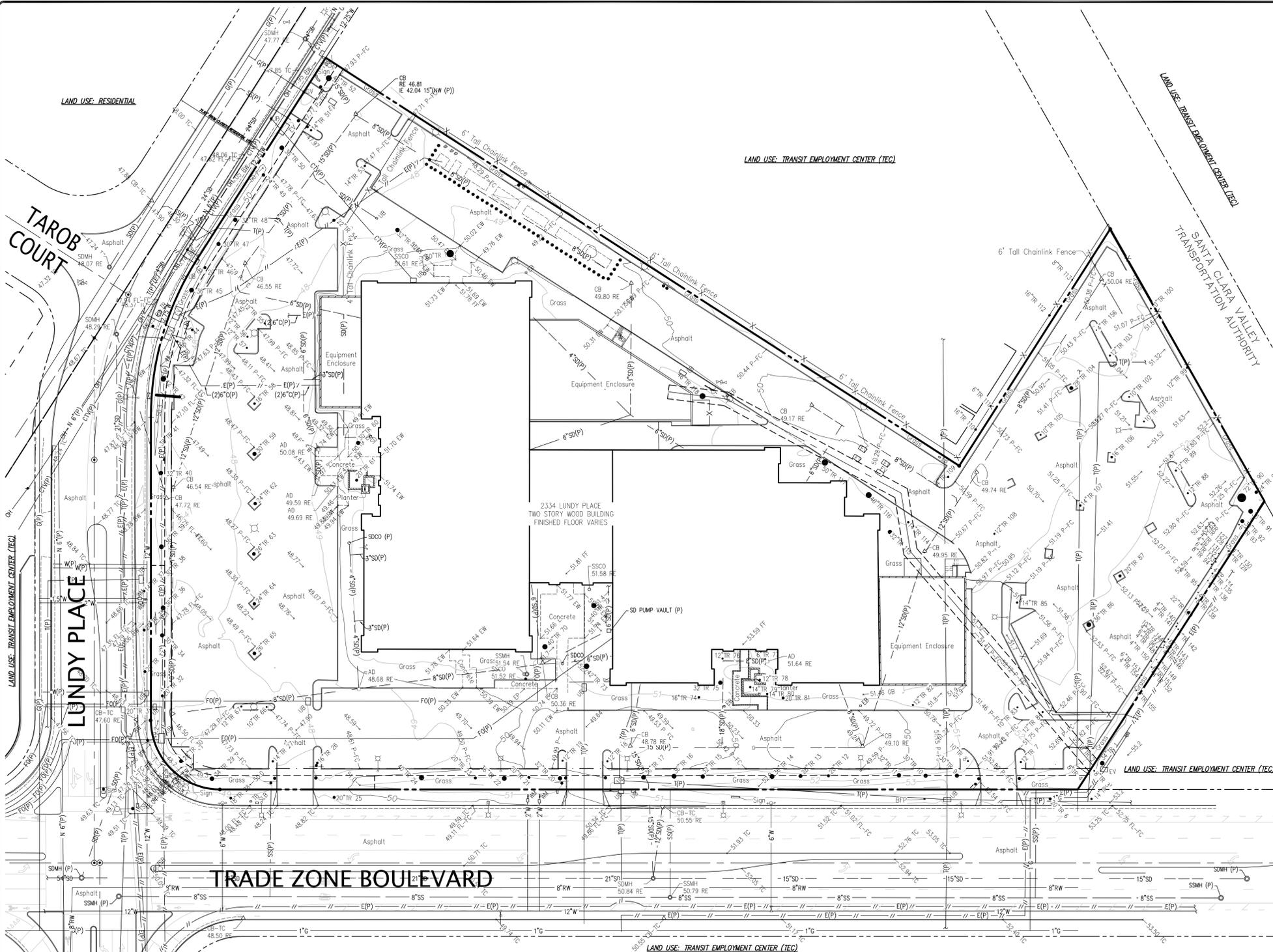
West Elevation

Southwest Elevation

<p>1</p> 	<p>2</p> 	<p>3</p> 	<p>4</p> 	<p>5</p> 	<p>6</p> 	<p>7</p> 
<p>SHERWIN WILLIAMS SW 7006 EXTRA WHITE</p>	<p>SHERWIN WILLIAMS SW 7072 ONLINE</p>	<p>SHERWIN WILLIAMS SW 7020 BLACK FOX</p>	<p>SHERWIN WILLIAMS SW 6244 NAVAL</p>	<p>SHERWIN-WILLIAMS METALLICS SW 7020 BLACK FOX (CLEAR COAT) @CANOPY</p>	<p>CLEAR ANODIZED MULLIONS</p>	<p>BLUE GLAZING</p>



Enlarged View of East Elevation



NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, DATED JUNE 7, 2024, NUMBER 30043659-991-991-KD9. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR SANTA CLARA COUNTY, CALIFORNIA, MAP NUMBER 06085C0069H FOR COMMUNITY NUMBER 060349 (CITY OF SAN JOSE), WITH AN EFFECTIVE DATE OF MAY 18, 2009, AS BEING LOCATED IN FLOOD ZONE "AO".

ACCORDING TO FEMA THE DEFINITION OF ZONE "AO" IS: FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED.

AVERAGE DEPTH HAS BEEN DETERMINED TO BE 1 FOOT

INFORMATION WAS OBTAINED FROM FEMA WEBSITE ([HTTPS://MSC.FEMA.GOV/PORTAL/HOME](https://msc.fema.gov/portal/home)) ON JULY 25, 2024.

FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM.
- BENCHMARK:
LETTER "F" IN FOUNDRY ON THE CATCH BASIN AT THE SOUTHWEST RETURN OF LUNDY AT FORTUNE DRIVE.
ELEVATION = 51.07 FEET CITY OF SAN JOSE DATUM (NGVD 1929)
- BASIS OF BEARINGS:
THE BEARING OF N 84°10'36" W TAKEN ON THE MONUMENT LINE OF TRADE ZONE BOULEVARD AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON APRIL 1, 1975, IN BOOK 353 OF MAPS AT PAGE(S) 40-48, OFFICIAL RECORDS OF SANTA CLARA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FILING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

LEGEND

	BUILDING LINE
	BUILDING OVERHANG LINE
	CENTER LINE
	COMMUNICATION LINE
	CONCRETE/BLOCK WALL
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	CONTOUR LINE-MAJOR
	CONTOUR LINE-MINOR
	DRIVEWAY
	EASEMENT LINE
	EDGE OF PAVEMENT
	ELECTRIC LINE
	FEMA FLOOD ZONE BOUNDARY
	FENCE LINE
	FIBER OPTICS LINE
	FIRE SERVICE LINE & VALVE
	GAS LINE-VALVE & METER
	HANDRAIL
	IRRIGATION WATER LINE
	JOINT TRENCH LINE
	LOT LINE
	LOT LINE OLD
	MONUMENT/MONUMENT LINE
	OVERHEAD POWER LINE
	PROPERTY LINE
	SANITARY SEWER LINE-MANHOLE & CLEANOUT
	SIDEWALK
	SPOT ELEVATION
	STORM DRAIN LINE-MANHOLE & CATCH BASIN
	STREET LIGHT CONDUIT LINE
	TELEPHONE LINE
	TRAFFIC SIGNAL CONDUIT LINE
	CABLE TELEVISION LINE
	WATER LINE & VALVE
	ACCESSIBLE PARKING SYMBOL
	ANODE
	AREA DRAIN
	AUTOMATIC SPRINKLER
	BACKFLOW PREVENTION DEVICE
	DOUBLE DETECTOR CHECK VALVE
	ELECTROLINER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	FLAG POLE
	GAS METER
	GUY ANCHOR
	HOSEBIBB
	IRON PIPE FOUND
	MAIL BOX
	NAIL FOUND
	POST INDICATOR VALVE
	POWER POLE/JOINT POLE
	TRANSFORMER
	TRAFFIC SIGNAL POLE
	TRAFFIC SIGN
	TREE
	UTILITY BOX
	WALK-BOLLARD LIGHT
	WATER VALVE

ABBREVIATIONS

AD	AREA DRAIN
BC	BEGINNING OF CURVE
BEG	BEGINNING
BFP	BACK FLOW PREVENTER
BLDG	BUILDING
BOL	BOLLARD
BTM	BOTTOM
CB	CATCH BASIN
CL	CENTERLINE
DI	DROP INLET
DWY	DRIVEWAY
EB	ELECTRIC BOX
EC	END OF CURVE
ELEC	ELECTRICAL
EP	EDGE OF PAVEMENT
EV	ELECTRIC VAULT
FC	FACE OF CURB
FD	FOUND
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
FNC	FENCE
FND	FOUND
FW	FACE OF WALL
GB	GRADE BREAK
GM	GAS METER
GRN	GROUND
GUY	GUY WIRE
GV	GAS VALVE
IP	IRON PIPE
JP	JOINT POLE
LIP	LIP OF GUTTER
LT	LIGHT
MON	MONUMENT
PCC	POINT OF COMPOUND CURVE
PGE	PACIFIC GAS & ELECTRIC
PIV	POST INDICATOR VALVE
POC	POINT ON CURVE
PRC	POINT OF REVERSE CURVE
RE	RIM ELEVATION
SDMH	STORM DRAIN MANHOLE
SL	STREET LIGHT
SLB	STREET LIGHT BOX
TB	TELEPHONE BOX
TC	TOP OF CURB
TOP	TOP OF SLOPE
TR	TREE
TS	TOP OF SLAB
TSB	TRAFFIC SIGNAL BOX
TSP	TRAFFIC SIGNAL POLE
TW	TOP OF WALL
UB	UTILITY BOX
WB	WATER BOX
WM	WATER METER
WV	WATER VALVE

DEMOLITION NOTE: A DEMOLITION PLAN SHALL BE PROVIDED UPON APPROVAL OF THESE PRELIMINARY GRADING PLANS BY THE PLANNING DEPARTMENT. A BUILDING DEMOLITION PERMIT APPLICATION SHALL BE FILED ALONG WITH A GRADING & DRAINAGE PERMIT APPLICATION UPON ENTITLEMENT APPROVAL.

UTILITY NOTE: THIS SITE HAS FIBER OPTIC LINES LOCATED ON OR ADJACENT TO IT.

NO.	REVISIONS	BY
1	1st PLANNING SUBMITTAL 09.25.2024	DGR
2	2nd PLANNING SUBMITTAL 01.28.2025	DGR
3	3rd PLANNING SUBMITTAL 06.03.2025	DGR
4	4th PLANNING SUBMITTAL 07.17.2025	DGR

KIER+WRIGHT

Phone: (949) 508-0202
www.kierwright.com

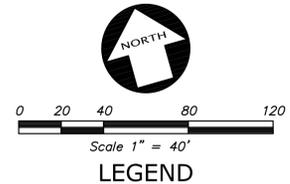
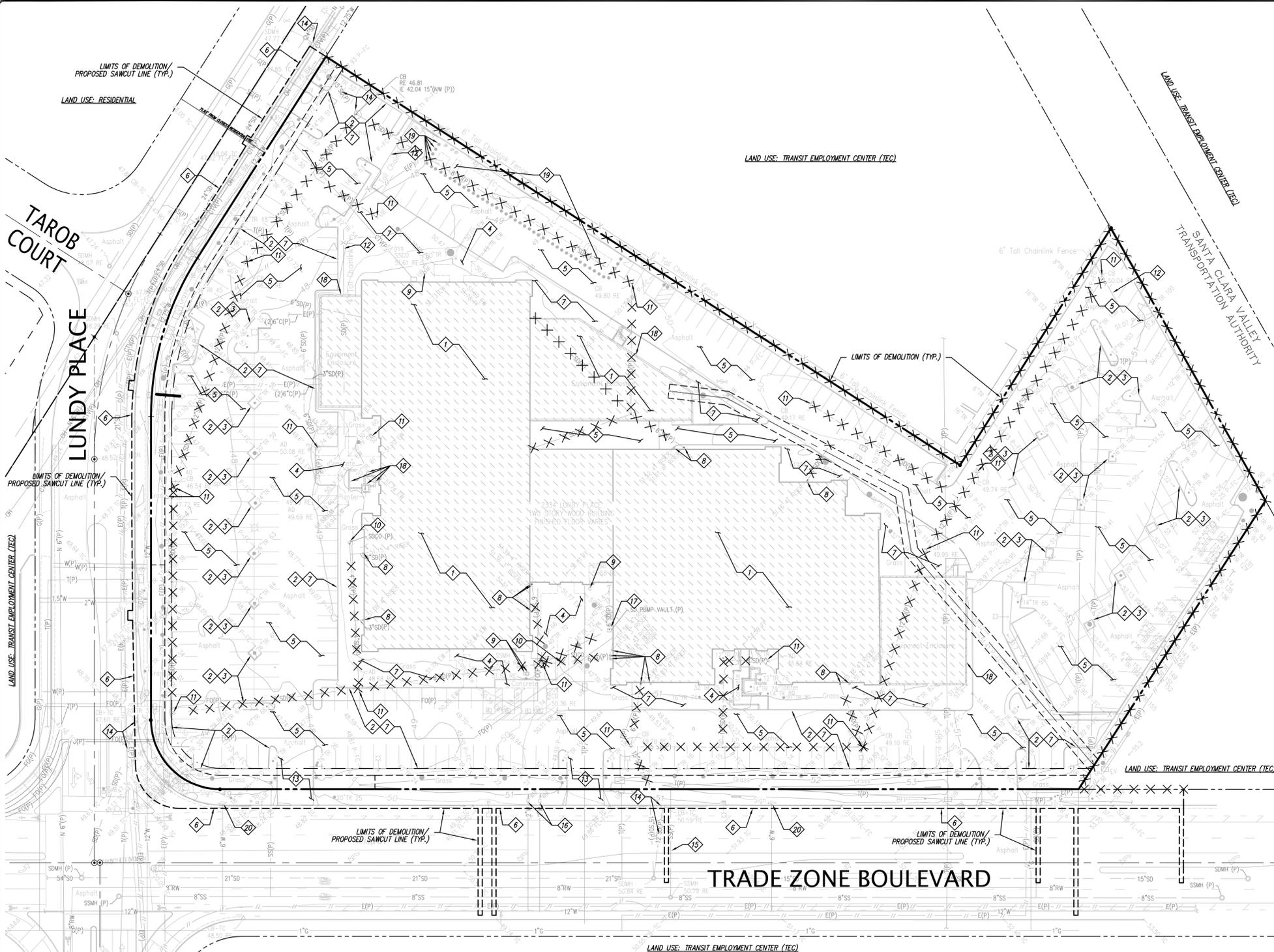
8965 Research Drive
Irvine, CA 92618

TOPOGRAPHIC SURVEY

PRELIMINARY GRADING PLANS OF
2334 LUNDY PLACE
FOR
2334 LUNDY PLACE LLC, A DELAWARE
LIMITED LIABILITY COMPANY
SAN JOSE, CALIFORNIA

DRAWN BY: AMC CHECKED BY: DGR DEPARTMENT: CIVIL

ORIGINAL ISSUE DATE: 09.25.2024
CURRENT SET ISSUE DATE: 7.15.2025
PERMIT SET / CONSTRUCTION ISSUE DATE: TBD
DRAWING NUMBER: C1.0
1 OF 9 SHEETS



LEGEND

[Symbol]	EXISTING BUILDING TO BE DEMOLISHED
[Symbol]	SAWCUT LINE
[Symbol]	UNDERGROUND UTILITIES TO BE REMOVED.
[Symbol]	UNDERGROUND UTILITIES TO BE ABANDONED.
[Symbol]	EXISTING BUILDING TO BE DEMOLISHED & REMOVED.
[Symbol]	REMOVE CONCRETE CURB.
[Symbol]	REMOVE IRRIGATION AND LANDSCAPING IN PARKING ISLAND.
[Symbol]	REMOVE CONCRETE SIDEWALK.
[Symbol]	REMOVE 12"± OF AC CONCRETE & AGGREGATE BASE ROCK FROM ALL EXISTING AC PAVEMENT AREAS
[Symbol]	REMOVE & REPLACE CONCRETE CURB & GUTTER ALONG SITE FRONTAGE.
[Symbol]	REMOVE IRRIGATION & LANDSCAPING.
[Symbol]	REMOVE EXISTING ROOF DRAIN CONNECTIONS OR PLUG WITH 2 SACK SLURRY MIX.
[Symbol]	LOCATE AND REMOVE ALL EXISTING SANITARY SEWER CLEANOUTS (SSCO) & MANHOLES (SSMH).
[Symbol]	LOCATE & REMOVE ALL EXISTING STORM DRAIN CLEANOUTS (SDCO) & MANHOLES (SDMH).
[Symbol]	REMOVE EXISTING AREA DRAINS & CATCH BASINS.
[Symbol]	REMOVE EXISTING FENCE.
[Symbol]	REMOVE EXISTING DRIVEWAY ENTRANCE.
[Symbol]	PROTECT EXISTING CATCH BASIN/STORM DRAIN LINE IN PLACE.
[Symbol]	PROTECT EXISTING SANITARY SEWER LINE IN PLACE.
[Symbol]	PROTECT EXISTING WATER METERS IN PLACE.
[Symbol]	REMOVE EXISTING STORM DRAIN PUMP VAULT.
[Symbol]	REMOVE EXISTING WALLS.
[Symbol]	REMOVE EXISTING ELECTRICAL EQUIPMENT & BOLLARDS.
[Symbol]	PROTECT EXISTING FIRE HYDRANT IN PLACE.

PERMITTING NOTE:
CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY MAY REQUIRE AN ENCROACHMENT PERMIT.

EXISTING VEGETATION NOTE:
REFER TO LANDSCAPE PLANS & ARBORIST'S REPORT FOR FURTHER INFORMATION ON EXISTING TREES & VEGETATION TO BE PRESERVED OR REMOVED AS PART OF THIS PROJECT.

