CITY OF SAN JOSE
CAPITAL OF SILICON VALLEY

CITY COUNCIL STAFF REPORT

File No.	C18-043 & SP18-049
Applicant:	Courtenay Bauer
Location	West side of South Winchester Boulevard, approximately 200 feet southerly of Stevens Creek Boulevard (335 South Winchester Boulevard)
Existing Zoning	CN Commercial Neighborhood
General Plan Land Use Designation	Mixed Use Commercial
Council District	1
Historic Resource	No
Annexation Date:	9/18/1973 (Winchester No. 24)
CEQA:	335 South Winchester Boulevard Office Project Mitigated Negative Declaration

APPLICATION SUMMARY:

1. Conforming Rezoning from the CN Commercial Neighborhood Zoning District to the CP Commercial Pedestrian Zoning District on a 0.71-gross acre site.
2. Special Use Permit and Site Development Permit to allow the demolition of an approximately 9,200-square foot restaurant, and the construction of a five-story, 93,736-square foot office building with an alternative parking design (parking stackers), and removal of eight ordinance-size trees and 20 non-ordinance size trees on an approximately 0.71-gross acre site.

RECOMMENDATION:

(a) Adopt a resolution adopting the 335 South Winchester Boulevard Office Mitigated Negative Declaration, for which an initial study was prepared, and adopting the associated Mitigation Monitoring and Reporting Plan, in accordance with the California Environmental Quality Act (CEQA), as amended.

(b) Approve an ordinance rezoning an approximately 0.71-gross acre site generally located on the west side of South Winchester Boulevard, approximately 200 feet southerly of Stevens Creek Boulevard, from the CN Commercial Neighborhood Zoning District to the CP Commercial Pedestrian Zoning District.

(c) Adopt a resolution approving a Special Use Permit and Site Development Permit based on the facts and findings in this staff report and proposed Resolution (attached), subject to the conditions stated in said Resolution.

PROJECT DATA

GENERAL PLAN CONSISTENCY			
General Plan Designation		**Mixed Use Commercial** **☒ Consistent ☐ Inconsistent**	
Consistent Policies		**Community Design Policy CD-7.3**	
SURROUNDING USES			
	General Plan Land Use	**Zoning**	**Existing Use**
North	Mixed Use Commercial (Urban Village)	CN Commercial Neighborhood	Retail
South	Mixed Use Commercial (Urban Village)	A(PD) Planned Development	Restaurant
East	Urban Village	A(PD) Planned Development	Parking garage (Santana Row)
West	Residential Neighborhood	Residential Neighborhood	Single-family residence

PROJECT DESCRIPTION

On December 19, 2018, the applicant, Courtenay Bauer, applied for 1) a Conventional Rezoning (File No. C18-043) of the subject from the CN Commercial Neighborhood Zoning District to the CP Commercial Pedestrian Zoning District, and 2) a Special Use Permit and Site Development Permit (File No. SP18-049) to allow the demolition of an approximately 9,200-square foot restaurant, and the construction of a five-story, 93,736-square foot office building with an alternative parking design (parking stackers), and removal of eight ordinance-size trees.

The proposed building would front onto South Winchester Boulevard. The project includes 207 below-grade parking stalls in an automated stacking system, and 22 bicycle parking spaces in both rack and locker configurations. An ingress/egress driveway is proposed along the south side of the property, leading behind the building to a small surface parking lot and the below-grade parking garage. An eight-foot masonry wall is proposed along the rear property line shared with the residence to the rear of the site.

The project would install a parking stacker system designed to be operated by the vehicle driver. The driver would park in an open stacker stall, exit the vehicle and parking space, then use a key pad that closes a safety barrier and moves the vehicle to an available space within the stacker module; a retrieval code is provided to the driver. This parking stacker system is in widespread use in dense urban areas.

Site Description and Surrounding Uses

The project site is located on the west side of South Winchester Boulevard, approximately 200 feet southerly of Stevens Creek Boulevard (Figures 1 and 1.a). The site is currently developed with an approximately 9,200-square foot occupied restaurant (Khanh's) and surface parking. Vehicle access to the site is from two driveways on South Winchester Boulevard. The site is bordered by single-family residences to the west, including a dense row of cypress trees along the shared rear property line; and by commercial retail uses on all other sides, including Santana Row to the east, across South Winchester Boulevard.

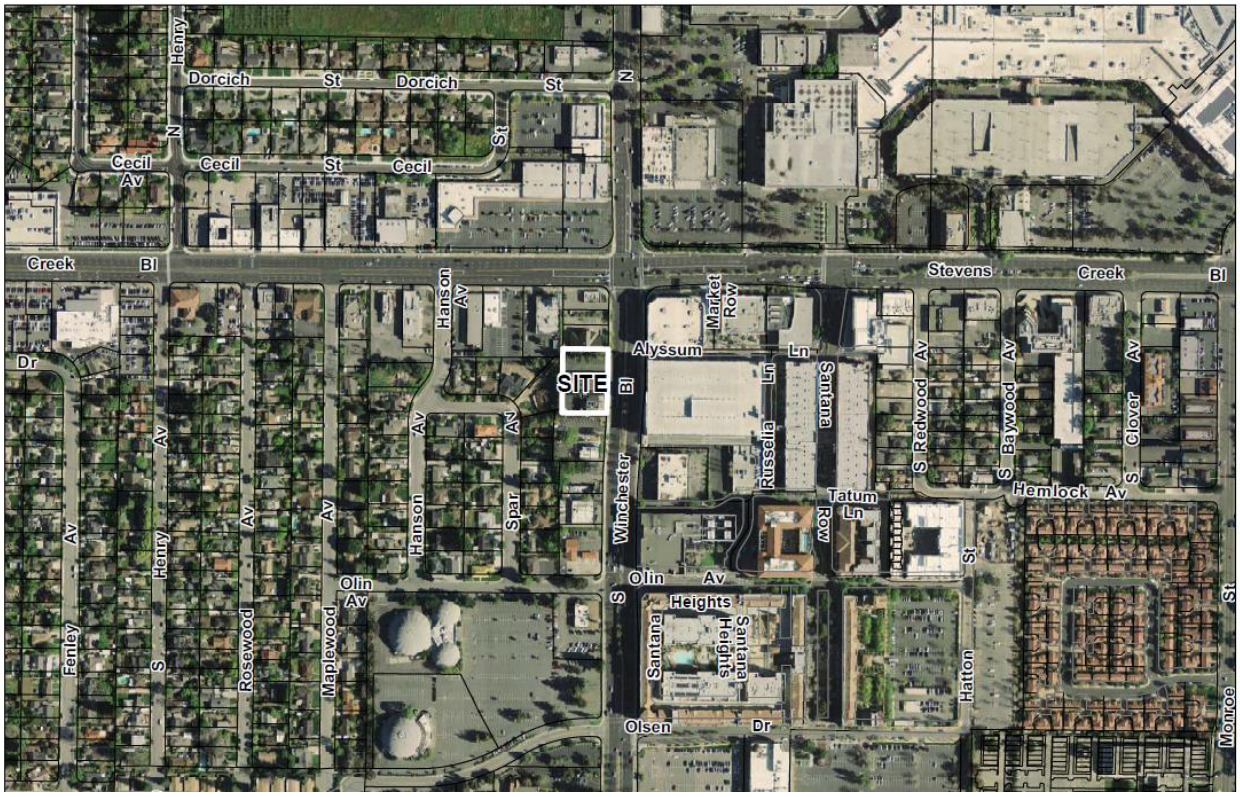


Figure 1: Aerial image of the subject site

Figure 1.a: Detail

Background

The site is currently zoned CN Commercial Neighborhood, which allows the proposed office and retail use; however, the site requires a rezoning to CP Commercial Pedestrian, to allow the development to comply with the setback and height requirements of the Santana Row/Valley Fair Urban Village. The CP Commercial Pedestrian development standards defer to those in the Urban Village, as explained in the Zoning Conformance section of this memorandum. An office

and retail building would typically require only a Site Development Permit. However, the project proposes an alternative parking design in the form of an automated stacking system, which also requires a Special Use Permit. The Special Use Permit and Site Development Permit may proceed concurrently under a unified permit process, following the procedures for the Special Use Permit, as the ranking permit. Findings for a Site Development Permit are included, in this memorandum as well as findings for the Special Use Permit.

ANALYSIS

The Rezoning, Special Use Permit and Site Development Permit are analyzed with respect to conformance with the following: 1) the *Envision San José 2040 General Plan*, 2) the Zoning Ordinance, and 3) the California Environmental Quality Act (CEQA).

Envision San José 2040 General Plan Conformance

The project has an Envision San Jose 2040 General Plan Designation of Urban Village. This designation supports a wide variety of commercial, residential, institutional, or other land uses with an emphasis on establishing an attractive urban form in keeping with the Urban Village concept. Development within the Urban Village designation should conform to land use and design standards established with an adopted Urban Village Plan.

The project site is within the adopted Santana Row/Valley Fair Urban Village Plan (SRVF), and has a land use designation within the Urban Village Plan of Mixed Use Commercial (see Figure 2).

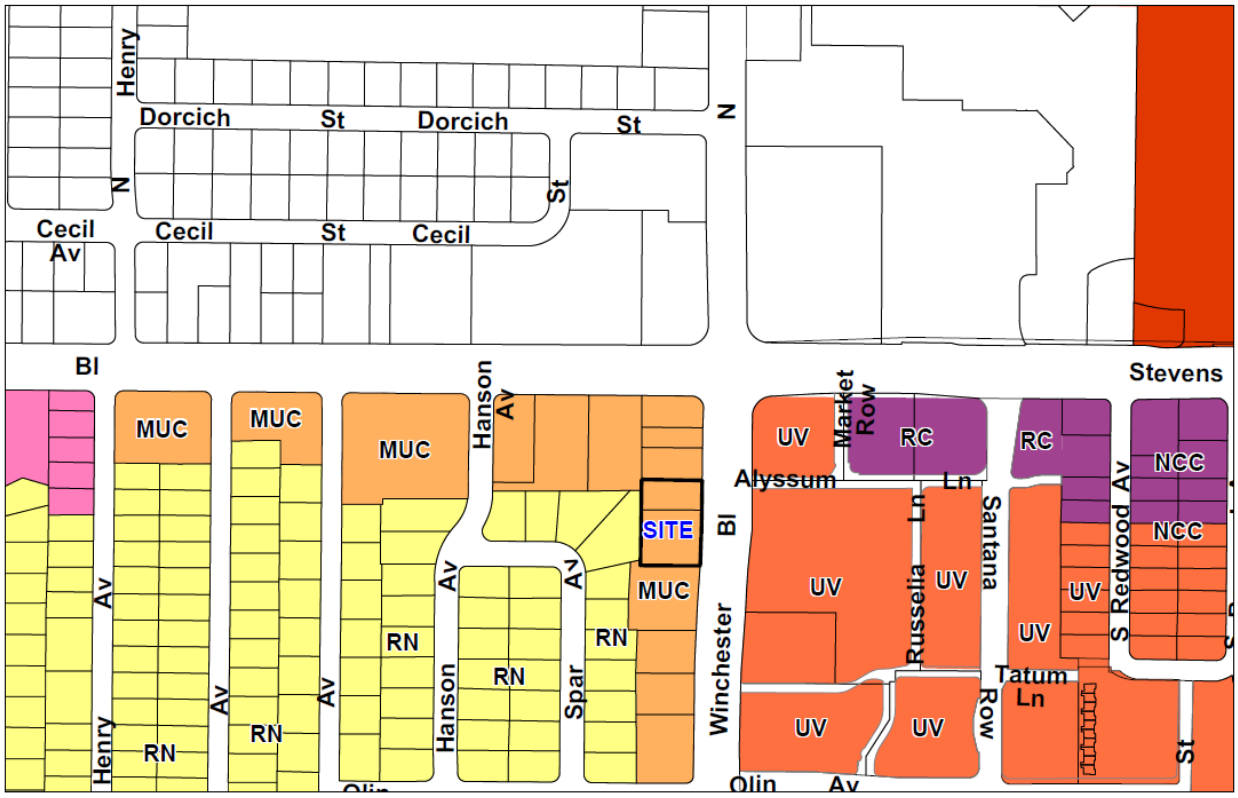


Figure 2: General Plan Land Use/Transportation Diagram

According to the SRVF Urban Village Plan, this designation is intended to accommodate a mix of commercial and residential uses with an emphasis on commercial activity as the primary use and residential use, if also proposed, allowed in a secondary role. New development of a property with this designation allows from 0.50 to 4.5 Floor Area Ratio (FAR) for commercial projects. Appropriate commercial uses include neighborhood retail and mid-rise office.