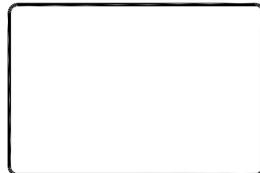
DEMOLITION NOTE:
THIS DEMOLITION PLAN IS PRELIMINARY IN NATURE AND FURTHER DEMOLITION RECOMMENDATIONS & NOTES MAY BE PROPOSED UPON ENTITLEMENT APPROVAL FROM THE CITY OF SAN JOSE. FURTHER DETAIL PERTAINING TO THE PROTECTION OR REMOVAL OF EXISTING SITE FEATURES, STRUCTURES, UTILITIES (ABOVE & BELOW GROUND) AND SO ON MAY BE PROVIDED UPON SUBMITTAL OF CONSTRUCTION DOCUMENTS FOR BUILDING DEMOLITION & GRADING AND DRAINAGE PERMIT APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND ADHERING TO THE DEMOLITION & CONSTRUCTION NOTES & RECOMMENDATIONS PROVIDED HEREON.

NO.	REVISIONS	BY
1	1st PLANNING SUBMITTAL 09.25.2024	DGR
2	2nd PLANNING SUBMITTAL 01.28.2025	DGR
3	3rd PLANNING SUBMITTAL 06.03.2025	DGR
	4th PLANNING SUBMITTAL 07.17.2025	DGR

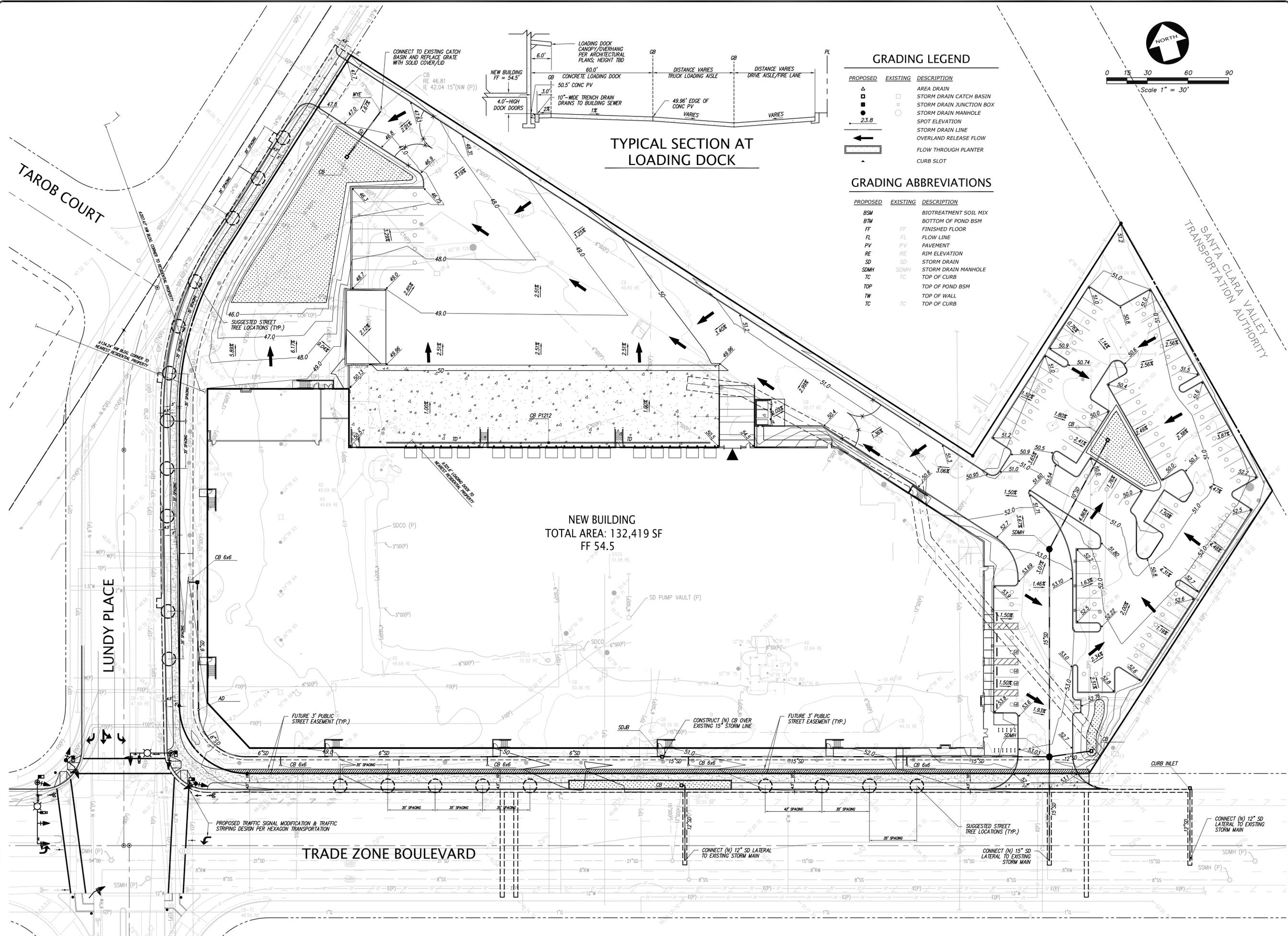
KIER+WRIGHT

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Phone: (949) 508-0202
www.kierwright.com



DEMOLITION PLAN	PRELIMINARY GRADING PLANS OF 2334 LUNDY PLACE FOR 2334 LUNDY PLACE LLC, A DELAWARE LIMITED LIABILITY COMPANY SAN JOSE, CALIFORNIA	DRAWN BY: AMC CHECKED BY: DGR DEPARTMENT: CIVIL
ORIGINAL ISSUE	DATE: 09.25.2024	
CURRENT SET ISSUE	DATE: 7.15.2025	
PERMIT SET / CONSTRUCTION ISSUE	DATE: TBD	
DRAWING NUMBER:		
C1.1		
2	OF 9	SHEETS



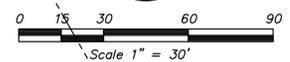
NEW BUILDING
TOTAL AREA: 132,419 SF
FF 54.5

GRADING LEGEND

PROPOSED	EXISTING	DESCRIPTION
▲	□	AREA DRAIN
○	□	STORM DRAIN CATCH BASIN
○	□	STORM DRAIN JUNCTION BOX
○	□	STORM DRAIN MANHOLE
○	○	SPOT ELEVATION
○	○	STORM DRAIN LINE
○	○	OVERLAND RELEASE FLOW
○	○	FLOW THROUGH PLANTER
○	○	CURB SLOT

GRADING ABBREVIATIONS

PROPOSED	EXISTING	DESCRIPTION
BSM		BIOTREATMENT SOIL MIX
BTM		BOTTOM OF POND BSM
FF	FF	FINISHED FLOOR
FL	FL	FLOW LINE
PV	PV	PAVEMENT
RE	RE	RIM ELEVATION
SD	SD	STORM DRAIN
SDMH	SDMH	STORM DRAIN MANHOLE
TC	TC	TOP OF CURB
TOP		TOP OF POND BSM
TW		TOP OF WALL
TC	TC	TOP OF CURB



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3	3rd PLANNING SUBMITTAL 06.03.2025	DGR
4	4th PLANNING SUBMITTAL 07.17.2025	DGR

KIER+WRIGHT

8965 Research Drive
Irvine, CA 92618

Phone: (949) 508-0202
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GRADING PLAN

PRELIMINARY GRADING PLANS OF
2334 LUNDY PLACE
FOR
LIMITED LIABILITY COMPANY
SAN JOSE, CALIFORNIA

DRAWN BY: AMC CHECKED BY: DGR DEPARTMENT: CIVIL

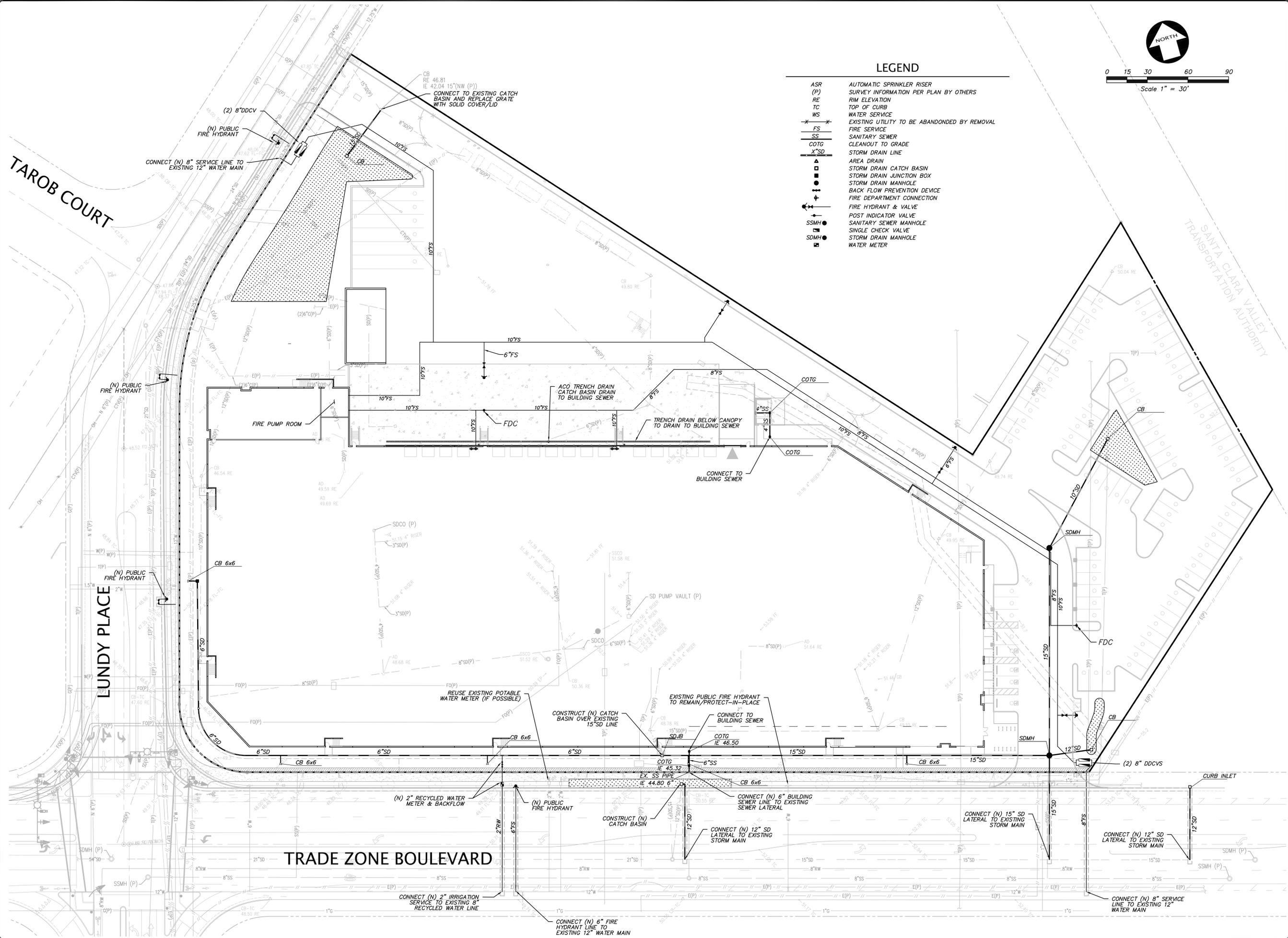
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3 OF 9 SHEETS



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UTILITY PLAN

PRELIMINARY GRADING PLANS OF
2334 LUNDY PLACE
FOR
LIMITED LIABILITY COMPANY
SAN JOSE, CALIFORNIA

DRAWN BY: AMC CHECKED BY: DGR DEPARTMENT: CIVIL

ORIGINAL ISSUE
DATE: 09.25.2024

CURRENT SET ISSUE
DATE: 7.15.2025

PERMIT SET / CONSTRUCTION ISSUE
DATE: TBD

DRAWING NUMBER:
C3.0

4 OF 9 SHEETS

OPERATION AND MAINTENANCE INFORMATION

A. PROPERTY INFORMATION:
 A.A. PROPERTY ADDRESS:
 2334 LUNDY PLACE
 SAN JOSE, CA 95131
 A.B. PROPERTY OWNER:
 2334 LUNDY PLACE LLC,
 A DELAWARE LIMITED LIABILITY COMPANY
 5707 SOUTHWEST PARKWAY
 BUILDING 1, SUITE 275
 AUSTIN, TEXAS 78735
 B. RESPONSIBLE PARTY FOR MAINTENANCE:
 B.A. CONTACT: JENNIFER FREDMAN
 B.B. PHONE NUMBER OF CONTACT: (310) 323-9100
 B.C. EMAIL: JFREDMAN@MPROP.COM
 B.D. ADDRESS: 19700 S VERMONT AVE, STE. 101
 TORRANCE, CA 90502

PROJECT SITE INFORMATION

- SOILS TYPE: SITE CLASS D
- GROUND WATER DEPTH: 8.5' BELOW GROUND SURFACE
- NAME OF RECEIVING BODY: LOWER PENITENCIA CREEK TO LOWER COYOTE CREEK
- FLOOD ZONE: AO
- FLOOD ELEVATION (IF APPLICABLE): N/A

BIOTRETMENT SOIL REQUIREMENTS:

- BIOTRETMENT SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C.3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE C.3 HANDBOOK AT: https://CLEANWATER.SCCGOV.ORG/SITES/G/FILES/EX/CPB461/FILES/SCVURPPP_C.PDF
- BEFORE ORDERING THE BIOTRETMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTRETMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

SOURCE CONTROL MEASURES:

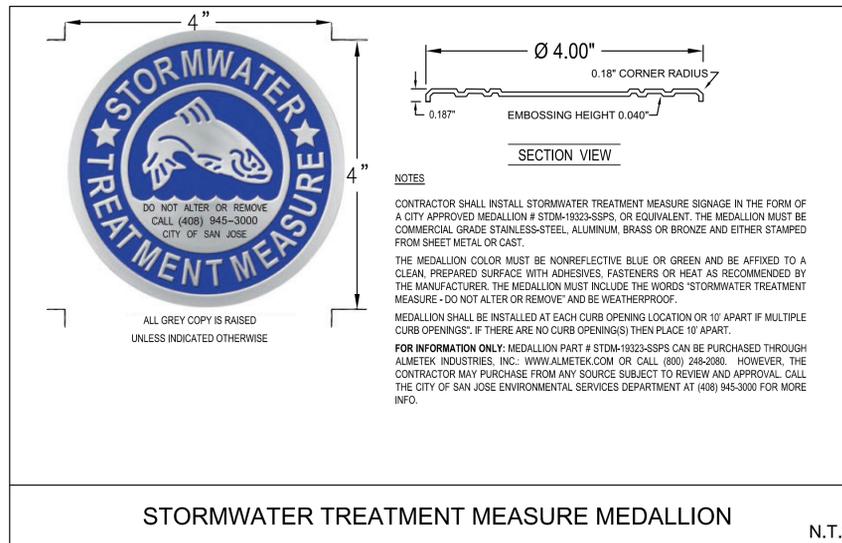
- BENEFICIAL LANDSCAPING.
- USE WATER EFFICIENT IRRIGATION SYSTEMS.
- GOOD HOUSEKEEPING (E.G. SWEEP PAVEMENT, CATCH BASIN CLEANING).
- LABEL STORM DRAINS.
- CONNECT TO THE SANITARY SEWER:
 - COVERED TRASH/ RECYCLING ENCLOSURES.
 - COVERED LOADING DOCKS AND MAINTENANCE BAYS.
- INDUSTRIAL, OUTDOOR MATERIAL STORAGE, AND RECYCLING FACILITIES (MUST INCLUDE ALL FOUR BELOW):
 - STOCKPILE MATERIAL ON AN IMPERVIOUS SURFACE OR UNDER A PERMANENT ROOF OR COVERING.
 - DIRECT PONDED WATER TO THE SANITARY SEWER, AN ON-SITE TREATMENT SYSTEM, OR OFF-SITE DISPOSAL.
 - INSTALL BERMS OR CURBS TO PREVENT RUNOFF FROM THE STORAGE/PROCESSING AREAS.
 - SEGREGATE POLLUTANT-GENERATING ACTIVITIES INTO A DISTINCT DRAINAGE MANAGEMENT AREA AND PROVIDE TREATMENT.

BIORETENTION & FLOW-THROUGH PLANTER NOTES:

- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
- PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS AND SIDE SLOPE.
- SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS
- CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT MAXIMUM 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED IN LINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
- A MINIMUM 0.2" DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
- DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

STANDARD STORMWATER CONTROL NOTES

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS, TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
 WEBSITE: [HTTPS://VECTOR.SCCGOV.ORG/HOME](https://VECTOR.SCCGOV.ORG/HOME)
 PHONE: (408) 918-4770
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.