The current zoning of CN Commercial Neighborhood allows offices and retail, but requires a minimum front setback of 15 feet. This setback is inconsistent with the SRVF Urban Village Plan, which includes a Building Placement Standard of zero to ten feet from the front property line along South Winchester Boulevard to help establish the vibrant, walkable pedestrian environment envisioned. The CP Zoning District defers to the development standards established by Urban Villages, making this district consistent with the Urban Village. This district allows office and retail uses, consistent with the SRVF Urban Village.

The proposed rezoning is consistent with the following key General Plan policy:

CD-7.3 Review development proposed within an Urban Village Area prior to approval of an Urban Village Plan for consistency with General Plan design policies and any other applicable design policies pertaining to the proposed use. Following adoption of an Urban Village Plan, review new development for consistency with design goals, policies, standards, and guidelines included within the Urban Village Plan.

Analysis: As the project site is within the approved SRVF Urban Village, the project is evaluated below for consistency with key design goals, policies, standards, and guidelines of the Urban Village. The project is consistent, as analyzed below. Consistency with height and setback design standards is evaluated in the Zoning Consistency section, as the proposed CP Commercial Pedestrian Zoning District defers to these standards.

The project is consistent with the following design goals, policies, standards, and guidelines of the SRVF Urban Village:

Vibrant Pedestrian Corridors

Urban Design Goal UD-8: Create continuous building frontages that frame the Village's public realm and streets.

Design Guideline DG-47: Buildings should align with street frontages and public pedestrian pathways to create continuous street walls.

Design Guideline DG-12: Consider designing space that will allow the commercial use to spill over onto the public right of way to activate the street and engage the pedestrians. This may require a permit from the City of San José Department of Public Works.

Design Standard DS-11: Where the existing sidewalk in front of a development project is less than the required sidewalk (20 feet along Winchester and Stevens Creek boulevards and 12-15 feet on all other streets; see Chapter 6), the project must make up the difference such that the entire required sidewalk width is publicly accessible and functions as a sidewalk.

Analysis: The project creates a continuous building frontage along the S. Winchester Boulevard public sidewalk, with the exception of the required vehicle driveway along the southern property line. The project provides a 20-foot wide public sidewalk, through a combination of property dedication and a sidewalk easement. The project will incorporate ground floor commercial

space with pedestrian entries directly onto the sidewalk, which will facilitate commercial activity on the sidewalk, such as sidewalk cafes.

Active Ground Floor Uses

Policy 3-14: Ensure new development along Stevens Creek and Winchester Boulevard includes ground floor commercial and/or active spaces such as lobbies fronting the street and wrapping the corner when located on a corner lot.

Design Standard DS-1: Ground floor building frontages shall have clear, untinted glass or other glazing material on at least 60% of the surface area of the facade between a height of two and seven feet above grade.

Design Standard DS-2: Primary pedestrian entrances for both ground floor and upper-story uses shall face Winchester Boulevard.

Design Standard DS-3: The minimum floor-to-ceiling height of the ground floor commercial space shall be a minimum of 15 feet and preferably 18 to 20 feet.

Design Standard DS-4: The depth of ground floor commercial space shall be 50 feet minimum and preferably 60 feet.

Design Guideline DG-1: Along all active frontages, a minimum of 75 percent of the ground floor linear frontage of any building should be active.

Analysis: Approximately 135 feet (or 84%) of the 160-foot wide ground floor building frontage is active, consisting primarily of ground floor retail storefront, with the remainder of the active area being the entry lobby for the upper office floors. The proposed storefront glass is non-tinted, allowing views into the active ground floor spaces. The floor-to-ceiling height is 15 feet; and the ground floor commercial space depth is 65 feet. All pedestrian entrances directly face the sidewalk and street; and the upper floor uses also face the street.

High Quality Architecture

Urban Design Goal UD-5: Architecture and design of new or remodeled buildings should be high-quality and visually compelling.

Design Standard DS-6: All buildings shall contain the three traditional parts of a building: a base, a mid-section, and a top. While a tower (typically above eight stories) may not have a distinct top feature, the building design shall distinguish the pedestrian-oriented base portion from the massing above.

Design Standard DS-7: Buildings shall maintain facade quality of architectural articulation and finishes on all sides of a building that is visible to the public. Some of the architectural features of the main facade shall be incorporated into the rear and side elevations.

Analysis: The building incorporates high quality exterior materials including metal and glass storefront and curtain walls, as well as solid, warm-tone panels framing deep bays within the storefront. The off-set pattern of bays within the front façade and the contrast between solid and transparent materials create a compelling architectural design. While windows cannot be included within interior side property lines due to Fire Code requirements, these elevations are divided into proportionate modules using recessed planes and material changes. The large, white panels will include a subtle pattern of score lines to add visual interest. Moreover, it is anticipated these elevations will be visually obstructed by future development along S.

Winchester Boulevard. The rear elevation incorporates a step back design that breaks down building mass, and a variegated pattern of solid and transparent panels for articulation. The building contains distinct base, mid-section, and top elements, as defined by the recessed ground floor storefront, curtain wall upper floors, and projecting roofline elements.

Compatibility with Adjacent Residential Neighborhoods

Urban Design Goal UD-9: Ensure that Village development respects the scale, light, and privacy of existing residential neighborhoods in and near the Village.

Design Standard DS-9: New projects proposed within the Urban Village Plan over 55 feet in height must provide detailed visualizations of their proposed project that show what the project would look like from the street level, from different perspectives and distances, within the context of the neighborhood including both current and proposed projects.

Design Standard DS-12: Includes transitional height standards for projects adjacent to residential neighborhoods.

Analysis: In accordance with Design Standard DS-12, the project incorporates a stepdown design at the rear, where it is adjacent to the rear yards of two single-family residences on Spar Avenue. For buildings up to 65 feet in height, a 15-foot rear setback is required, at which point the building is require to step back at a 45-degree angle for any height above 35 feet. As shown on Sheet A-202 of the project plans, the project complies with this requirement. The stepback respects the smaller scale and privacy of the adjacent residential neighborhood. The variegated pattern of glazing and solid elements within the rear façade also limits reflected glare toward the neighborhood. Furthermore, an existing dense row of cypress trees along the rear property of the residence sharing the property line with the project will substantially screen views of the building. A detailed visualization of the building as viewed from Spar Avenue is provided in Figure 3, below:

Figure 3: Simulated view of project from Spar Avenue

Open/Amenity Space

Policy 4-9: As new development occurs, space on each site should be dedicated to some form of open space. These spaces should be located so as to easily and logically connect with other open spaces in the surrounding area to create a connected Green Web of open space throughout the Urban Village.

Figure 4-1 Parks and Open Space Framework indicates a potential paseo, a form of open space, along the northern side property line of the subject site. This paseo is intended as a pedestrian connection to and from the residential neighborhood to the west.

Design Standard DS-13: Paseos shall be no less than 16 feet (preferably 20 feet) wide with a minimum 10-foot (preferably 12 feet) clear walking/biking path.

Analysis: The project will contribute a six-foot wide area along the northern property toward a future paseo, that would be completed by a corresponding ten-foot wide paseo section to be provided by separate future development on the parcels north of the subject site, and continuing along the rear of the commercial parcels facing Stevens Creek Boulevard. In the interim, the portion of the paseo provided by the subject project will serve as an egress corridor for the building, with exterior gate access open during business hours.

Zoning Ordinance Conformance

Land Uses

The site is currently zoned CN Commercial Neighborhood (Figure 4), which allows the proposed office and retail use; however, the site requires a rezoning to CP Commercial Pedestrian (Figure 4a) to allow the development to comply with the setback and height requirements of the Santana Row/Valley Fair Urban Village. The CP Commercial Pedestrian development standards defer to those in the Urban Village.

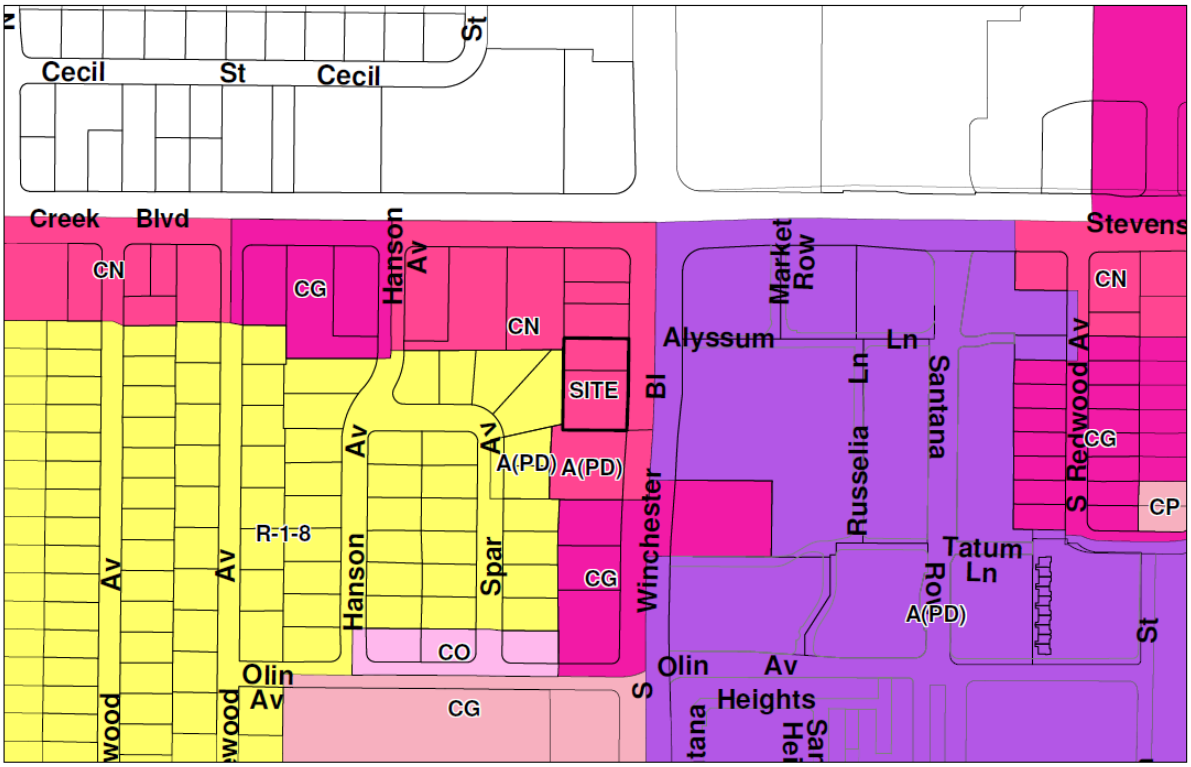


Figure 4: Existing Zoning District

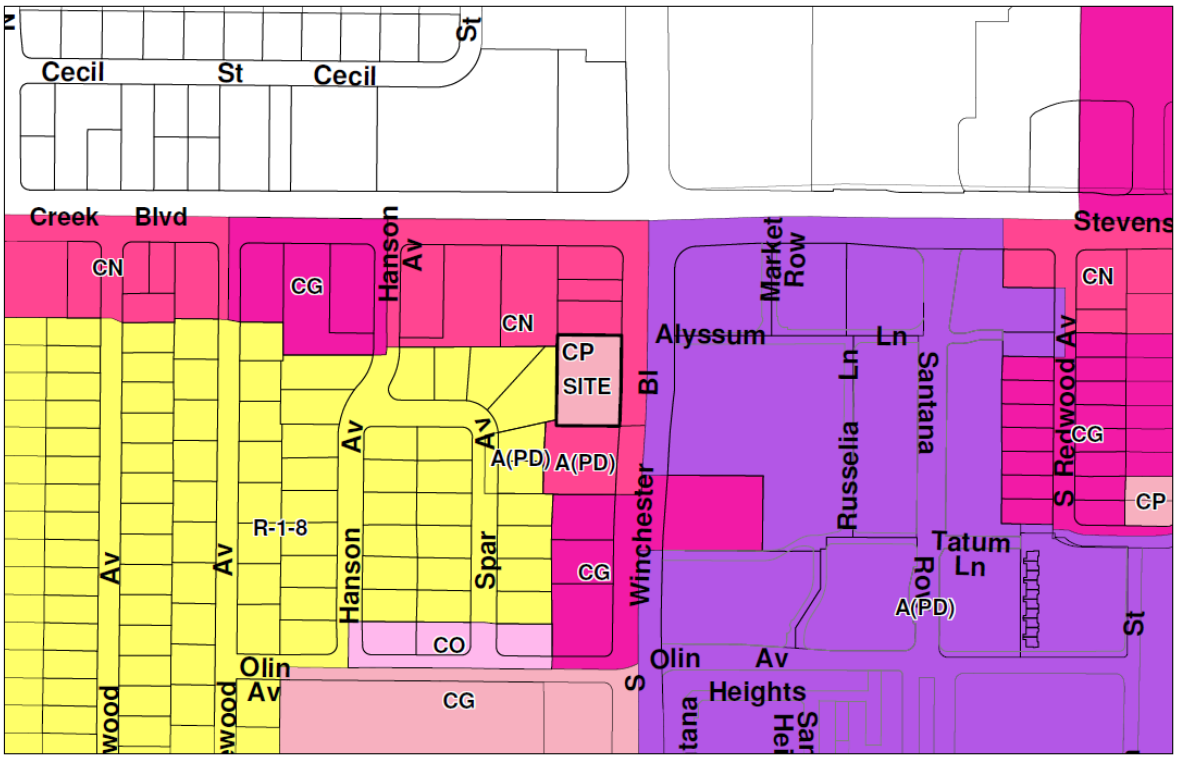


Figure 4a: Proposed Zoning District

Development Regulations

For the CP Zoning District, the Zoning Ordinance defers to the height and setback established in an approved Urban Village Plan. The project complies with the setbacks established in the plan, as follows:

Height

The SRVF Urban Village Plan (Figure 5-2) establishes a maximum height of 65 feet for the parcels on the west side of South Winchester Boulevard, between Stevens Creek Boulevard and Olin Avenue (with the exception of the Stevens Creek corner parcels.) Non-occupiable architectural features such as roof forms, chimneys, stairwells, and towers may project up to ten feet above the maximum height (Design Guideline DG-35).

In addition, Design Standard DS-12 applies a 45-degree stepback plane for buildings up to 65 feet in height, starting at 15 feet from the rear property line, at a height of 35 feet.

The building has a maximum height of 65 feet, with 10-foot roof form and stairwell projections of ten feet above this height, consistent with the height limit. The project also complies with the and stepback requirements, as shown on Sheet A-202, North Elevation.

Setbacks

Required minimum and maximum building setbacks are included in Table 5-1 of the Building Placement, and Bulk Standards of the SRVF Urban Village Plan. The table below summarizes compliance with these standards.

Standard	SRVF UV Plan	Proposed
Front Setback, Non-Residential Ground Floor Use	0-10 feet	10 feet (after sidewalk dedication)
Street Setback	0-10 feet	10 feet (ground floor); 0 feet (cantilevered upper floors)
Rear Setback	15 feet minimum	20 feet

Automobile Parking

The project provides the number of parking spaces required by the Zoning Ordinance (Section 20.90.60), with an up to fifty-percent reduction allowed for being located within an Urban Village and implementing Transportation Demand Management (TDM) measures, as summarized below:

Use	Automobile Parking Ratio	Required	With 50% Reduction	Provided (35% reduction)
Retail (ground floor), 10,638 net SF	1 per 200 SF	54	27	34
Office (floors 2-5), 69,037 net SF	1 per 250 SF	277	138	181
Combined uses		**331**	**165**	**215**

The project will include the following TDM measures for all tenants and employees at the project site:

- Commute trip reduction marketing and education programs
- Rideshare program
- 50% subsidized transit passes

With implementation of these measures, the project is authorized for up to a 50 percent reduction in the required number of parking spaces.

Bicycle Parking