SITE DESIGN MEASURES:

- DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
- PLANT TREES ADJACENT TO AND IN PARKING AREAS AND ADJACENT TO OTHER IMPERVIOUS AREAS.
- REDUCE EXISTING IMPERVIOUS SURFACES.
- CLUSTER STRUCTURES/PAVEMENT.
- CREATE NEW PEROUS AREAS:
 - LANDSCAPING

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	TCM #	Location ¹	Treatment Type ²	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area ³ (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite / Offsite Area Treated by LID or Non-LID TCM	Bioretention		Self Retaining / Treating		Media Filter		Treatment Credit (s.f.)	Comments		
											Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided			Media Type	Cartridge Height (inches)
1	1	Onsite	Bioretention lined w/ underdrain	LID	3. Flow-Volume Combo	217,591	194,870	0	22,721	71.70%	5,846	6,330	6	N/A	N/A	N/A	N/A	N/A	N/A	
2	2	Onsite	Bioretention lined w/ underdrain	LID	3. Flow-Volume Combo	38,176	28,753	0	9,423	12.58%	960	1,131	6	N/A	N/A	N/A	N/A	N/A	N/A	
3	3	Onsite	Bioretention lined w/ underdrain	LID	3. Flow-Volume Combo	10,514	8,624	0	1,890	3.48%	270	286	6	N/A	N/A	N/A	N/A	N/A	N/A	
4	4	Onsite	Self-retaining areas (landscaped)	LID	N/A	1,158	313	0	845	0.38%	N/A	N/A	0.25	0.25	N/A	N/A	N/A	N/A	N/A	Self-Retaining Area = 1,158 s.f.
5	5	Onsite	Self-retaining areas (landscaped)	LID	N/A	2,426	106	0	2,320	0.80%	N/A	N/A	0.25	0.25	N/A	N/A	N/A	N/A	N/A	Self-Retaining Area = 2,426 s.f.
6	6	Onsite	Self-retaining areas (landscaped)	LID	N/A	2,237	60	0	2,177	0.74%	N/A	N/A	0.25	0.25	N/A	N/A	N/A	N/A	N/A	Self-Retaining Area = 2,237 s.f.
7	7	Onsite	Self-retaining areas (landscaped)	LID	N/A	2,296	31	0	2,265	0.76%	N/A	N/A	0.25	0.25	N/A	N/A	N/A	N/A	N/A	Self-Retaining Area = 2,296 s.f.
8	8	Onsite	Self-retaining areas (landscaped)	LID	N/A	3,601	31	0	3,570	1.19%	N/A	N/A	0.25	0.25	N/A	N/A	N/A	N/A	N/A	Self-Retaining Area = 3,601 s.f.
9	9	Onsite	Self-retaining areas (landscaped)	LID	N/A	2,986	31	0	2,955	0.98%	N/A	N/A	0.25	0.25	N/A	N/A	N/A	N/A	N/A	Self-Retaining Area = 2,986 s.f.
10	10	Offsite	Bioretention lined w/ underdrain	LID	3. Flow-Volume Combo	22,469	20,871	0	1,598	7.40%	715	715	6	N/A	N/A	N/A	N/A	N/A	N/A	TCM 10 in DMA 10 is capturing 20,871 SF of runoff from impervious surfaces. Of that 20,871 SF, 15,898 SF is existing runoff from existing impervious surfaces not being disturbed (portion of Trade Zone Blvd. pavement draining into TCM 10). Runoff within this DMA will be used as an in-line treatment for untreated runoff within DMA 11. DMA 10's existing undisturbed impervious surface (tributary drainage area of 15,898 SF is greater than or equal to the 9,958 SF of impervious surface area within untreated DMA 11. DMA 11 is being equivalently treated in-line by TCM 10 in DMA 10.
11	10	Offsite	Untreated	N/A	N/A	13,378	8,958	0	4,420	-	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
						Totals:	303,454	253,690	0	49,764	100.00%									

Footnotes:
 1 For the Municipal Regional Stormwater Permit, sidewalks and other parts of the right-of-way should be included in the new and/or replaced impervious surface calculation and treated as required
 2 "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.
 3 Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)
 4 Gravel is considered as an impervious surface unless it is part of an infiltration trench.
 5 DMA 11 is not being treated, but will be treated by DMA 10 (EQ). DMA 10 (EQ) is equal to or greater than the required treatment area of DMA 11.
 6 Treatment type of Self-Treating or Self-Retaining should only be used with landscape based treatment. If pervious pavement is proposed for Self-Treating or Retaining, use the Pervious Pavement selection.

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY AT THE END OF THE RAINY SEASON, AND/OR AFTER LARGE STORM EVENTS
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

SIZING FOR VOLUME BASED TREATMENT		SIZING FOR VOLUME BASED TREATMENT		SIZING FOR VOLUME BASED TREATMENT		SIZING FOR VOLUME BASED TREATMENT	
DMA # 1	A= 217591 s.f. Impervious Area = 194870 s.f. % Imperviousness= 89.56%	DMA # 2	A= 38176 s.f. Impervious Area = 28753 s.f. % Imperviousness= 75.32%	DMA # 3	A= 10514 s.f. Impervious Area = 8624 s.f. % Imperviousness= 82.02%	DMA # 10	A= 22469 s.f. Impervious Area = 20871 s.f. % Imperviousness= 92.89%
MAPsite = 13 MAPpage = 13.9	Correction Factor= 0.9353	MAPsite = 13 MAPpage = 13.9	Correction Factor= 0.9353	MAPsite = 13 MAPpage = 13.9	Correction Factor= 0.9353	MAPsite = 13 MAPpage = 13.9	Correction Factor= 0.9353
Clay (D): Sandy Clay (D); Clay Loam (D); Silt Loam/Loam (B): X Not Applicable (100% Impervious):	Are the soils outside the building footprint graded/compacted? Yes Yes/No	Clay (D): Sandy Clay (D); Clay Loam (D); Silt Loam/Loam (B): X Not Applicable (100% Impervious):	Are the soils outside the building footprint graded/compacted? Yes Yes/No	Clay (D): Sandy Clay (D); Clay Loam (D); Silt Loam/Loam (B): X Not Applicable (100% Impervious):	Are the soils outside the building footprint graded/compacted? Yes Yes/No	Clay (D): Sandy Clay (D); Clay Loam (D); Silt Loam/Loam (B): X Not Applicable (100% Impervious):	Are the soils outside the building footprint graded/compacted? Yes Yes/No
S= 1.00% UBS Volume for 1% Slope (UBS1%) = 0.52183768 inches (Use Figure B-2) UBS Volume for 15% Slope (UBS15%) = 0.53380948 inches (Use Figure B-5) Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5) Adjusted UBS = 0.4880496 inches Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12 inch Design Volume = 8.849.60 ft ³	S= 1.00% UBS Volume for 1% Slope (UBS1%) = 0.44251543 inches (Use Figure B-2) UBS Volume for 15% Slope (UBS15%) = 0.45535734 inches (Use Figure B-5) Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5) Adjusted UBS = 0.4138634 inches Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12 inch Design Volume = 1,316.64 ft ³	S= 1.00% UBS Volume for 1% Slope (UBS1%) = 0.4798735 inches (Use Figure B-2) UBS Volume for 15% Slope (UBS15%) = 0.49466045 inches (Use Figure B-5) Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5) Adjusted UBS = 0.4488026 inches Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12 inch Design Volume = 393.23 ft ³	S= 1.00% UBS Volume for 1% Slope (UBS1%) = 0.54038604 inches (Use Figure B-2) UBS Volume for 15% Slope (UBS15%) = 0.55832356 inches (Use Figure B-5) Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5) Adjusted UBS = 0.505397 inches Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12 inch Design Volume = 946.31 ft ³				
COMBO FLOW & VOLUME BIORETENTION CALCULATION Total Drainage Area = 217,591 sq. ft Impervious Area = 194,870 sq. ft Pervious Area = 22,721 sq. ft Equivalent Impervious Area = 2,272 sq. ft Total Equivalent Impervious = 197,142 sq. ft Rainfall Intensity = 0.2 in/hr Duration = Adjusted UBS (Step 6) / Rainfall Intensity Duration = 2.4402482 hrs Estimate the Surface Area = 5846 sq. ft (Typically start with Total Impervious x 0.03) Volume of Treated Runoff = 5944.0378 cu. ft Volume in Ponding Area = 2905.5628 cu. ft Depth of Ponding = 0.4970172 ft Depth of Ponding = 6 inches (Round up)	COMBO FLOW & VOLUME BIORETENTION CALCULATION Total Drainage Area = 38,176 sq. ft Impervious Area = 28,753 sq. ft Pervious Area = 9,423 sq. ft Equivalent Impervious Area = 942 sq. ft Total Equivalent Impervious = 29,695 sq. ft Rainfall Intensity = 0.2 in/hr Duration = Adjusted UBS (Step 6) / Rainfall Intensity Duration = 2.0693168 hrs Estimate the Surface Area = 960 sq. ft (Typically start with Total Impervious x 0.03) Volume of Treated Runoff = 627.7267 cu. ft Volume in Ponding Area = 488.91057 cu. ft Depth of Ponding = 0.5092818 ft Depth of Ponding = 6.1 inches (Round up)	COMBO FLOW & VOLUME BIORETENTION CALCULATION Total Drainage Area = 10,514 sq. ft Impervious Area = 8,624 sq. ft Pervious Area = 1,890 sq. ft Equivalent Impervious Area = 189 sq. ft Total Equivalent Impervious = 8,813 sq. ft Rainfall Intensity = 0.2 in/hr Duration = Adjusted UBS (Step 6) / Rainfall Intensity Duration = 2.2440128 hrs Estimate the Surface Area = 270 sq. ft (Typically start with Total Impervious x 0.03) Volume of Treated Runoff = 252.45144 cu. ft Volume in Ponding Area = 140.7744 cu. ft Depth of Ponding = 0.5213867 ft Depth of Ponding = 6.3 inches (Round up)	COMBO FLOW & VOLUME BIORETENTION CALCULATION Total Drainage Area = 22,469 sq. ft Impervious Area = 20,871 sq. ft Pervious Area = 1,598 sq. ft Equivalent Impervious Area = 160 sq. ft Total Equivalent Impervious = 21,031 sq. ft Rainfall Intensity = 0.2 in/hr Duration = Adjusted UBS (Step 6) / Rainfall Intensity Duration = 2.5269851 hrs Estimate the Surface Area = 715 sq. ft (Typically start with Total Impervious x 0.03) Volume of Treated Runoff = 752.83098 cu. ft Volume in Ponding Area = 193.48283 cu. ft Depth of Ponding = 0.2706054 ft Depth of Ponding = 3.2 inches (Round up)				
If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat) If Depth of Ponding is greater than 12" a larger surface area will be required. (repeat) If Depth of Ponding is between 6" to 12" this is the range allowable for Bioretention or Flow-Through Planters.	If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat) If Depth of Ponding is greater than 12" a larger surface area will be required. (repeat) If Depth of Ponding is between 6" to 12" this is the range allowable for Bioretention or Flow-Through Planters.	If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat) If Depth of Ponding is greater than 12" a larger surface area will be required. (repeat) If Depth of Ponding is between 6" to 12" this is the range allowable for Bioretention or Flow-Through Planters.	If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat) If Depth of Ponding is greater than 12" a larger surface area will be required. (repeat) If Depth of Ponding is between 6" to 12" this is the range allowable for Bioretention or Flow-Through Planters.				

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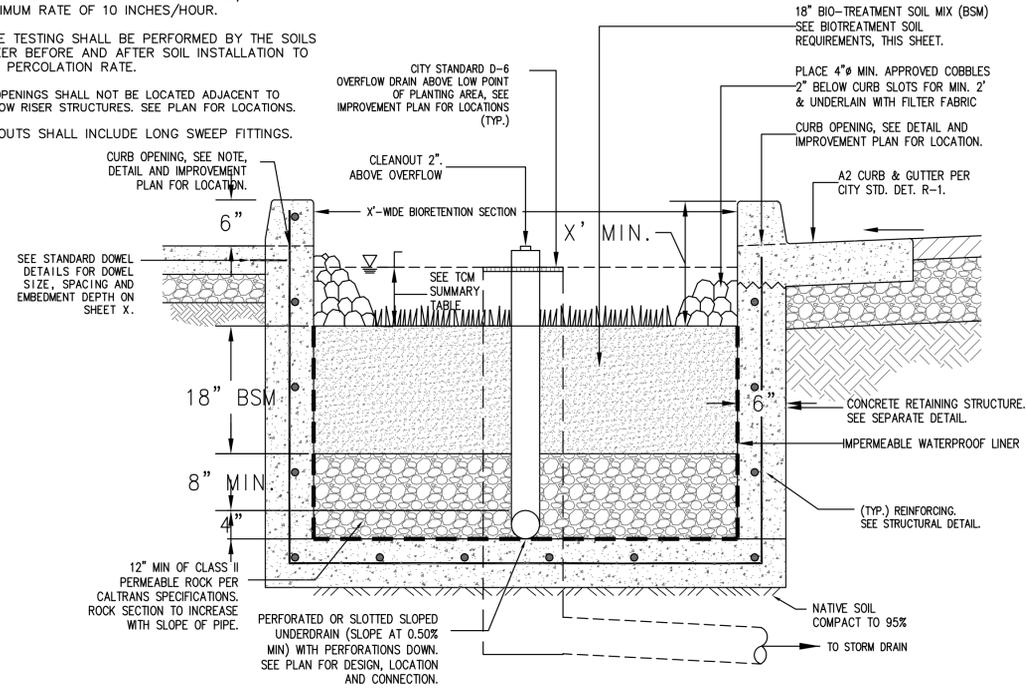
KIER+WRIGHT
 Phone: (949) 508-0202
 www.kierwright.com
 8955 Research Drive
 Irvine, CA 92618

PRELIMINARY STORM WATER QUALITY CONTROL CALCULATIONS AND NOTES
 PRELIMINARY GRADING PLANS OF 2334 LUNDY PLACE FOR 2334 LUNDY PLACE LLC, A DELAWARE LIMITED LIABILITY COMPANY
 SAN JOSE, CALIFORNIA
 DRAWN BY: AMC CHECKED BY: DGR DEPARTMENT: CIVIL

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NOTES:

1. PLACEMENT OF BIOTREATMENT SOIL MIX SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
2. SOIL AT BOTTOM OF RETENTION AREA SHALL HAVE A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM RATE OF 10 INCHES/HOUR.
3. IN-SITE TESTING SHALL BE PERFORMED BY THE SOILS ENGINEER BEFORE AND AFTER SOIL INSTALLATION TO VERIFY PERCOLATION RATE.
4. CURB OPENINGS SHALL NOT BE LOCATED ADJACENT TO OVERFLOW RISER STRUCTURES. SEE PLAN FOR LOCATIONS.
5. CLEANOUTS SHALL INCLUDE LONG SWEEP FITTINGS.



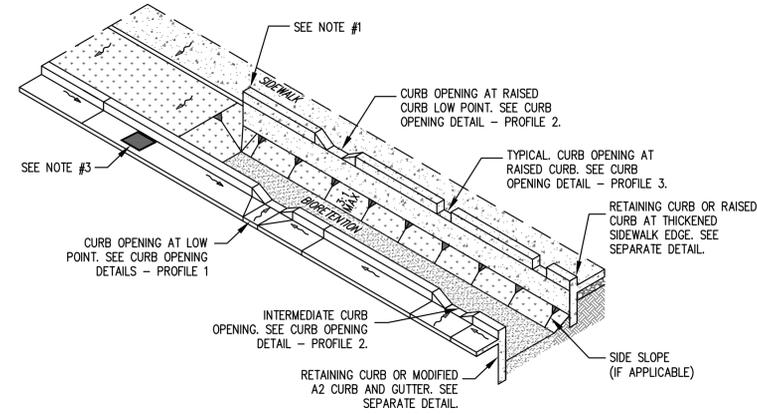
3

BIORETENTION DETAIL ATTACHED OR DETACHED SIDEWALK
NO PARKING - SIDEWALK ADJACENT TO BASIN

N.T.S.

NOTES:

1. REFER TO SPECIFIC BIORETENTION DETAILS FOR STREETS WITH OR WITHOUT PARKING FOR BIORETENTION DESIGN.
2. EXTEND RETAINING CURB / RAISED CURB AS NEEDED TO ACHIEVE SMOOTH TRANSITION FROM SIDEWALK TO ADJACENT LANDSCAPING.
3. RETROFIT EXISTING HOODED INLET TO ELIMINATE HOOD. INSTALL SOLID, WATER TIGHT, SLIP RESISTANT, TRAFFIC RATED LID. IF RETROFIT NOT POSSIBLE CONTRACTOR TO REMOVE INLET STRUCTURE AND CONSTRUCT NEW FLAT GRATE INLET PER CITY STANDARD DETAIL D-6 WITH SOLID, WATER TIGHT, SLIP RESISTANT, TRAFFIC RATED LID.



CASE A
N.T.S.

4

EXISTING STREET RETROFIT DETAILS - DETACHED SIDEWALK - CASE A

N.T.S.

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.	QUARTERLY
2	INSPECT PLANTER FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, THE SURFACE BIOTREATMENT SOIL SHOULD BE TILLED OR REPLACED WITH THE APPROVED SOIL MIX AND REPLANTED. USE THE CLEANOUT RISER TO CLEAR ANY UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	QUARTERLY
3	CHECK FOR ERODED OR SETTLED BIOTREATMENT SOIL MEDIA. LEVEL SOIL WITH RAKE AND REMOVE/REPLANT VEGETATION AS NECESSARY.	QUARTERLY
4	MAINTAIN THE VEGETATION AND IRRIGATION SYSTEM. PRUNE AND WEED TO KEEP FLOW-THROUGH PLANTER NEAT AND ORDERLY IN APPEARANCE.	QUARTERLY
5	EVALUATE HEALTH AND DENSITY OF VEGETATION. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION. REMOVE EXCESSIVE GROWTH OF PLANTS THAT ARE TOO CLOSE TOGETHER.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
7	INSPECT THE OVERFLOW PIPE TO MAKE SURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUT RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
9	INSPECT AND, IF NEEDED, REPLACE WOOD MULCH. IT IS RECOMMENDED THAT 2" TO 3" OF COMPOSTED ARBOR MULCH BE APPLIED ONCE A YEAR.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
10	INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA, LOSS OF MULCH, STANDING WATER, CLOGGED OVERFLOWS, WEEDS, TRASH AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS.
11	INSPECT SYSTEM FOR STRUCTURAL INTEGRITY OF WALLS, FLOW SPREADERS, ENERGY DISSIPATORS, CURB CUTS, OUTLETS AND FLOW SPLITTERS.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS.