As shown in the table below, the project provides the bicycle parking required by the Zoning Ordinance (Section 20.90.60). Bicycle parking is provided by a combination of bicycle racks (front of the building); and lockers (rear of the building, adjacent to the surface parking spaces).

Use	Bicycle Parking Ratio	Required	Provided
Retail (ground floor), 10,638 net SF	1 per 3,000 SF	4	4
Office (floors 2-5), 69,037 net SF	1 per 4,000 SF	18	18
Combined uses		**22**	**22**

Screening adjacent to residentially-zoned properties

Pursuant to Section 20.40.560 of the Zoning Ordinance, a masonry wall or a solid wooden fence five feet in height is required to screen the abutting residentially-zoned properties and such screening should include trees or plants if the proposed use includes outdoor activities. The project includes a solid eight-foot tall masonry wall along the shared rear property line with the residence to the rear. An existing dense row of cypress trees exists along this property line on the residential property and would remain in place. The project therefore complies with this screening requirement.

Permit Findings

Special Use Permit

Chapter 20.100 of Title 20 of the San José Municipal Code establishes required findings for issuance of a Site Development Permit. The following are permit findings:

1. The Special Use Permit, as approved, is consistent with and will further the policies of the General Plan, applicable specific plans, and area development policies; and

   Analysis: The project is consistent with the General Plan designation of Urban Village, as well as the Santana Row/Valley Fair Urban Village designation of Mixed Use Commercial, because the proposed office and retail uses are allowed within these designations. Furthermore, the project is consistent with the goals, policies, standards, and guidelines of the Urban Village Plan. In particular, the proposed parking stacker system is consistent with Goal UD-12 of the Urban Village Plan to minimize visibility of parking and service areas, because it enables a compact, efficient parking system within an underground garage where it will not be visible from the public realm.

2. The Special Use Permit, as approved, conforms with the Zoning Code and all other provisions of the San José Municipal Code applicable to the project; and

   Analysis: The project meets the requirements of the proposed CP Commercial Pedestrian Zoning District, including building height, setback and stepback requirements, as well as the required number of off-street automobile parking spaces with allowed reductions, and bicycle parking spaces. The proposed automated parking stacker system is allowed with a Special Use Permit, and has been determined to adequately provide the parking needs of the project. The building is designed for office and retail uses, which are both permitted uses in the CP Commercial Pedestrian Zoning District.

3. The Special Use Permit, as approved, is consistent with applicable City Council policies, or counterbalancing considerations justify the inconsistency; and

   Analysis: The project has been conditioned to provide an exterior lighting plan, prior to issuance of Building Permits, to ensure the proposed ground-mounted light bollards and wall-mounted exterior lights will direct light downward, minimize glare and avoid off-site light spillage. With this condition, the project will conform to the Outdoor Lighting Policy. The project also complies with the Stormwater Management Policy, and Public Outreach Policy, as described.

4. The proposed use at the location requested will not:

   a. Adversely affect the peace, health, safety, morals, or welfare of persons residing or working in the surrounding area; or

   b. Impair the utility or value of property of other persons located in the vicinity of the site; or

c. Be detrimental to public health, safety, or general welfare; and

Analysis: Parking stacker systems have been incorporated in projects throughout the City and have not negatively affected the health, safety, or welfare or the utility of surrounding properties. The safety of the system is reviewed as part of the Building plan check process.

5. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required to integrate said use with the uses in the surrounding area; and

Analysis: As shown on the project plans, the proposed parking stacker system provides the required uniform parking stall dimensions and incorporates the allowed reduced 20-foot wide, two-way drive aisle for parking facilities. The reduced width will allow for safe and convenient access to the parking lift stalls. This drive aisle is not required for emergency vehicle access, which will be from South Winchester Boulevard.

6. The proposed site is adequately served:

a. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate; or by other forms of transit adequate to carry the kind and quantity of individuals such use would generate; and

b. By other public or private service facilities as are required.

Analysis: Access to the site will be from South Winchester Boulevard via a two-way commercial driveway at the south property line of the site. Site access and the commercial driveway access to the parking area have been reviewed by the Public Works Department and determined to be adequate. The site is served by public transit via the VTA Route 60 Bust Stop. The site is within an urban area that is currently served by necessary private and public facilities and utilities.

7. The environmental impacts of the project, including but not limited to noise, vibration, dust, drainage, erosion, storm water runoff, and odor which, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative affect on adjacent property or properties.

Analysis: The proposed development occurs in an urbanized area that is adequately serviced by all required utilities and public services. The Stormwater Control Plan is in compliance with the City's stormwater policies that require low impact development stormwater treatment measures to minimize stormwater pollutant discharges. Offsite glare from exterior lighting will be minimized through the use of low-height and concealed light fixtures. Construction activities will result in temporary noise and air quality impacts; however, these impacts will be temporary, and will be minimized through standard construction mitigation measures as listed in the project conditions of approval. The project would therefore not have an unacceptable impact on adjacent properties.

Site Development Permit

Chapter 20.100 of Title 20 of the San José Municipal Code establishes required findings for issuance of a Site Development Permit. The following are permit findings:

1. The Site Development Permit, as approved, is consistent with and will further the policies of the General plan and applicable specific plans and area development policies.

Analysis: As described in Special Use Permit Finding 1, the project is consistent with the General Plan designation of Urban Village and the Santana Row/Valley Fair Urban Village designation of Mixed Use Commercial, as well as goals, policies, standards and guidelines of the SRVF Urban Village Plan.

2. The site development permit, as approved, conforms with the Zoning Code and all other provisions of the San José Municipal Code applicable to the project.

   Analysis: As described in Special Use Permit Finding 2, the project meets the requirements of the proposed CP Commercial Pedestrian Zoning District, including building height, setback and stepback requirements, as well as the required number off-street automobile parking spaces, with allowed reductions, and bicycle parking spaces. The building is designed for office and retail uses which are both permitted uses in the CP Commercial Pedestrian Zoning District.

3. The site development permit, as approved, is consistent with applicable city council policies, or counterbalancing considerations justify the inconsistency.

   Analysis: As described in Special Use Permit Finding 3, the project is consistent with applicable City Council policies.

4. The interrelationship between the orientation, location, and elevations of proposed buildings and structures and other uses on-site are mutually compatible and aesthetically harmonious.

   Analysis: The project consists of a single building, oriented to the public sidewalk along the front with access to required parking and service areas at the rear of the building; these areas will not be visible from the public realm. The proposed building elevations are mutually compatible and harmonious in that they are of a consistent, contemporary style using visually compatible materials including glass, metal, and solid surfaces. Each elevation has an appropriate level of detail, with the most prominent front and rear elevations providing the most detail. Interior side elevations provide adequate visual relief through recesses and material and color changes.

5. The orientation, location and elevation of the proposed buildings and structures and other uses on the site are compatible with and are aesthetically harmonious with adjacent development or the character of the neighborhood.

   Analysis: *The building fronts onto S. Winchester Boulevard, onto which other commercial development of a similar nature also fronts. Existing surrounding structures are of a variety of architectural styles, with which the proposed contemporary glass and metal building would be compatible. The project is harmonious with the adjacent residential neighborhood to the rear in that the building incorporates a stepped back design away from the neighborhood; it is also visually screened from the neighborhood by an existing dense row of cypress trees along the rear property line of the residence to the rear of the site.*

   The cypress trees along the rear property line are at some risk due to their close proximity to the proposed masonry separation wall along the rear property line. The cypress trees are within one to four feet of the property line, and the required footings for the wall will partially intrude into the root zones of the cypress trees. The applicant will take measures to minimize root damage; however, survival of the trees cannot be guaranteed. Tree planting along the rear boundary of the subject is not feasible or appropriate, given the immediate proximity to the existing cypress row. Should some of the trees not survive, the applicant shall work with the property owner to plant replacement trees once the site work is complete.

6. The environmental impacts of the project, including but not limited to noise, vibration, dust, drainage, erosion, storm water runoff, and odor which, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative affect on adjacent property or properties.

   Analysis: The proposed development occurs in an urbanized area that is adequately serviced by all required utilities and public services. The Stormwater Control Plan is in compliance with the City's stormwater policies that require low impact development stormwater treatment measures to minimize stormwater pollutant discharges. Offsite glare from exterior lighting will be minimized through the use of low-height and concealed light fixtures. Construction activities will result in temporary noise and air quality impacts; however, these impacts will be temporary and will be minimized through standard construction mitigation measures, as listed in the project conditions of approval. The project would therefore not have an unacceptable impact on adjacent properties.

7. Landscaping, irrigation systems, walls, and fences, features to conceal outdoor activities, exterior heating, ventilating, plumbing, utility, and trash facilities are sufficient to maintain or upgrade the appearance of the neighborhood.

   Analysis: As shown on the plan sets, the landscaping, irrigation systems, walls, and fences are adequate to screen utility and trash facilities on the site. The project includes a solid eight-foot tall masonry wall along the shared rear property line with the residence to the rear, ensuring no utilities or service facilities will be visible from this property.

8. Traffic access, pedestrian access and parking are adequate.

   Analysis: Access to the site will be from South Winchester Boulevard via a two-way commercial driveway at the south property line of the site. Site access, the commercial driveway access to the parking area have been reviewed by the Public Works Department and determined to be adequate. The site is adjacent to the VTA Route 60 Bus Stop. South Winchester Boulevard is a four-lane roadway. As analyzed in the MND, the new transit trips generated by the project are not expected to create demand in excess of the transit service that is currently provided. The site is served by necessary private and public facilities.