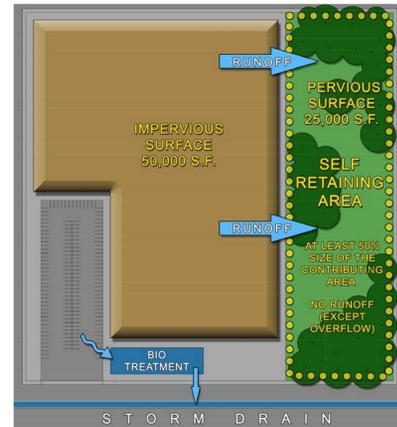


Figure 4-4: Schematic Drainage Plan for Site with a Self-Retaining Area

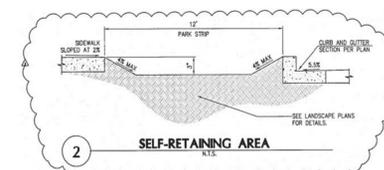


Figure 4-5: Example Self-Retaining Landscaped Area Cross Section

NO.	REVISIONS	BY
1	1st PLANNING SUBMITTAL 09.25.2024	DGR
2	2nd PLANNING SUBMITTAL 01.28.2025	DGR
3	3rd PLANNING SUBMITTAL 06.03.2025	DGR
4	4th PLANNING SUBMITTAL 07.17.2025	DGR

KIER+WRIGHT



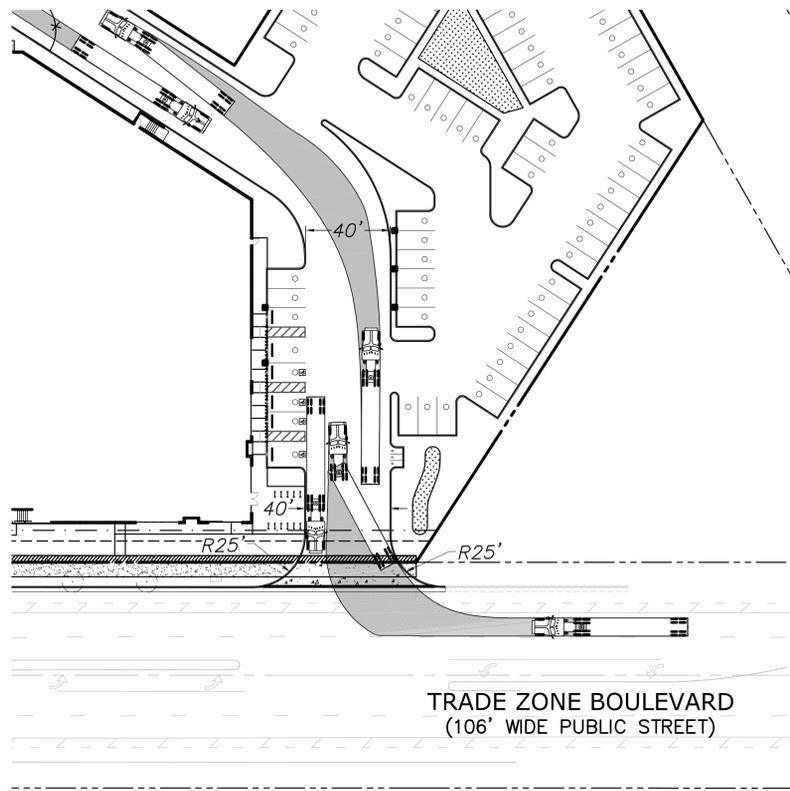
Phone: (949) 508-0202
www.kierwright.com

8865 Research Drive
Irvine, CA 92618

STORM WATER QUALITY CONTROL
DETAILS
PRELIMINARY GRADING PLANS OF
2334 LUNDY PLACE
FOR
2334 LUNDY PLACE LLC, A DELAWARE
LIMITED LIABILITY COMPANY
SAN JOSE, CALIFORNIA
DRAWN BY: AMC | CHECKED BY: DGR | DEPARTMENT: CIVIL

ORIGINAL ISSUE
DATE: 09.25.2024
CURRENT SET ISSUE
DATE: 7.15.2025
PERMIT SET / CONSTRUCTION ISSUE
DATE: TBD

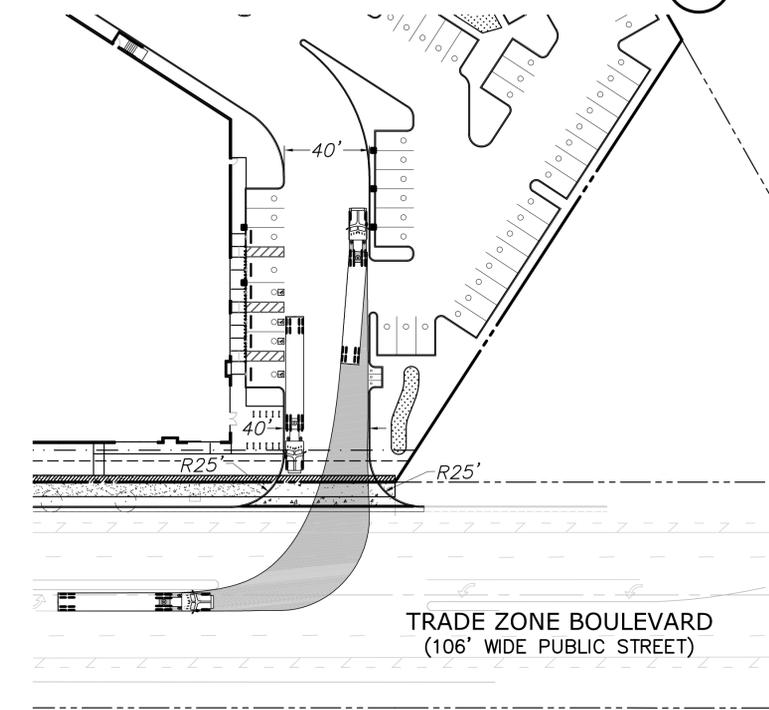
DRAWING NUMBER:
C4.2
7 OF 9 SHEETS



INTERNAL TRUCK DRIVE AISLE MANEUVER & RIGHT TURN IN @ TRADE ZONE BLVD.

SCALE: 1" = 40'

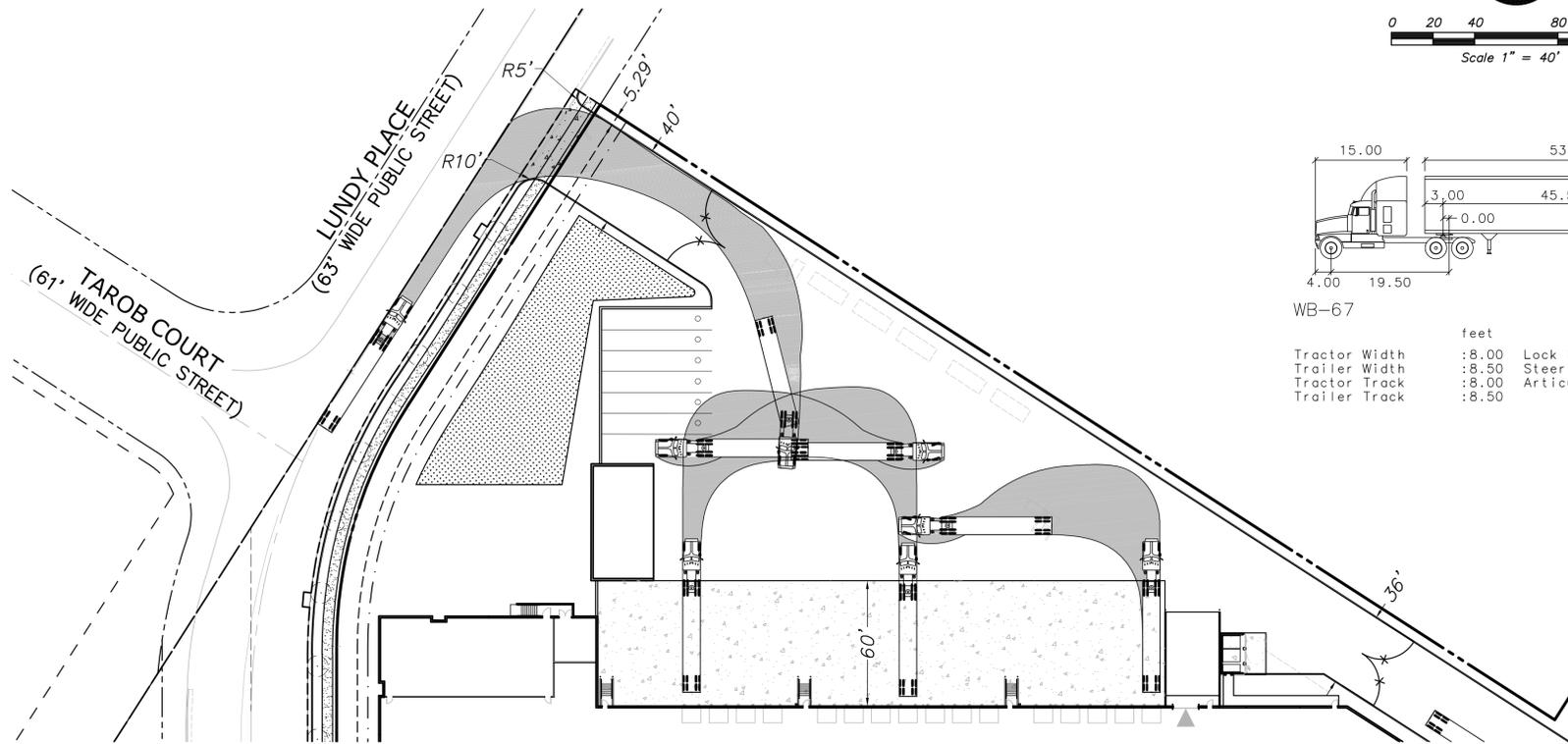
A



LEFT TURN IN @ TRADE ZONE BLVD.

SCALE: 1" = 40'

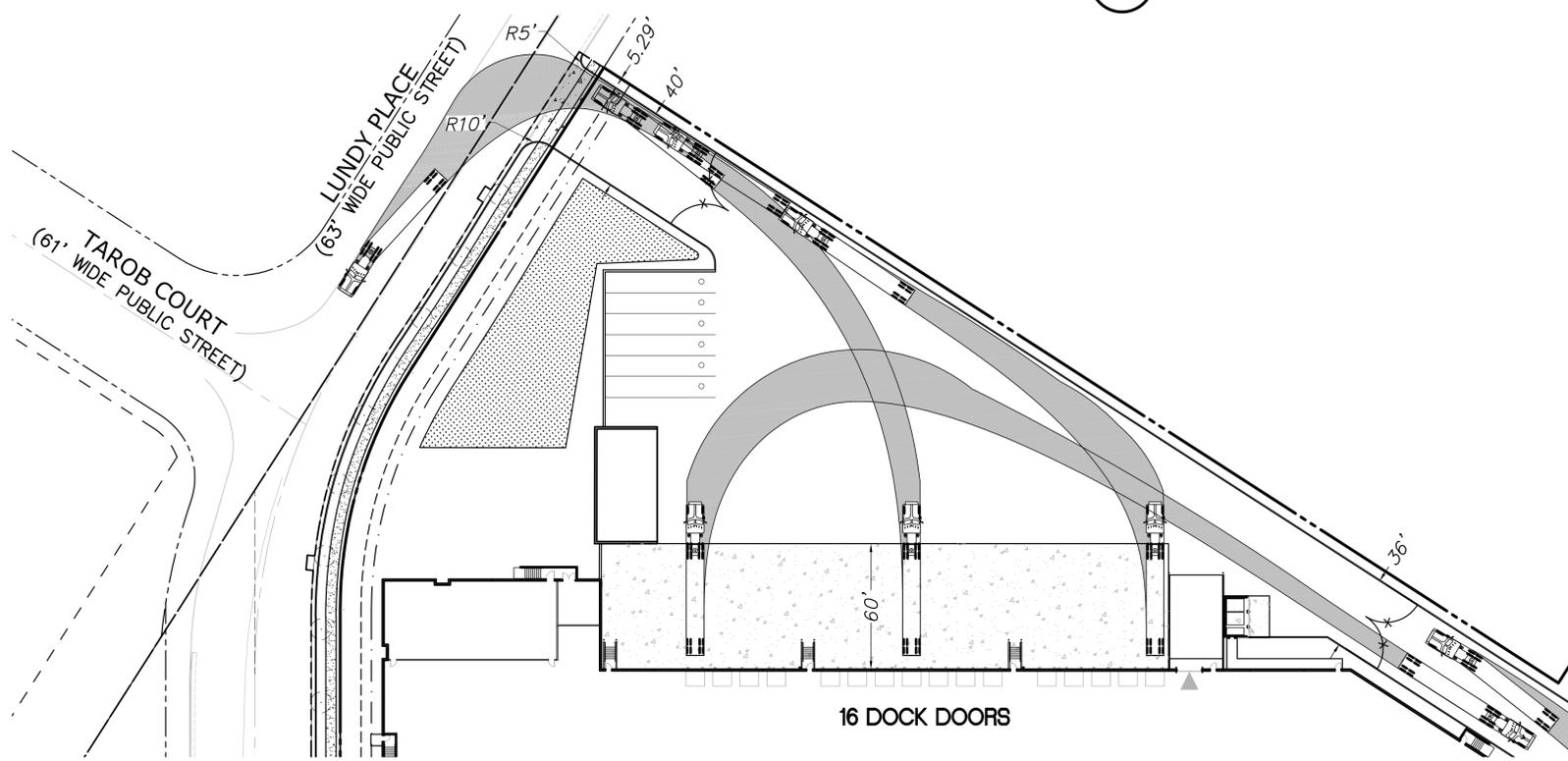
B



TRUCK LOADING DOCK PARKING MANEUVERS & RIGHT TURN IN @ LUNDY PL.

SCALE: 1" = 40'

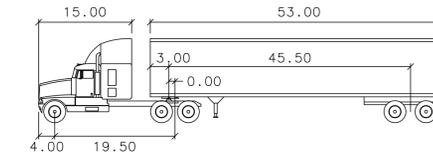
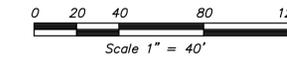
C



TRUCK LOADING DOCK EXIT MANEUVERS & LEFT TURN OUT @ LUNDY PL.

SCALE: 1" = 40'

D



WB-67

feet	
Tractor Width	:8.00
Trailer Width	:8.50
Tractor Track	:8.00
Trailer Track	:8.50
Lock to Lock Time	:6.0
Steering Angle	:28.4
Articulating Angle	:75.0

NO.	REVISIONS	BY
1	1st PLANNING SUBMITTAL 09.25.2024	DGR
2	2nd PLANNING SUBMITTAL 01.28.2025	DGR
3	3rd PLANNING SUBMITTAL 06.03.2025	DGR
3	4th PLANNING SUBMITTAL 07.17.2025	DGR

KIER+WRIGHT

8885 Research Drive
Irvine, CA 92618

Phone: (949) 508-0202
www.kierwright.com

TRUCK TURNING EXHIBIT

PRELIMINARY GRADING PLANS OF
2334 LUNDY PLACE
FOR
2334 LUNDY PLACE LLC, A DELAWARE
LIMITED LIABILITY COMPANY
SAN JOSE, CALIFORNIA

DRAWN BY: AMC | CHECKED BY: DGR | DEPARTMENT: CIVIL

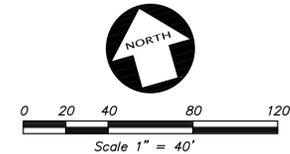
ORIGINAL ISSUE
DATE: 09.25.2024

CURRENT SET ISSUE
DATE: 7.15.2025

PERMIT SET / CONSTRUCTION ISSUE
DATE: TBD

DRAWING NUMBER:
C5.0

8 OF 9 SHEETS

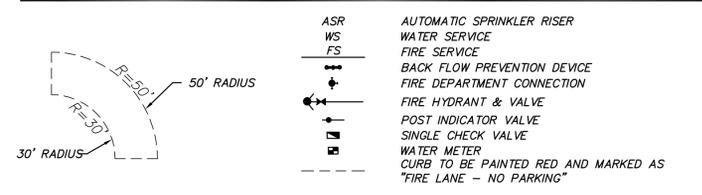


SAN JOSE PLANNING NO. #: H24-057
 FOLDER NO. #: 24 106402 DEV

BUILDING INFORMATION:
 TOTAL AREA 132,419 SF & TYPE IIIB CONSTRUCTION
 OCCUPANCY CLASSIFICATION PER CBC 2022: B,S-1
 BUILDING CLASSIFICATION BASED ON NFPA 13 2022: EXTRA HAZARD

FIRE FLOW ANALYSIS BASED ON SJFD REQUIREMENTS:
 (SEE SJFD FIRE FLOW AND HYDRANT POLICY)
 FIRE FLOW REQUIRED AFTER ALLOWABLE REDUCTION IS APPLIED
 5,813 GPM AT 20 PSI

METHOD OF DISTRIBUTION OF FIRE FLOW:
 FLOW HYDRANT HYD #3 THRU HYD #8 SIMULTANEOUSLY AT
 MINIMUM 1000 GPM AT 20 PSI (EACH) FOR A TOTAL FLOW OF
 6000 GPM



San José Fire Department
 Office of the Fire Marshal
San Jose Fire Flow and Hydrant Policy
 Effective Date: January 1, 2023

2022 CFC Section 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exception: For Group R-2 and Group I-2 occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.2, 903.3.1.3, or 903.3.1.3.1, the distance requirement shall be not more than 600 feet (183 m).
 SJ Manual Code 12.12 Part 13 - adopts 2022 CFC Appendix B and Appendix C with modifications represented below.
 NOTE: Mixed Construction Fire Flow is to be determined as directed by State Fire Marshal Code Interpretation #1-015 published 12/19/2011.

Building Area (square feet)		Fire Flow (gpm) *1 and Duration		Required Number and Spacing of Fire Hydrants *	
Type IA and BA*	Type RA and BA**	Type IV and VA*	Type III and III**	Type VB*	Type VC*
0-32,700	0-12,300	0-4,200	0-5,900	0-3,600	1,500
32,701-102,300	12,301-17,000	4,201-10,900	5,901-10,900	3,601-4,800	1,500
102,301-181,900	17,001-21,800	10,901-12,400	10,901-12,400	4,801-6,200	1,500
181,901-261,500	21,801-26,600	12,401-14,000	12,401-14,000	6,201-7,700	1,500
261,501-341,100	26,601-31,400	14,001-15,600	14,001-15,600	7,701-9,200	1,500
341,101-420,700	31,401-36,200	15,601-17,200	15,601-17,200	9,201-10,700	1,500
420,701-500,300	36,201-41,000	17,201-18,800	17,201-18,800	10,701-12,200	1,500
500,301-580,900	41,001-45,800	18,801-20,400	18,801-20,400	12,201-13,700	1,500
580,901-660,500	45,801-50,600	20,401-22,000	20,401-22,000	13,701-15,200	1,500
660,501-740,100	50,601-55,400	22,001-23,600	22,001-23,600	15,201-16,700	1,500
740,101-819,700	55,401-60,200	23,601-25,200	23,601-25,200	16,701-18,200	1,500
819,701-899,300	60,201-65,000	25,201-26,800	25,201-26,800	18,201-19,700	1,500
899,301-978,900	65,001-69,800	26,801-28,400	26,801-28,400	19,701-21,200	1,500
978,901-1,058,500	69,801-74,600	28,401-30,000	28,401-30,000	21,201-22,700	1,500
1,058,501-1,138,100	74,601-79,400	30,001-31,600	30,001-31,600	22,701-24,200	1,500
1,138,101-1,217,700	79,401-84,200	31,601-33,200	31,601-33,200	24,201-25,700	1,500
1,217,701-1,297,300	84,201-89,000	33,201-34,800	33,201-34,800	25,701-27,200	1,500
1,297,301-1,376,900	89,001-93,800	34,801-36,400	34,801-36,400	27,201-28,700	1,500
1,376,901-1,456,500	93,801-98,600	36,401-38,000	36,401-38,000	28,701-30,200	1,500
1,456,501-1,536,100	98,601-103,400	38,001-39,600	38,001-39,600	30,201-31,700	1,500
1,536,101-1,615,700	103,401-108,200	39,601-41,200	39,601-41,200	31,701-33,200	1,500
1,615,701-1,695,300	108,201-113,000	41,201-42,800	41,201-42,800	33,201-34,700	1,500
1,695,301-1,774,900	113,001-117,800	42,801-44,400	42,801-44,400	34,701-36,200	1,500
1,774,901-1,854,500	117,801-122,600	44,401-46,000	44,401-46,000	36,201-37,700	1,500
1,854,501-1,934,100	122,601-127,400	46,001-47,600	46,001-47,600	37,701-39,200	1,500
1,934,101-2,013,700	127,401-132,200	47,601-49,200	47,601-49,200	39,201-40,700	1,500
2,013,701-2,093,300	132,201-137,000	49,201-50,800	49,201-50,800	40,701-42,200	1,500
2,093,301-2,172,900	137,001-141,800	50,801-52,400	50,801-52,400	42,201-43,700	1,500
2,172,901-2,252,500	141,801-146,600	52,401-54,000	52,401-54,000	43,701-45,200	1,500
2,252,501-2,332,100	146,601-151,400	54,001-55,600	54,001-55,600	45,201-46,700	1,500
2,332,101-2,411,700	151,401-156,200	55,601-57,200	55,601-57,200	46,701-48,200	1,500
2,411,701-2,491,300	156,201-161,000	57,201-58,800	57,201-58,800	48,201-49,700	1,500
2,491,301-2,570,900	161,001-165,800	58,801-60,400	58,801-60,400	49,701-51,200	1,500
2,570,901-2,650,500	165,801-170,600	60,401-62,000	60,401-62,000	51,201-52,700	1,500
2,650,501-2,730,100	170,601-175,400	62,001-63,600	62,001-63,600	52,701-54,200	1,500
2,730,101-2,809,700	175,401-180,200	63,601-65,200	63,601-65,200	54,201-55,700	1,500
2,809,701-2,889,300	180,201-185,000	65,201-66,800	65,201-66,800	55,701-57,200	1,500
2,889,301-2,968,900	185,001-189,800	66,801-68,400	66,801-68,400	57,201-58,700	1,500
2,968,901-3,048,500	189,801-194,600	68,401-70,000	68,401-70,000	58,701-60,200	1,500
3,048,501-3,128,100	194,601-199,400	70,001-71,600	70,001-71,600	60,201-61,700	1,500
3,128,101-3,207,700	199,401-204,200	71,601-73,200	71,601-73,200	61,701-63,200	1,500
3,207,701-3,287,300	204,201-209,000	73,201-74,800	73,201-74,800	63,201-64,700	1,500
3,287,301-3,366,900	209,001-213,800	74,801-76,400	74,801-76,400	64,701-66,200	1,500
3,366,901-3,446,500	213,801-218,600	76,401-78,000	76,401-78,000	66,201-67,700	1,500
3,446,501-3,526,100	218,601-223,400	78,001-79,600	78,001-79,600	67,701-69,200	1,500
3,526,101-3,605,700	223,401-228,200	79,601-81,200	79,601-81,200	69,201-70,700	1,500
3,605,701-3,685,300	228,201-233,000	81,201-82,800	81,201-82,800	70,701-72,200	1,500
3,685,301-3,764,900	233,001-237,800	82,801-84,400	82,801-84,400	72,201-73,700	1,500
3,764,901-3,844,500	237,801-242,600	84,401-86,000	84,401-86,000	73,701-75,200	1,500
3,844,501-3,924,100	242,601-247,400	86,001-87,600	86,001-87,600	75,201-76,700	1,500
3,924,101-4,003,700	247,401-252,200	87,601-89,200	87,601-89,200	76,701-78,200	1,500
4,003,701-4,083,300	252,201-257,000	89,201-90,800	89,201-90,800	78,201-79,700	1,500
4,083,301-4,162,900	257,001-261,800	90,801-92,400	90,801-92,400	79,701-81,200	1,500
4,162,901-4,242,500	261,801-266,600	92,401-94,000	92,401-94,000	81,201-82,700	1,500
4,242,501-4,322,100	266,601-271,400	94,001-95,600	94,001-95,600	82,701-84,200	1,500
4,322,101-4,401,700	271,401-276,200	95,601-97,200	95,601-97,200	84,201-85,700	1,500
4,401,701-4,481,300	276,201-281,000	97,201-98,800	97,201-98,800	85,701-87,200	1,500
4,481,301-4,560,900	281,001-285,800	98,801-100,400	98,801-100,400	87,201-88,700	1,500
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4,640,501-4,720,100	290,601-295,400	102,001-103,600	102,001-103,600	90,201-91,700	1,500
4,720,101-4,800,700	295,401-300,200	103,601-105,200	103,601-105,200	91,701-93,200	1,500
4,800,701-4,880,300	300,201-305,000	105,201-106,800	105,201-106,800	93,201-94,700	1,500
4,880,301-4,959,900	305,001-309,800	106,801-108,400	106,801-108,400	94,701-96,200	1,500
4,959,901-5,039,500	309,801-314,600	108,401-110,000	108,401-110,000	96,201-97,700	1,500
5,039,501-5,119,100	314,601-319,400	110,001-111,600	110,001-111,600	97,701-99,200	1,500
5,119,101-5,198,700	319,401-324,200	111,601-113,200	111,601-113,200	99,201-100,700	1,500
5,198,701-5,278,300	324,201-329,000	113,201-114,800	113,201-114,800	100,701-102,200	1,500
5,278,301-5,357,900	329,001-333,800	114,801-116,400	114,801-116,400	102,201-103,700	1,500
5,357,901-5,437,500	333,801-338,600	116,401-118,000	116,401-118,000	103,701-105,200	1,500
5,437,501-5,517,100	338,601-343,400	118,001-119,600	118,001-119,600	105,201-106,700	1,500
5,517,101-5,596,700	343,401-348,200	119,601-121,200	119,601-121,200	106,701-108,200	1,500
5,596,701-5,676,300	348,201-353,000	121,201-122,800	121,201-122,800	108,201-109,700	1,500
5,676,301-5,755,900	353,001-357,800	122,801-124,400	122,801-124,400	109,701-111,200	1,500
5,755,901-5,835,500	357,801-362,600	124,401-126,000	124,401-126,000	111,201-112,700	1,500
5,835,501-5,915,100	362,601-367,400	126,001-127,600	126,001-127,600	112,701-114,200	1,500
5,915,101-5,994,700	367,401-372,200	127,601-129,200	127,601-129,200	114,201-115,700	1,500
5,994,701-6,074,300	372,201-377,000	129,201-130,800	129,201-130,800	115,701-117,200	1,500
6,074,301-6,153,900	377,001-381,800	130,801-132,400	130,801-132,400	117,201-118,700	1,500
6,153,901-6,233,500	381,801-386,600	132,401-134,000	132,401-134,000	118,701-120,200	1,500
6,233,501-6,313,100	386,601-391,400	134,001-135,600	134,001-135,600	120,201-121,700	1,500
6,313,101-6,392,700	391,401-396,200	135,601-137,200	135,601-137,200	121,701-123,200	1,500
6,392,701-6,472,300	396,201-401,000	137,201-138,800	137,201-138,800	123,201-124,700	1,500
6,472,301-6,551,900	401,001-405,800	138,801-140,400	138,801-140,400	124,701-126,200	1,500
6,551,901-6,631,500	405,801-410,600	140,401-142,000	140,401-142,000	126,201-127,700	1,500
6,631,501-6,711,100	410,601-415,400	142,001-143,600	142,001-143,600	127,701-129,200	1,500
6,711,101-6,790,700	415,401-420,200	143,601-145,200	143,601-145,200	129,201-130,700	1,500
6,790,701-6,870,300	420,201-425,000	145,201-146,800	145,201-146,800	130,701-132,200	1,500
6,870,301-6,949,900	425,001-429,800	146,801-148,400	146,801-148,400	132,201-133,700	1,500
6,949,901-7,029,500	429,801-434,600	148,401-150,000	148,401-150,000	133,701-135,200	1,500
7,029,501-7,109,100	434,601-439,400	150,001-151,600	150,001-151,600	135,201-136,700	1,500
7,109,101-7,188,700	439,401-444,200	151,601-153,200	151,601-153,200	136,701-138,200	1,500
7,188,701-7,268,300	444,201-449,000	153,201-154,800	153,201-154,800	138,201-139,700	1,500
7,268,301-7,347,900	449,001-453,800				

NOTE: STREET TREES SHOWN IN THE PUBLIC RIGHT-OF-WAY ARE FOR INFORMATION ONLY. THE PLANNING PERMIT DOES NOT AUTHORIZE THE INSTALLATION OR REMOVAL OF TREES IN THE PUBLIC RIGHT OF WAY. ACTUAL STREET TREE LOCATION WILL BE DETERMINED BY PUBLIC WORKS AT THE IMPLEMENTATION STAGE ON THE PUBLIC IMPROVEMENT PLAN. THE INSTALLATION OR REMOVAL OF THE STREET TREES REQUIRES A PERMIT FROM THE DEPARTMENT OF TRANSPORTATION.

STREET TREE 35' O.C. SPECIES TO BE DETERMINED BY CITY ARBORIST

NOTE: PER SECTION 23.8, STANDARD 83, DESIGNATE 100 CUBIC FEET OF NONCOMPACTED SOIL FOR SMALL TREES, 1400 CUBIC FEET OF NON-COMPACTED SOIL FOR MEDIUM TREES, AND 2100 CUBIC FEET OF NONCOMPACTED SOIL FOR LARGE TREES TO ALLOW TREES TO REACH THEIR MATURITY. FOLLOWING SYSTEMS TO BE UTILIZED IN FINAL DESIGN: STRUCTURAL SOIL SYSTEMS, SOIL CELLS, OR CONTINUOUS TRENCHES.

PER SECTION 23.8, STANDARD 81, PROVIDE MINIMUM VERTICAL CLEARANCE FOR TREE CANOPIES AT MATURITY AS FOLLOWS: 14 FEET IN AND AROUND SERVICE LOADING AREAS AND DRIVEWAYS, 12 FEET FOR PARKING LOTS, AND EIGHT FEET FOR TREE CANOPIES IMMEDIATELY ADJACENT TO SIDEWALKS AND PATIOS.

BIO-RETENTION SECTION, INCLUDING SOIL IS PER CIVIL DUGS.

LEGEND

N°	CA	SYM. NO.	BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME	MATURE HABIT	/ZONE	
21			PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX W/ MIN. GAL.	L	35' X 40'		
35			LAGERSTROEMIA 'TUSCARORA'	CREPE MYRTLE	24" BOX W/ MIN. GAL.	L	20' X 21'		
29			LAGERSTROEMIA X 'NATCHEZ'	NATCHEZ CREPE MYRTLE	24" BOX W/ MIN. GAL.	L	20' X 21'		
46			LAURUS N. 'BARATOGA'	BAY LAUREL STD. TRUNK	24" BOX W/ MIN. GAL.	L	35' X 25'		
13			CELTIS OCCIDENTALIS	HACKBERRY	24" BOX W/ MIN. GAL.	L	50' X 40'		
27			GALOCEDRUS DECURRENS	INCENSE CEDAR	24" BOX W/ MIN. GAL.	L	40' X 5'		
11			OLEA 'SWAN HILL'	SWAN HILL OLIVE	24" BOX W/ MIN. GAL.	L	35' X 30'		
15			CEDRUS DEODARA	DEODAR CEDAR	24" BOX W/ MIN. GAL.	L	60' X 40'		
21			STREET TREE SPECIES TO BE DETERMINED BY CITY ARBORIST IN FINAL DESIGN						

- TOTAL PROPOSED TREES = 218
- NOTE: SEE SHEET LC12 FOR ARBORIST REPORT + MITIGATION
- PARKING LOT PLANTING-LOW SCREEN FLOWERING SHRUBS/ PERENNIAL ACCENTS W/ BARK MULCH
- PROJECT ACCENT PLANTING- LOW ACCENT SHRUBS/GROUNDCOVER/PERENNIALS WITH LARGE BOULDER ACCENTS W/ BARK MULCH
- SCREEN PLANTING MED TO LARGE SHRUBS 12' MAX. HEIGHT WITH BARK MULCH
- FOUNDATION PLANTING LARGE SHRUBS WITH LOW SHRUB ACCENT BARK MULCH
- FRONTAGE PLANTING FULL SHRUBS AND PERENNIALS W/ BARK MULCH W/ ORNAMENTAL GRASSES/ BOULDER ACCENT AREAS
- BIO-RETENTION NATIVE SEED MIX SEE NOTE BELOW THIS SHEET
- SELF-RETAINING STORMWATER TREATMENT AREA PLANTING SEE PLANT LIST BELOW W/ NON-FLOATABLE BARK MULCH

LANDSCAPE CALCULATIONS

SITE AREA LANDSCAPE REQUIRED:
 TRADE ZONE BLVD. SETBACK MINIMUM 15' (PROVIDED)
 LUNDY AVE. SETBACK MINIMUM 15' (PROVIDED)
 PARKING SPACES PROVIDED: 86
 PARKING LOT TREES REQUIRED: 1/4 SPACES, 22
 PARKING LOT TREES PROVIDED = 34
 TOTAL PARKING AREA = 36,015 S.F.
 REQUIRED PARKING AREA SHADE = 18,008 S.F. (MIN. 50% OF PARKING AREA)
 PARKING AREA SHADE PROVIDED AT MATURITY = 21,005 S.F. (58%)
 STREET TREES REQUIRED 1 PER 35 L.F. (PROVIDED)

SEE SHEET LC12 FOR TREE MITIGATION CALCULATIONS

BIO-RETENTION SEED MIX

Species / Common Name	48 lbs per acre
Festuca rubra, Molle Fescue	25
Deschampsia cespitosa, Tufted Hairgrass	9
Carex divisa, Berkeley Sedge	7

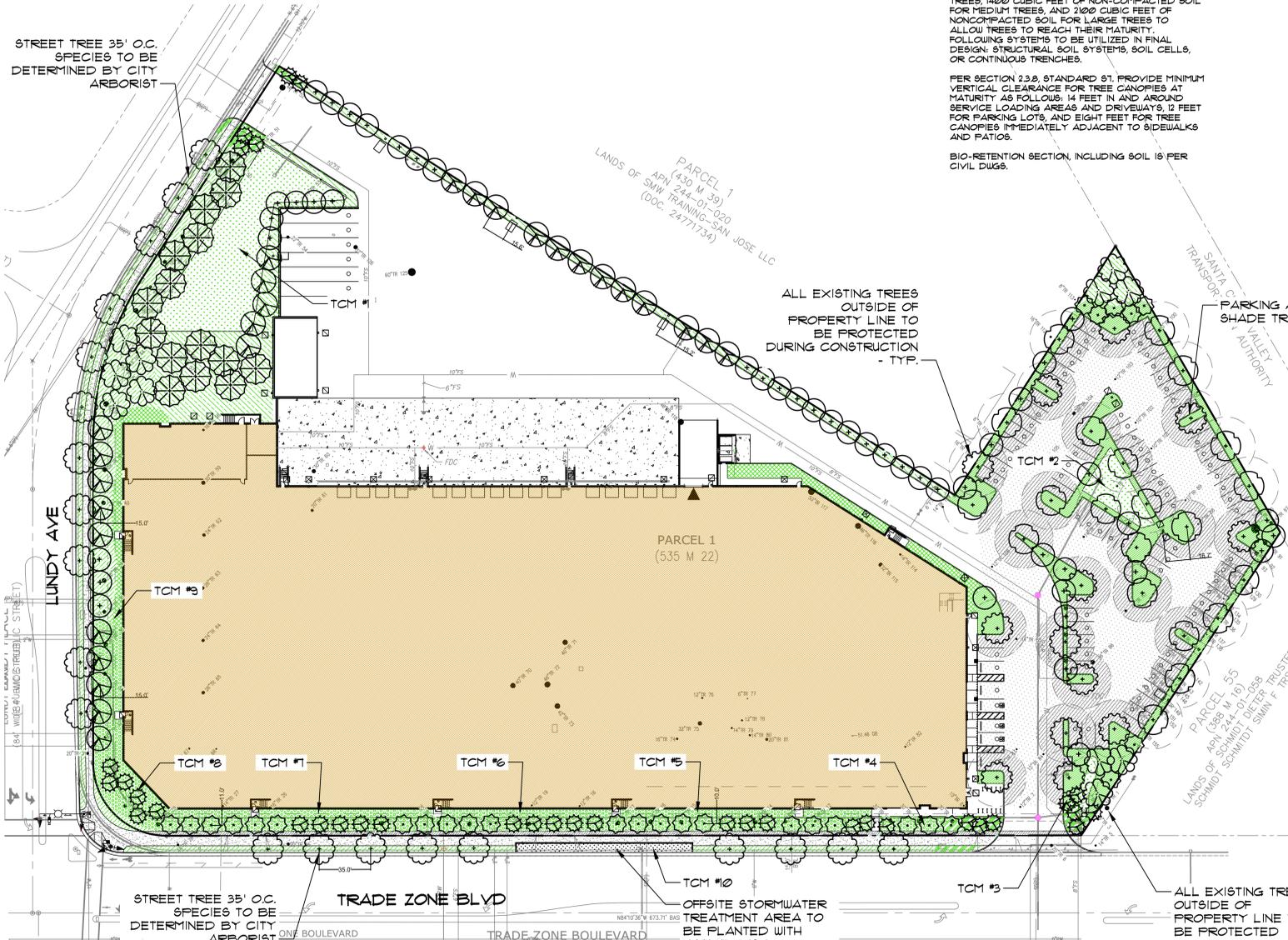
SEED IS AVAILABLE FROM:
 PACIFIC COAST SEED
 533 HAUPTMANN PL.
 LIVERMORE, CA
 PHONE: (925) 373-4411