Evaluation Criteria for Demolition

Chapter 20.80.460 of the San José Municipal Code establishes evaluation criteria for issuance of a permit to allow for demolition. These criteria are made for the Project based on the above-stated findings related to General Plan, Zoning and CEQA conformance and for the reasons stated below, and subject to the conditions set forth in this Permit.

1. The failure to approve the permit would result in the creation or continued existence of a nuisance, blight, or dangerous condition;
2. The failure to approve the permit would jeopardize public health, safety, or welfare;
3. The approval of the permit should facilitate a project which is compatible with the surrounding neighborhood;
4. The approval of the permit should maintain the supply of existing housing stock in the City of San Jose;
5. Both inventoried and non-inventoried buildings, sites and districts of historical significance should be preserved to the maximum extent feasible;

6. Rehabilitation or reuse of the existing building would not be feasible; and
7. The demolition, removal, or relocation of the building without an approved replacement building should not have an adverse impact on the surrounding neighborhood.

   Analysis: The subject site is not in a blighted condition; therefore, failure to approve the permit would not jeopardize public health, safety, or welfare. The demolition of the existing restaurant on-site would facilitate the construction of an office building. Re-use or rehabilitation of the buildings would not be practical given the small size of the buildings. The building has not been determined to be historically significant. The project would not remove residential units from the existing housing stock.

Tree Removal Permit

Chapter 13.32.100 of the San José Municipal Code establishes at least one of the following required findings must be made for issuance of a Live Tree Removal Permit for ordinance-size trees.

1. That the tree affected is of a size, type, and condition, and is in such a location in such surroundings, that its removal would not significantly frustrate the purposes of Chapter 13.32 of the San José Municipal Code as set forth in Section 13.32.010;
2. That the location of the tree with respect to a proposed improvement unreasonably restricts the economic development of the parcel in question;
3. That the condition of the tree with respect to disease, danger of falling, proximity to an existing or proposed structure, and/or interference with utility services, is such that preservation of the public health or safety requires its removal.

Analysis: The eight ordinance-sized trees would be removed to facilitate the development of the office project. The subject trees range in size from 38 inches to 43 inches in circumference. The project also involves the removal of 20 non-ordinance size trees to facilitate the new construction. The trees to be removed are located within the sidewalk, proposed building footprint and the parking areas of the site. Given the building occupies the majority of the site, with the remainder of the site required for driveway circulation and utility access, on-site replacement trees are not feasible for the project. Therefore, the project will be required to pay the Off-Site Tree Replacement Fee for 118 trees, based on the city's tree replacement ratios.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

An Initial Study (IS) and Mitigated Negative Declaration (MND) with associated Mitigation Monitoring and Reporting Program (MMRP) were prepared by the City of San Jose's Department of Planning, Building and Code Enforcement for the subject Conventional Rezoning, Special Use Permit, and Site Development Permit. The documents were circulated for public review and comments from August 14, 2019 to September 3, 2019. Two formal comment letters and/or emails were received from the public. The comments did not result in any substantial changes to the project description, analyses, and/or impacts that were previously disclosed in the IS/MND.

The public comments on the IS/MND have been addressed by staff in a formal Response to Comments document.

As stated in the IS/MND, the primary environmental issues that require mitigation measures are air quality, biological resources, hazards and hazardous materials, and noise. The IS/MND includes mitigation measures that would reduce the identified potentially significant project impacts to a less-than-significant level. In addition to the mitigation measures, other permit conditions are included in the Special Use Permit as conditions of approval to ensure all potential impacts have been addressed.

The entire IS/MND and Response to Comments, and other related environmental documents are available on the Planning website at: http://www.sanjoseca.gov/index.aspx?NID=6411.

PUBLIC HEARING NOTIFICATION

To inform the public of the proposed project, Staff followed Council Policy 6-30: Public Outreach Policy. A sign describing the project was posted on the project site on March 3, 2019. A community meeting was held on July 9, 2019. Both the community meeting notice and notice of the public hearing were distributed to the owners and tenants of all properties located within 1,000 feet of the project site and posted on the City website. Staff have been available to answer questions from the public. In addition, the project applicant team met several times with the Winchester Orchard Neighborhood Association to review the project and address concerns of the neighborhood.

Below is a general summary of the comments by members of public at the community meeting.

July 9, 2019 Community Meeting
Number of Attendees: +/-20
Comments and Concerns
Measures to ensure the cypress trees will be protected during the construction / excavation phase of the project
The project will generate substantial traffic and could result in increased cut through traffic on Spar Avenue
Concerns about construction staging, and construction-related lane closures would worsen existing congested traffic conditions on S. Winchester Boulevard.
Potential for glass on rear of building to reflect sunlight onto adjacent residential properties.
Concerns about Fire Department access to the project

The cypress trees along the rear property line are at some risk due to their close proximity to the proposed masonry separation wall along the rear property line. The cypress trees are within one to four feet of the property line, and the required footings for the wall will partially intrude into the root zones of the cypress trees. The applicant will take measures to minimize root damage; however, survival of the trees cannot be guaranteed. Tree planting on along the rear boundary of the subject is not feasible or appropriate, given the immediate proximity to the existing cypress row. Should some of the trees not survive, the applicant shall work with the property owner to plant replacement trees once the site work is complete.

The variegated pattern of solid and glass panels, combined with the existing tree row, will reduce glare effects on the on the residential property. The Fire Department has reviewed the project plans, and will review the construction drawings once submitted for Building Division plan check, for compliance with the Fire Code.

With regard to potential cut through traffic on Hansen Avenue and Olin Avenue, South Winchester Boulevard and Stevens Creek Boulevard are both classified as major arterial streets, which carry local and regional traffic. Given these streets serve multiple destinations, any cut through traffic on Hansen Avenue and Olin Avenue would also be regional and local traffic. Larger traffic patterns in the area are monitored by the Department of Transportation, which periodically makes recommendations to the City Council for traffic calming measures, based on neighborhood input and other factors.

Finally, temporary lane closures during construction work are an inevitable component of construction and will require an encroachment permit through the Public Works Department. Public Works staff will work with the applicant/contractor to minimize lane closures in the interest of completing construction as soon as possible.

.

/s/
ROSALYNN HUGHEY, Director
Planning, Building and Code Enforcement

For questions, please contact Robert Manford, Deputy Director, at (408) 535-7900.