SOIL SHALL BE REGRADED SMOOTH AND ANY DEBRIS REMOVED. IF EXISTING AREAS ARE COMPACTED, THE EXISTING SOIL SHALL BE SCARIFIED TO A MIN. DEPTH OF 4" AND RAKED SMOOTH PRIOR TO SEEDING.
 FERTILIZE AT THE RATE OF 10 LB PER 1000 SF. WITH 16-20-20 FERTILIZER OR PER SOIL ANALYSIS PRIOR TO APPLYING AND RAKING IN THE SEED.
 NEEDED AREAS APPLICATION PROCEDURES: ALL SEED SHOULD BE UNIFORMLY BROADCAST AND LIGHTLY COVERED BY RAKING OR DRAGGING.
 THE DESIGNATED SEEDING AREAS SHALL BE SPRAYED WITH A TACKIFIER AFTER SEED HAS BEEN BROADCAST AND RAKED. THE TACKIFIER SHALL BE 11- BINDER APPLIED @ THE RATE OF 200 LBS. PER ACRE.
 ALL SEEDING AREAS SHALL BE SECURED WITH A BIODEGRADABLE EROSION CONTROL BLANKET AEC PREMIER COCONUT FIBERNET OR EQUAL SUBMIT SAMPLE AND SPEC. FOR APPROVAL. INSTALL WITH AEC BIODEGRADABLE E-STAPLE OR EQUAL PER MFG. SPECIFICATIONS.
 THE REVEGETATION AREAS SHALL BE SEEDING IN LATE SUMMER AFTER SEPT. 1 TO ESTABLISH PER NATURAL PRECIPITATION OR DEPENDING ON WEATHER AND CONDITION OF DRAINAGE SHALL BE CONTINUED UNTIL SEED AND STABILIZE UPON COMPLETION OF GRADING TO AVOID EROSION OF THE CHANNEL DURING INTERMITTENT STORM EVENTS.

PRELIMINARY PLANT LIST : WATER USE 16 PER WUCOLS ZONE 1

N	CA	SYM. NO.	BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME	MATURE HABIT	/ZONE
LARGE SHRUBS								
N			CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL.	L	8' X 10'	
N			CEANOTHUS CONCHA	CEANOTHUS	5 GAL.	L	6' X 10'	
N			ARCTOSTAPHYLOS DENSIFLORA	MANZANITA	5 GAL.	L	3' X 6'	
N			ARBUS U 'COMPACTA'	DW. STRAWBERRY TREE	5 GAL.	L	6' X 6'	
DROUGHT TOLERANT SHRUBS								
N			CALLISTEMON 'LITTLE JOHN'	DW. BOTTLEBRUSH	5 GAL.	L	3' X 4'	
N			RHAPHOLEPSIS 'CLARA'	INDIAN HAWTHORNE	5 GAL.	L	4' X 4'	
N			PHORMIUM MAORI MAIDEN'	NEW ZEALAND FLAX	5 GAL.	L	2' X 3'	
N			SALVIA C. 'FOZO BLUE'	CLEVELAND SAGE	5 GAL.	L	3' X 4'	
N			PHORMIUM 'AMAZING RED'	NZ FLAX	5 GAL.	L	2' X 2'	
N			SANTOLINA VIRENS	SANTOLINA	5 GAL.	L	2' X 3'	
N			RHAPHOLEPSIS I. 'PINK DANCER'	INDIAN HAWTHORNE	5 GAL.	L	4' X 4'	
N			ARCTOSTAPHYLOS 'PACIFIC MIST'	MANZANITA	5 GAL.	L	2' X 6'	
PERENNIALS								
N			DIETES HYBRIDA LEMON DROPS'	FORTNIGHT LILY	1 GAL.	L	2' X 3'	
N			EPILOBIUM CANUM	CA. FUCHSIA	1 GAL.	L	2' X 3'	
N			ACHILLEA MOONSHINE'	MOONSHINE YARROW	1 GAL.	L	1' X 2'	
GRASSES OR GRASS LIKE								
N			FESTUCA MAIREI	ATLAS FESCUE	1 GAL.	L	2' X 3'	
N			LOMANDRA L. 'BREEZE'	BREEZE MAT RUSH	1 GAL.	L	3' X 3'	
N			MUHLENBERGIA RIGENS	DEER GRASS	1 GAL.	L	4' X 4'	
N			JUNCUS PATENS 'ELK BLUE'	ELK BLUE CA RUSH	1 GAL.	L	2' X 2'	
SELF - RETAINING STORM WATER TREATMENT AREA								
N			NERIUM OLEANDER 'PETITE PINK'	DW. PINK OLEANDER	5 GAL.	L	4' X 5'	
N			RHAPHUS CALIFORNICA 'LITTLE BUR'	LITTLE BUR COFFEEBERRY	5 GAL.	L	4' X 4'	
N			CALLISTEMON 'LITTLE JOHN'	DW. BOTTLEBRUSH	5 GAL.	L	3' X 4'	
N			BACCHARIS PILLULARIS 'TUIN PEAKS'	DW. COYOTE BRUSH	5 GAL.	L	1' X 6'	
N			FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL.	L	15' X 15'	
N			MUHLENBERGIA RIGENS	DEER GRASS	1 GAL.	L	4' X 4'	
N			JUNCUS PATENS 'ELK BLUE'	ELK BLUE CA RUSH	1 GAL.	L	2' X 2'	
N			ARCTOSTAPHYLOS 'PACIFIC MIST'	MANZANITA	5 GAL.	L	2' X 6'	

NOTE: INCLUDE 3" MIN. DEPTH OF COMPOSTED, NON-FLOATABLE MULCH BETWEEN PLANTINGS IN STORMWATER TREATMENT AREAS



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LANDSCAPE NOTES:

THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR UPON FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE SITE INCLUDING WATER SCHEDULING AND MOUSING, FOR THE ONE YEAR GUARANTEE PERIOD. ANY PLANTS REPLACED UNDER THIS GUARANTEE SHALL BE GUARANTEED FOR ONE FULL YEAR FROM THE DATE OF REPLACEMENT. TAG ALL REPLACED PLANT MATERIAL WITH REPLACEMENT DATE.

SOIL IN THE PLANTER AREAS SHALL BE AMENDED PER A SOIL ANALYSIS REPORT AND RECOMMENDATIONS PREPARED BY AN AGRICULTURAL SUITABILITY SOIL TESTING SERVICE AFTER PLANTERS ARE BROUGHT TO GRADE PER CIVIL GRADING PLAN. ALL SOIL ANALYSIS AND REPORTS SHALL SATISFY THE REQUIREMENTS OF 442.5 IN THE CALIFORNIA WATER EFFICIENT LANDSCAPE ORDINANCE FOR A SOIL MANAGEMENT REPORT. THE RESPONSIBILITY OF PREPARATION THIS REPORT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL SUBMIT THE REPORT TO THE GENERAL CONTRACTOR FOR SUBMITTAL TO THE CITY. SHRUB PLANTERS: COLLECT A MINIMUM OF 16 SOIL SAMPLES FROM ONSITE PLANTER AREAS AFTER PLANTERS HAVE BEEN BROUGHT TO GRADE. THOROUGHLY MIX THE COLLECTED SAMPLES AND SUBMIT ONE MIXED SAMPLE FOR ANALYSIS WITH RECOMMENDATIONS FOR ORGANIC SOIL AMENDMENT. PLANTER AREA SOILS SHALL BE AMENDED PER THE SOIL ANALYSIS RECOMMENDATIONS TO A MIN. DEPTH OF 6" PRIOR TO PLANTING. AT MINIMUM FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF FOUR CUBIC YARDS PER 1000 SF. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO EXISTING SOIL. PLANTER AREAS: LOOSEN SOIL TO A DEPTH OF 12" PRIOR TO AMENDING. SPREAD AMENDMENT AND INCORPORATE PER SOIL ANALYSIS RECOMMENDATIONS OR MIN. STATED WHICH EVER IS GREATER. RAKE OUT ALL ROCK AND DEBRIS GREATER THAN 1/2" DIA. RAKE TO AN EVEN GRADE. SOIL REPORT SHALL INCLUDE SOIL INFILTRATION RATE FOR IRRIGATION SCHEDULING. PLANT BACKFILL SHALL BE AMENDED AT THE TIME OF PLANTING PER THE SOIL RECOMMENDATIONS. ALL PLANTS SHALL BE SPRAYED WITH VERMA-FLEX OR EQUAL ORGANIC FOLIAR FERTILIZER AFTER INSTALLATION. A COPY OF THE SOIL ANALYSIS AND SOIL AMENDMENTS INCORPORATED SHALL BE SUBMITTED THE OWNER AND THE CITY AS PART OF THE PROJECT LANDSCAPE DOCUMENTATION PACKAGE.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANT MATERIAL PER SYMBOLS AND SPACING INDICATED ON THE PLAN. SYMBOLS PREVAIL OVER QUANTITIES LISTED IN THE PLANT LEGEND.

24 HR. MIN. NOTICE TO THE OWNER REPRESENTATIVE REQUIRED FOR PLANT MATERIAL REVIEW PRIOR TO PLANTING. ALL PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLANTS NOT MEETING OR EXCEEDING REQUIREMENTS AND RECOMMENDATIONS OF ANSI Z601 'AMERICAN STANDARD FOR NURSERY STOCK' SHALL BE REJECTED. THE CONTRACTOR SHALL RECEIVE ON-SITE APPROVAL OF PLANT MATERIAL BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. FAILURE TO RECEIVE APPROVAL PRIOR TO PLANTING MAY RESULT IN REJECTION AND THE CONTRACTOR SHALL REPLACE ALL REJECTED PLANT MATERIAL AT HIS EXPENSE. THE OWNER RESERVES THE RIGHT TO INSPECT AND EVALUATE PLANT MATERIAL THROUGHOUT THE CONSTRUCTION AND MAINTENANCE PERIOD.

THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER'S REPRESENTATIVE A MIN. OF 48 HOURS IN ADVANCE FOR THE FOLLOWING SITE OBSERVATIONS AND/OR MEETINGS:
 A. PRECONSTRUCTION MEETING WITH ALL PARTIES.
 B. PLANT MATERIAL ON SITE, PRIOR TO INSTALLATION.
 C. PLANT LOCATIONS STAKED, PRIOR TO PLANTING.
 D. FINAL PROJECT WALK-THROUGH
 E. ADDITIONAL SITE OBSERVATIONS DETERMINED BY THE OWNER'S REPRESENTATIVE OR CONTRACTOR.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROVIDE PLANT MATERIAL AS SPECIFIED ON THIS PLAN. THE CONTRACTOR MAY SUBMIT A REQUEST TO PROVIDE SUBSTITUTIONS FOR THE SPECIFIED PLANT MATERIAL UNDER THE FOLLOWING CONDITIONS:
 A. ANY SUBSTITUTIONS PROPOSED SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE WITHIN TWO WEEKS OF THE AWARD OF CONTRACT. SUBSTITUTIONS MUST MEET EQUIVALENT DESIGN AND FUNCTIONAL GOALS OF THE ORIGINAL PLANT MATERIAL AS DETERMINED BY THE OWNER'S REPRESENTATIVE. ANY CHANGES MUST HAVE THE APPROVAL OF THE OWNER'S REPRESENTATIVE.

B. THE REQUEST MUST BE ACCOMPANIED BY AT LEAST THREE NOTICES FROM PLANT SUPPLIERS THAT THE PLANT MATERIAL SPECIFIED IS NOT AVAILABLE PRIOR TO THE CONSTRUCTION



hpa, inc.
 600 grand ave, suite 302
 oakland, ca
 94610
 tel: 949-862-2113
 email: hpa@hparchs.com

GreenDesign
 Landscape Architects, Inc.
 1464 Popinjay Drive
 Reno, NV.
 p: 775 829 1364
 email: bhatch00@charter.net

Owner:

2334 Lundy Place LLC,
 a Delaware limited liability company

Project:

2334 LUNDY PLACE

SAN JOSE, CA

Consultants:

CIVIL	K&W
STRUCTURAL	
MECHANICAL	
PLUMBING	
ELECTRICAL	
LANDSCAPE	GREEN DESIGN
FIRE PROTECTION	
SOILS ENGINEER	

Title: PRELIMINARY LANDSCAPE PLAN

Plan Check Number: H24-057

Project Number: 23445

Drawn by: M.D.

Date: 6/3/2025

Revision:

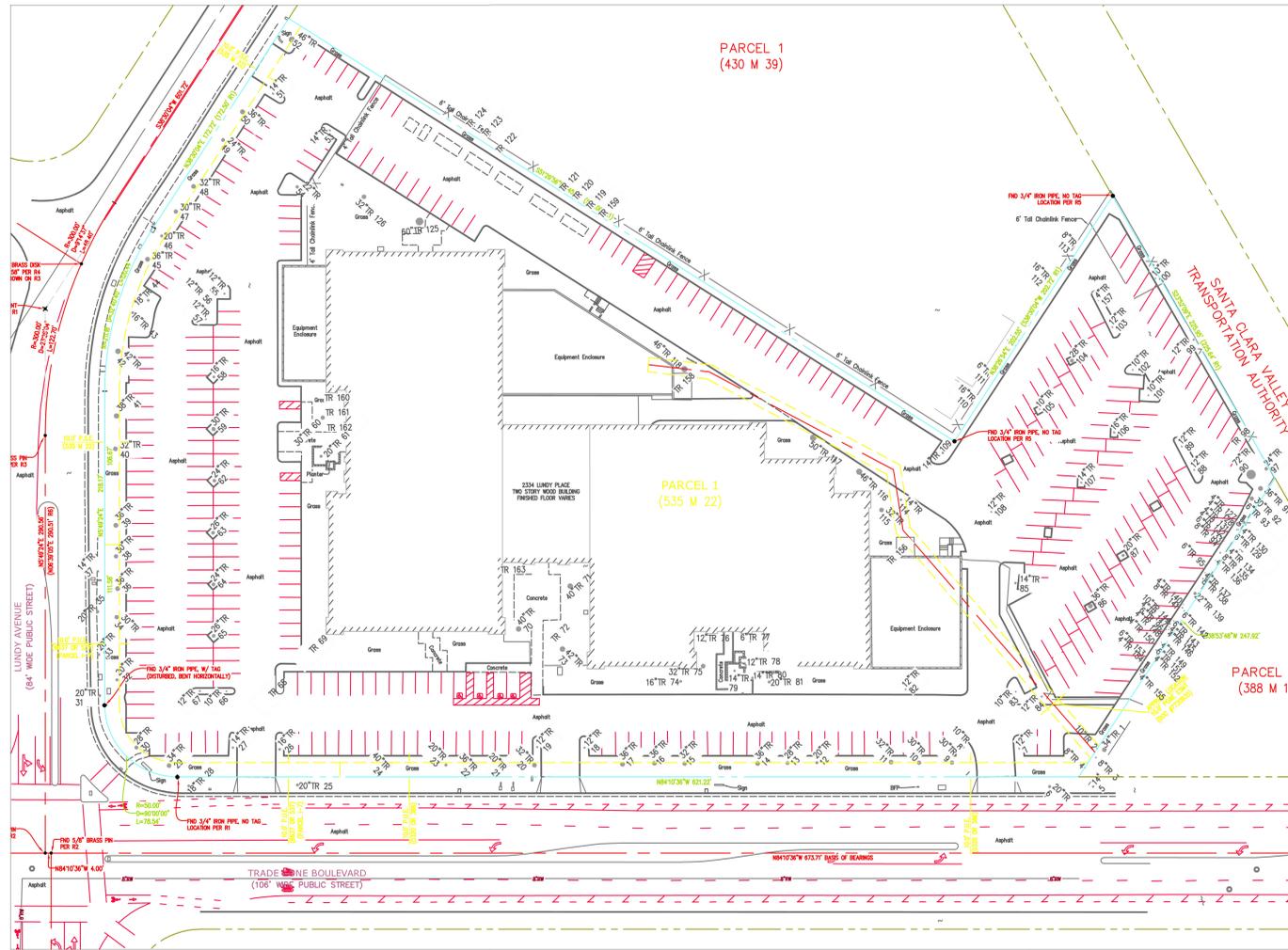
1st Planning Submittal 9/25/2025

2nd Planning Submittal 1/28/2025

3rd Planning Submittal 6/03/2025

Sheet:

LC1.1



Tree Disposition

2334 Lundy Place
San Jose, CA
January 2025



Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Disposition	Comments
99	Evergreen ash	5.4,3.3,2.2,1.1	Ordinance sized	Remove	Within parking lot alignment
100	Evergreen ash	9	Yes	Remove	Within parking lot alignment
101	Sweetgum	9	Yes	Remove	Within parking lot alignment
102	Sweetgum	9	Yes	Remove	Within parking lot alignment
103	Sweetgum	11	Yes	Remove	Within parking lot alignment
104	Evergreen ash	21	Ordinance sized	Remove	Within parking lot alignment
105	Raywood ash	9	Yes	Remove	Within parking lot alignment
106	Evergreen ash	18	Ordinance sized	Remove	Within parking lot alignment
107	Raywood ash	12	Ordinance sized	Remove	Within parking lot alignment
108	Sweetgum	11	Yes	Remove	Within parking lot alignment
109	Sweetgum	11	Yes	Remove	Within development envelope
110	Evergreen ash	14,8,7	Ordinance sized	Preserve	Off site; approximately 5 feet from new parking lot. May require clearance pruning.
111	Evergreen ash	6	Yes	Preserve	Off site; approximately 5 feet from new parking lot. May require clearance pruning.
112	Chinese elm	14	Ordinance sized	Preserve	Off site; approximately 5 feet from new parking lot. Will require significant clearance pruning.
113	Evergreen ash	6,5	Yes	Preserve	Off site; approximately 5 feet from new parking lot. May require clearance pruning.
114	Sweetgum	13	Ordinance sized	Remove	Within building footprint
115	Coast redwood	35	Ordinance sized	Remove	Within building footprint
116	Coast redwood	35	Ordinance sized	Remove	Within building footprint
117	Coast redwood	46	Ordinance sized	Remove	Within building footprint
118	Coast redwood	44	Ordinance sized	Remove	Within driveway alignment
119	Evergreen ash	11,7,6,5	Ordinance sized	Preserve	Off site; approximately 5 feet from new parking lot. May require clearance pruning.
120	Evergreen ash	9,6	Ordinance sized	Preserve	Off site; approximately 5 feet from new parking lot. May require clearance pruning.
121	Evergreen ash	13,8	Ordinance sized	Preserve	Off site; approximately 5 feet from new parking lot. May require clearance pruning.
122	Evergreen ash	9,8	Ordinance sized	Preserve	Off site; approximately 5 feet from new parking lot. May require clearance pruning.
123	Chinese elm	15,9,8,7,5	Ordinance sized	Preserve	Off site; approximately 5 feet from new parking lot. Will require significant clearance pruning.
124	Chinese elm	8,6	Ordinance sized	Preserve	Off site; approximately 5 feet from new parking lot. Will require significant clearance pruning.
125	Coast redwood	52	Ordinance sized	Remove	Within parking lot alignment
126	Coast redwood	34	Ordinance sized	Remove	Within parking lot alignment
127	Evergreen ash	2	Yes	Remove	Within parking lot alignment
128	Evergreen ash	4	Yes	Remove	Within parking lot alignment
129	Evergreen ash	4	Yes	Remove	Within parking lot alignment
130	Evergreen ash	3	Yes	Remove	Within parking lot alignment
131	Evergreen ash	3	Yes	Remove	Within parking lot alignment
132	Evergreen ash	2,1,1	Yes	Remove	Within parking lot alignment
133	Evergreen ash	4	Yes	Remove	Within parking lot alignment
134	Evergreen ash	5	Yes	Remove	Within parking lot alignment
135	Evergreen ash	2	Yes	Remove	Within parking lot alignment
136	Evergreen ash	3	Yes	Remove	Within parking lot alignment
137	Evergreen ash	3	Yes	Remove	Within parking lot alignment
138	Italian buckhorn	3,3	Yes	Remove	Within parking lot alignment
139	Photinia	7,6,6,5,5,3,2	Ordinance sized	Remove	Within parking lot alignment
140	Italian buckhorn	3,3	Yes	Remove	Within parking lot alignment
141	Evergreen ash	5	Yes	Remove	Within parking lot alignment
142	Evergreen ash	4	Yes	Remove	Within parking lot alignment
143	Evergreen ash	3,2,2	Yes	Remove	Within parking lot alignment
144	Evergreen ash	3,3,3,1	Yes	Remove	Within parking lot alignment

Tree Disposition

2334 Lundy Place
San Jose, CA
January 2025



Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Disposition	Comments
1	Coast redwood	32	Ordinance sized	Preserve	Adjacent to development envelope; should withstand impacts with adequate protection
2	Glossy privet	10	Yes	Remove	Adjacent to development envelope; not expected to withstand impacts
3	Glossy privet	9,6,4	Yes	Remove	Adjacent to development envelope; not expected to withstand impacts
4	Glossy privet	8,4,4,4,3,2	Ordinance sized	Remove	Adjacent to development envelope; not expected to withstand impacts
5	London plane	15	Street tree	Remove	Street tree within development envelope; City streetscape
6	London plane	19	Street tree	Remove	Street tree within development envelope; City streetscape
7	Sweetgum	12	Ordinance sized	Remove	Within driveway alignment
8	Sweetgum	11	Yes	Remove	Within driveway alignment
9	Evergreen ash	27	Ordinance sized	Remove	Within development envelope; City streetscape
10	Evergreen ash	27	Ordinance sized	Remove	Within development envelope; City streetscape
11	Evergreen ash	33	Ordinance sized	Remove	Within development envelope; City streetscape
12	Evergreen ash	19	Ordinance sized	Remove	Within development envelope; City streetscape
13	Evergreen ash	28	Ordinance sized	Remove	Within development envelope; City streetscape
14	Evergreen ash	28	Ordinance sized	Remove	Within development envelope; City streetscape
15	Evergreen ash	27	Ordinance sized	Remove	Within development envelope; City streetscape
16	Evergreen ash	33	Ordinance sized	Remove	Within development envelope; City streetscape
17	Evergreen ash	32	Ordinance sized	Remove	Within development envelope; City streetscape
18	Sweetgum	18,12	Ordinance sized	Remove	Within development envelope; City streetscape
19	Sweetgum	13	Ordinance sized	Remove	Within development envelope; City streetscape
20	Evergreen ash	26	Ordinance sized	Remove	Within development envelope; City streetscape
21	Evergreen ash	16	Ordinance sized	Remove	Within development envelope; City streetscape
22	Evergreen ash	29	Ordinance sized	Remove	Within development envelope; City streetscape
23	Evergreen ash	19	Ordinance sized	Remove	Within development envelope; City streetscape
24	Evergreen ash	24	Ordinance sized	Remove	Within development envelope; City streetscape
25	London plane	19	Street tree	Remove	Street tree within development envelope; City streetscape
26	Sweetgum	15	Ordinance sized	Remove	Within development envelope; City streetscape
27	Sweetgum	14	Ordinance sized	Remove	Within development envelope; City streetscape
28	London plane	18	Street tree	Remove	Street tree within development envelope; City streetscape
29	Evergreen ash	28	Ordinance sized	Remove	Within development envelope; City streetscape
30	Evergreen ash	26	Ordinance sized	Remove	Within development envelope; City streetscape
31	London plane	19	Street tree	Remove	Street tree within development envelope; City streetscape
32	Evergreen ash	19	Ordinance sized	Remove	Within development envelope; City streetscape
33	London plane	16	Street tree	Remove	Street tree within development envelope; City streetscape
34	Evergreen ash	28	Ordinance sized	Remove	Within development envelope; City streetscape
35	London plane	17	Street tree	Remove	Street tree within development envelope; City streetscape
36	Evergreen ash	31	Ordinance sized	Remove	Within development envelope; City streetscape
37	London plane	12	Street tree	Remove	Street tree within development envelope; City streetscape
38	Evergreen ash	26	Ordinance sized	Remove	Within development envelope; City streetscape
39	Evergreen ash	30	Ordinance sized	Remove	Within development envelope; City streetscape
40	Evergreen ash	29	Ordinance sized	Remove	Within development envelope; City streetscape
41	Evergreen ash	35	Ordinance sized	Remove	Within development envelope; City streetscape
42	Evergreen ash	38	Ordinance sized	Remove	Within development envelope; City streetscape
43	Sweetgum	14	Ordinance sized	Remove	Within development envelope; City streetscape
44	Sweetgum	15	Ordinance sized	Remove	Within development envelope; City streetscape
45	Evergreen ash	35	Ordinance sized	Remove	Within development envelope; City streetscape
46	Evergreen ash	19	Ordinance sized	Remove	Within development envelope; City streetscape

Tree Disposition

2334 Lundy Place
San Jose, CA
January 2025



Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Disposition	Comments
49	Evergreen ash	17	Ordinance sized	Remove	Within development envelope; City streetscape
50	Evergreen ash	29	Ordinance sized	Remove	Within development envelope; City streetscape
51	Sweetgum	15	Ordinance sized	Remove	Within driveway alignment
52	Evergreen ash	36	Ordinance sized	Remove	Within driveway alignment
53	Sweetgum	13	Ordinance sized	Remove	Within driveway alignment
54	Sweetgum	20	Ordinance sized	Remove	Within parking lot alignment
55	Sweetgum	11	Yes	Remove	Within development envelope
56	Sweetgum	11	Yes	Remove	Within development envelope
57	Sweetgum	12	Ordinance sized	Remove	Within development envelope
58	Evergreen ash	14	Ordinance sized	Remove	Within building footprint
59	Evergreen ash	14	Ordinance sized	Remove	Within building footprint
60	Coast redwood	27	Ordinance sized	Remove	Within building footprint
61	Coast redwood	21	Ordinance sized	Remove	Within building footprint
62	Evergreen ash	22	Ordinance sized	Remove	Within building footprint
63	Evergreen ash	24	Ordinance sized	Remove	Within building footprint
64	Evergreen ash	21	Ordinance sized	Remove	Within building footprint
65	Evergreen ash	23	Ordinance sized	Remove	Within building footprint
66	Sweetgum	10	Yes	Remove	Within building footprint
67	Sweetgum	11	Yes	Remove	Within building footprint
68	Sweetgum	10	Yes	Remove	Within building footprint
69	Sweetgum	8	Yes	Remove	Within building footprint
70	Coast redwood	36	Ordinance sized	Remove	Within building footprint
71	Coast redwood	34	Ordinance sized	Remove	Within building footprint
72	Coast redwood	36	Ordinance sized	Remove	Within building footprint
73	Coast redwood	37	Ordinance sized	Remove	Within building footprint
74	Chinese tallow	17	Ordinance sized	Remove	Within building footprint
75	Chinese tallow	26	Ordinance sized	Remove	Within building footprint
76	Chinese tallow	17	Ordinance sized	Remove	Within building footprint
77	Japanese maple	4,4,4,3,3,3,2	Yes	Remove	Within building footprint
78	Japanese maple	3,3,2,2,2,2	Yes	Remove	Within building footprint
79	Japanese maple	4,4,4,4,3,3	Yes	Remove	Within building footprint
80	Japanese maple	5,4,4,4,4,4,3,2	Yes	Remove	Within building footprint
81	Chinese tallow	14	Ordinance sized	Remove	Within building footprint
82	Chinese tallow	17	Ordinance sized	Remove	Within building footprint
83	Sweetgum	13	Ordinance sized	Remove	Within building footprint
84	Sweetgum	11	Yes	Remove	Within parking lot alignment
85	Sweetgum	12	Ordinance sized	Remove	Within parking lot alignment
86	Evergreen ash	12	Ordinance sized	Remove	Within parking lot alignment
87	Evergreen ash	33	Ordinance sized	Remove	Within parking lot alignment
88	Evergreen ash	21	Ordinance sized	Remove	Within parking lot alignment
89	Sweetgum	11	Yes	Remove	Within parking lot alignment
90	Coast redwood	26,15,13,12,9	Ordinance sized	Remove	Within parking lot alignment
91	Coast redwood	37	Ordinance sized	Remove	Within parking lot alignment
92	Fan palm	9,6,4	Ordinance sized	Remove	Within parking lot alignment
93	Evergreen ash	5	Yes	Remove	Within parking lot alignment
94	Evergreen ash	8	Yes	Remove	Within parking lot alignment
95	Evergreen ash	5	Yes	Remove	Within parking lot alignment
96	Evergreen ash	4	Yes	Remove	Within parking lot alignment
97	Coast redwood	22	Ordinance sized	Remove	Within parking lot alignment
98	Evergreen ash	15	Ordinance sized	Remove	Within parking lot alignment

TREE MITIGATION CHART

Circumference	Native	Non-native	Orchard	Total
38"+	15	80	0	95
19" to 37"	0	29	0	29
<19"	0	28	0	28
Trees to be removed	15	137	0	152

Circumference	Native	Non-native	Orchard	Total
38"+	75	320	0	395
19" to 37"	0	58	0	58
<19"	0	28	0	28
15-gal. replacement trees	75	406	0	481

Circumference	Native	Non-native	Orchard	Total
38"+	38	160	0	198
19" to 37"	0	29	0	29
<19"	0	14	0	14
24-inch box replacement trees	38	203	0	241

TREE MITIGATION CALCULATIONS

TOTAL EXISTING TREES TO BE PRESERVED = 11 OFF-SITE, NONE ON-SITE
 TOTAL EXISTING TREES TO BE REMOVED = 152
 REPLACEMENT TREES REQUIRED = 481 @ 15 GAL. OR 241 @ 24" BOX
 REMAINING TREES TO BE MITIGATED BY "IN-LIEU FEE" OF \$175 + 46 @ (\$175 X 46 = \$13,650)



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a Delaware limited liability company

Project:

2334 LUNDY PLACE

SAN JOSE, CA

Consultants:

- CIVIL
- STRUCTURAL
- MECHANICAL
- PLUMBING
- ELECTRICAL
- LANDSCAPE
- SOILS PROTECTION
- ENGINEER

Title: EXIST. TREE REPORT & MITIGATION PLAN

Plan Check Number: H24-057

Project Number: 23445

Drawn by: M.D.

Date: 6/3/2025

Revision:

1st Planning Submittal 9/25/2025

2nd Planning Submittal 1/28/2025

3rd Planning Submittal 6/03/2025

Sheet:

LC1.2



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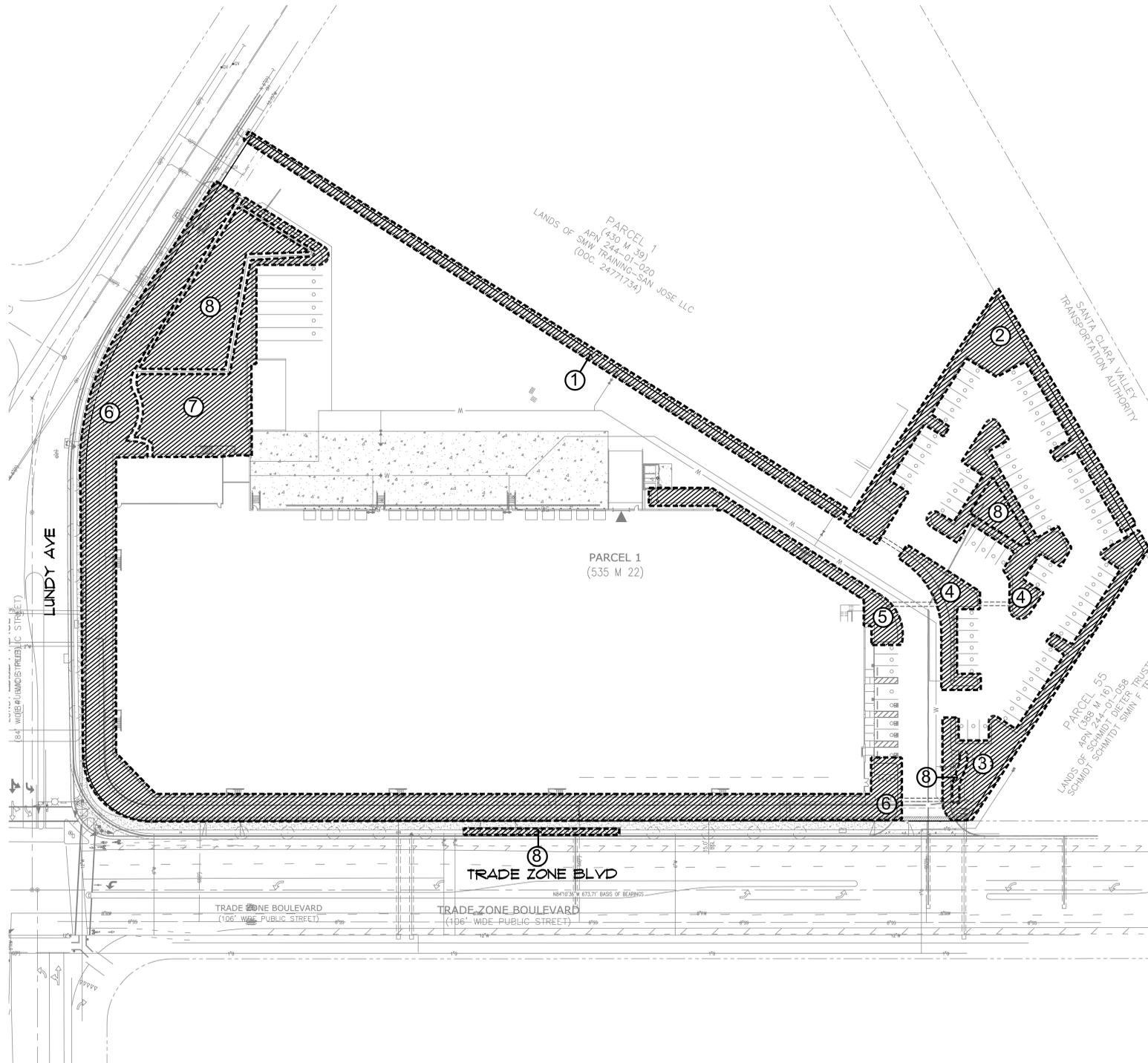
Title: PRELIMINARY HYDROZONE PLAN

Plan Check Number: H24-057
Project Number: 23445
Drawn by: M.D.
Date: 6/3/2025

Revision:
1st Planning Submittal 9/25/2025
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LC2.1



Water Efficient Landscape Budget Calculations

Reference Evapotranspiration (ETo) 45.3

MAWA - Regular Landscape Areas

MAWA = (ETo) x (0.62) x ((ETAF x LA) + (1-ETAF x SLA))

landscape area	52,216	s.f.
SLA	0	s.f.
ETAF	0.45	average ETAF for regular landscape areas must be 0.55 residential areas, and 0.45 for non-residential areas
total area with SLA	52,216	
maawa total	659,942	gallons per year

ETWU - Regular Landscape Areas

ETWU = (ETo) x (0.62) x ((ETAF x LA) + SLA))

hydro-zone number	plant water use	plant factor (PF)	irrigation method	irrigation efficiency	ETAF (PF/IE)	hydro-zone area	ETAF x Area	ETWU
1	low	0.2	drip	0.81	0.247	2,563	632.8	17,774
2	low	0.2	drip	0.81	0.247	4,097	1,011.6	28,412
3	low	0.2	drip	0.81	0.247	3,389	837	23,502
4	low	0.2	drip	0.81	0.247	3,720	919	25,798
5	low	0.2	drip	0.81	0.247	2,056	508	14,258
6	low	0.2	drip	0.81	0.247	21,511	5,311	149,175
7	low	0.2	drip	0.81	0.247	6,738	1,684	46,727
8	low	0.2	overhead spray	0.75	0.267	8,142	2,171	60,960
SLA	---	1.0	---	1.00	1,000	0	0	0
ETWU totals						52,216	13,053.7	366,625
Total area with all zones and SLA						52,216		

ETAF calculations

total ETAF x area	13,053.7
total area	52,216 s.f.
average ETAF	0.250

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

ETWU calculations

ETWU = (ETo) x (0.62) x ((PF x HA) / IE) + SLA

EtO	45.30	conv. factor	.62	PF x Area/IE	13,053.7	SLA	0
ETWU=	366,625						

TOTALS

MAWA total	659,942	gallons per year
ETWU total	366,625	gallons per year
44.4		Percentage reduction of Potable Irrigation Water

IRRIGATION HYDRO-ZONE LEGEND

PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS. HYDROZONE DESIGNATION IS DETERMINED BY HIGHEST WATER REQUIREMENT PLANTING IN ZONE.





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STRUCTURAL -
MECHANICAL -
PLUMBING -
ELECTRICAL -
LANDSCAPE GREEN DESIGN
FIRE PROTECTION -
SOILS ENGINEER -

Title: PRELIMINARY IRRIGATION PLAN

Plan Check Number: H24-057
Project Number: 23445
Drawn by: M.D.
Date: 6/3/2025

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1st Planning Submittal 9/25/2025
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IRRIGATION LEGEND:

SYMBOL	MFG.	SERIES/MODEL	COMMENTS
P.O.C.			POINT OF CONNECTION (CONNECT TO IRRIGATION WATER METER) IRRIGATION WATER METER - TO BE PROVIDED BY OTHERS IF STATIC PRESSURE AT WATER METER EXCEEDS 100 PSI - USE SCH 40 STEEL PIPE FROM IRRIGATION METER TO IRRIGATION R.F.P. ASSEMBLY (SIZE AS NOTED ON PLANS)
(X)			VALVE IDENTIFICATION NUMBER AND CONTROLLER LETTER IDENTIFICATION
(1" X)			VALVE SIZE - GALLONS PER MINUTE OR 'D' FOR DRIP IRRIGATION

SYMBOL	MFG.	SERIES/MODEL	COMMENTS
(C)	HYDROPOINT	(WTLIC-C-24 - PL.) PLASTIC ENCLOSURE R5500	HYDROPOINT (WeatherTRAK LC) CLOUD BASED IRRIGATION CONTROLLER INCLUDES 1 YEAR WEATHERTRAK CENTRAL 'IRRITROL' RAIN SENSOR WIRED
(R)	RAINBIRD	XCZ-100-PRB-COM (15gph) min-3 gpm min)	CONTROL ZONE/FILTER KIT - 1" (MAX. FLOW OF 20 GPM)
(R)	RAINBIRD	PRB-R SERIES	REMOTE CONTROL VALVE FOR TREE BUBBLERS/SPRAY HEADS (SIZE AS NOTED)
(A)	AMERICAN	5000 SERIES	GATE VALVE / ISOLATION VALVE (SIZE PER MAINLINE)
(R)	RAINBIRD	RWB(2) WITH (1/40) BUBBLER EA.	PRESS. COMP. BUBBLERS 20-30 PSI G.P.M. - 25 ea.
(V)	HYDROPOINT	WT-MV-150G-SNO	2" NORMALLY OPEN SUPERIOR 3100 SERIES BRASS GLOBE MASTER VALVE
(F)	HYDROPOINT	WT-F5-200-DI	2" FLOW SENSOR

SYMBOL	MFG.	SERIES/MODEL	COMMENTS
(---)	DRIP LATERAL	3/4" SCH. 40 PVC	INSTALL 6" MIN. BELOW FINISH GRADE (NOT SHOWN) RUN LATERAL TO ALL INDIVIDUAL PLANTER AREAS PER VALVE.
(---	TREE BUBBLER LATERAL		INSTALL 6" MIN. BELOW FINISH GRADE
(---	IRRIG. MAIN	1" SCH. 40 PVC	INSTALL 36" MIN. BELOW FINISH GRADE ADD WARNING TAPE 6" DEPTH ABOVE PIPE.
(---)	DRIP ZONE	TORO (or equal) TORO	INSTALL 6" MIN. BELOW FINISH GRADE (NOT SHOWN) SINGLE OUTLET PRESSURE COMPENSATING - INSTALL DRIP TO ALL PLANTS @ (2) 1 GPH/1 GAL, (2) 1 GPH/1 GAL, (3) 2 GPH/1/2 GAL, (4) 2 GPH/2" OR 36" BOX (NOT SHOWN)
(---	SLEEVE	SCH. 40 PVC	2" (MIN.) LARGER THAN IRRIG. PIPE INSTALL 6" SPECIFIED DEPTH PER MAIN LINE OR LATERAL PIPE. EXTEND 8" V. 12" BEYOND PAVEMENT. STAKE TO MARK. (NOT SHOWN FOR LATERALS UNDER PAVING)
(X)	RAINBIRD	44NP	1" QUICK COUPLER VALVE, 2 PIECE BODY W/ LOCKING COVER

PROPOSED STORMWATER TREATMENT AREA SPRAY HEADS

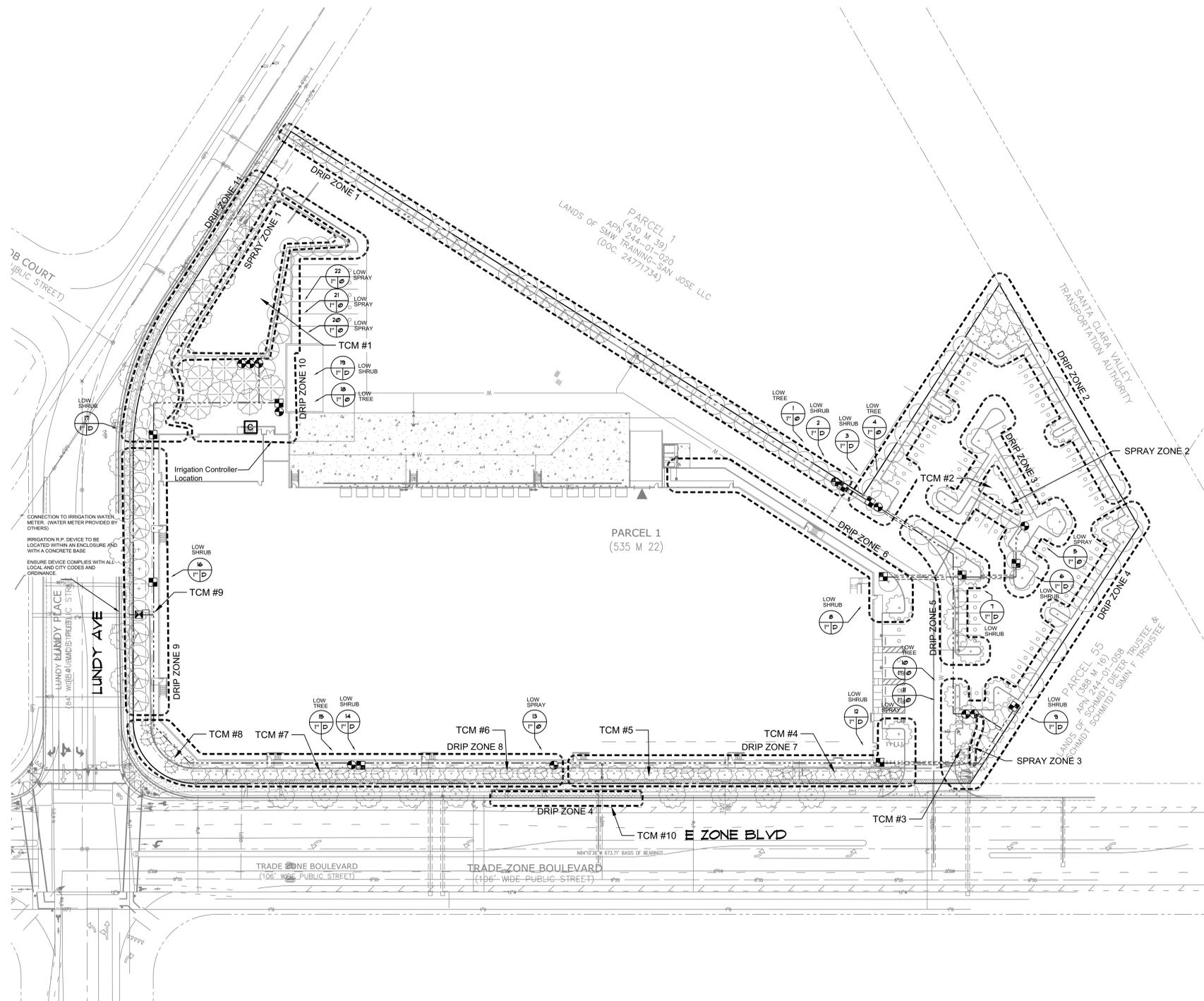
(H)	HUNTER	MP2000-45d (14"R-0.19 GPM-40PSI) PROS-12-PRS40-CV	12" ADJ. SHRUB POP-UP STREAM SPAY HEAD HUNTER IRRIGATION SPRAY BODY
(H)	HUNTER	MP2000-Q (20"R-0.4 GPM-40PSI) PROS-12-PRS40-CV	12" ADJ. SHRUB POP-UP STREAM SPAY HEAD HUNTER IRRIGATION SPRAY BODY
(H)	HUNTER	MP2000-H (19"R-0.14 GPM-40PSI) PROS-12-PRS40-CV	12" ADJ. SHRUB POP-UP STREAM SPAY HEAD HUNTER IRRIGATION SPRAY BODY
(H)	HUNTER	MP2000-F (19"R-1.41 GPM-40PSI) PROS-12-PRS40-CV	12" ADJ. SHRUB POP-UP STREAM SPAY HEAD HUNTER IRRIGATION SPRAY BODY

IRRIGATION PIPE SIZE CHART

SCHEDULE 40

- CONSTANT PRESSURE PIPING
1-1/2 INCHES AND SMALLER.
- INTERMITTENT-PRESSURE
LATERAL PIPING

1/2"	==	0-4 GPM
3/4"	==	5-8 GPM
1"	==	9-13 GPM
1-1/4"	==	14-22 GPM
1-1/2"	==	23-30 GPM
2"	==	31-50 GPM



PRELIMINARY IRRIGATION PLAN

SCALE: 1" = 40'-0"





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STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	GREEN DESIGN
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: **SITE PHOTOMETRIC**

Plan Check Number: H24-057

Project Number: 23445

Drawn by: M.D.

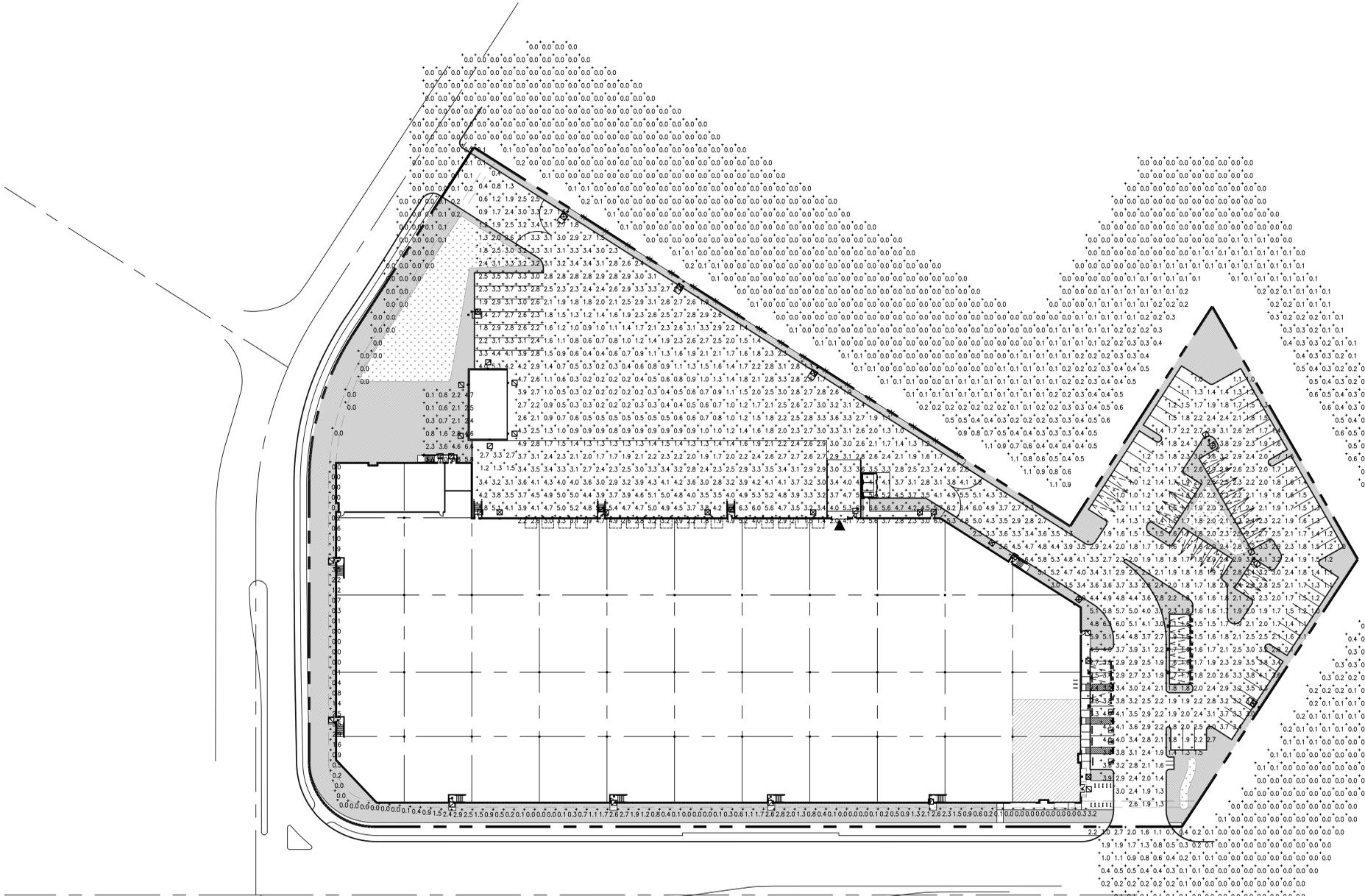
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RPM25-031



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
☐	W3	16	U.S. ARCHITECTURAL LIGHTING	R2R-WM1-LED-B-W-20LED-350mA-40K DMV MMS11 WALL MT AT 9 FT AFG MMS11 BUG RATING B1 UO G1	CAST BLACK PAINTED FINNED METAL HOUSING.	20 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	20	151	0.9	214
☐	W1	9	U.S. ARCHITECTURAL LIGHTING	VLL-LED-1748-W-BOLED-700mA-40K-HS MMS11 WALL MT AT 30 FT AFG BUG RATING B1 UO G3	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	238	0.9	1735
☐	SA2	2	U.S. ARCHITECTURAL LIGHTING	VLL-LED-V50-W-BOLED-525mA-40K POLE MT AT 27.5 FT AFG BUG RATING B5 UO G3	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	248	0.9	2594
☐			U.S. ARCHITECTURAL LIGHTING	VLL-LED-V50-W-BOLED-525mA-40K POLE MT AT 27.5 FT AFG BUG RATING B5 UO G3	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	248	0.9	1297
☐			U.S. ARCHITECTURAL LIGHTING	VLL-LED-V50-W-BOLED-525mA-40K POLE MT AT 27.5 FT AFG BUG RATING B5 UO G3	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	248	0.9	1297
☐	SA3	1	U.S. ARCHITECTURAL LIGHTING	VLL-LED-1748-W-BOLED-700mA-40K-HS MMS11 POLE MT AT 27.5 FT AFG 25 FT POLE 30 W BASE BUG RATING B1 UO G3	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	238	0.9	1735
☐	SA4	4	U.S. ARCHITECTURAL LIGHTING	VLL-LED-1748-W-BOLED-700mA-40K-HS MMS11 POLE MT AT 29 FT AFG 25 FT POLE 48 W BASE BUG RATING B1 UO G3	CAST BLACK PAINTED FINNED METAL HOUSING.	80 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	80	238	0.9	1735
☐	W4	6	U.S. ARCHITECTURAL LIGHTING	R2R-WM1-LED-B-W-20LED-350mA-40K DMV MMS11 WALL MT AT 9 FT AFG MMS11 BUG RATING B1 UO G1	CAST BLACK PAINTED FINNED METAL HOUSING.	20 WHITE LIGHT EMITTING DIODES (LEDS), BASE UP.	20	151	0.9	214

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc. Zone #1		2.5 fc	7.3 fc	0.2 fc	36.5:1	125:1
Calc. Zone #2		0.1 fc	3.0 fc	0.0 fc	N/A	N/A
Calc. Zone #3		0.9 fc	3.5 fc	0.0 fc	N/A	N/A
Calc. Zone #4		2.1 fc	3.3 fc	1.2 fc	2.8:1	1.8:1
Calc. Zone #5		2.9 fc	8.8 fc	0.1 fc	88.0:1	29.0:1



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06/03/2025