Attachments: Legal Description and Plat map
Operations Plan
SUP Plan Set

EXHIBIT "A"
LEGAL DESCRIPTION
FOR: PLANNING PURPOSES

All that real property situated in the City of San Jose, County of Santa Clara, State of California, being Parcels One, Two and Three as described in that certain Grant Deed recorded on October 06, 2016 as Document No. 23454220, Official Records of Santa Clara County, described as follows:

Beginning at the northeast corner of Lot 3, as shown on that certain Parcel Map filed for record on May 10, 1995 in Book 543 of Maps, at Pages 2 and 3, Santa Clara County Records, said point also being on the westerly right-of-way line of South Winchester Boulevard;

Thence leaving said westerly right-of-way line and along the exterior boundary of said Parcels One, Two and Three the following five (5) courses and distances:

1. South 89°49'00" West, 153.00 feet;
2. North 00°00'00" East, 200.00 feet;
3. North 89°49'00" East, 155.00 feet to said westerly right-of-way line;
4. South 00°00'00" East, 114.38 feet;
5. Along the arc of a curve to the right having a radius of 1880.00 feet, through a central angle of 02°36'38", an arc distance of 85.66 feet to the Point of Beginning.

Containing 30,942 ± square feet.

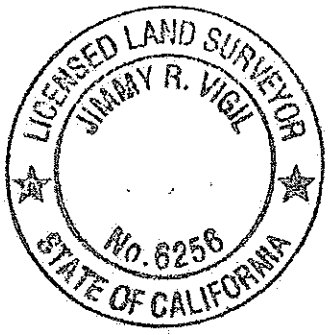
As shown on Exhibit "B" attached hereto and by this reference made a part hereof.

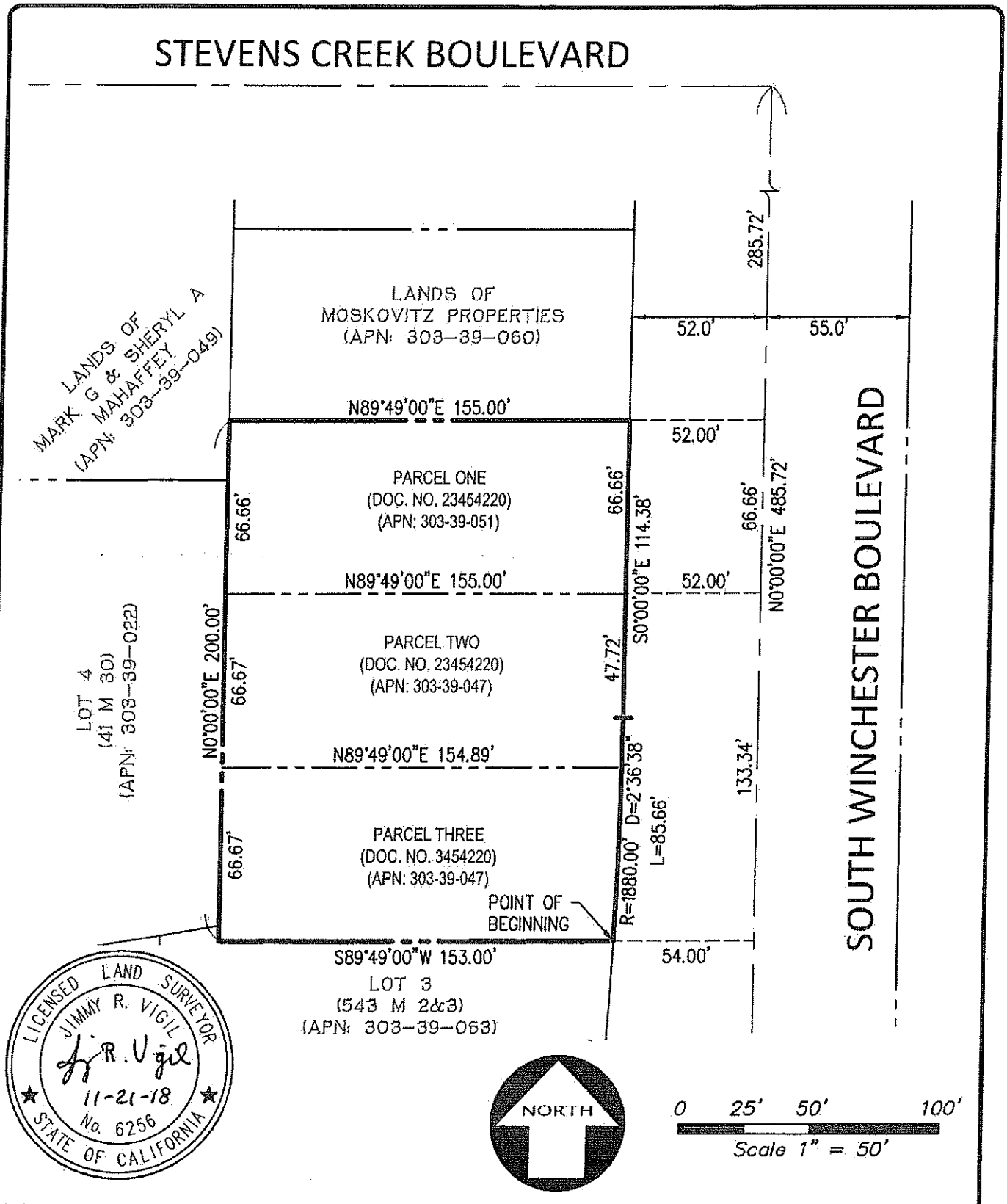
This legal description is for planning purposes only and does not create a "subdivision" as defined in the Subdivision Map Act.

Legal Description prepared by Kier & Wright Civil Engineers and Surveyor's, Inc.

11-21-18
Date

Jimmy R. Vigil
Jimmy R Vigil, LS 6256





KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
3350 Scott Boulevard, Building 22
Santa Clara, California 95054
www.kierwright.com
Phone (408) 727-6665
Fax (408) 727-5641

EXHIBIT "B"

PLAT FOR
PLANNING PURPOSES ONLY

SAN JOSE, CALIFORNIA

DATE	NOV. 2018
SCALE	1" = 50'
BY	TWL
JOB NO.	A17179-1
SHEET	1 OF 1

Z:\2017\A17179\DWG\SURVEY\A17179 EXH.dwg 11-21-18 10:24:55 AM grabberson

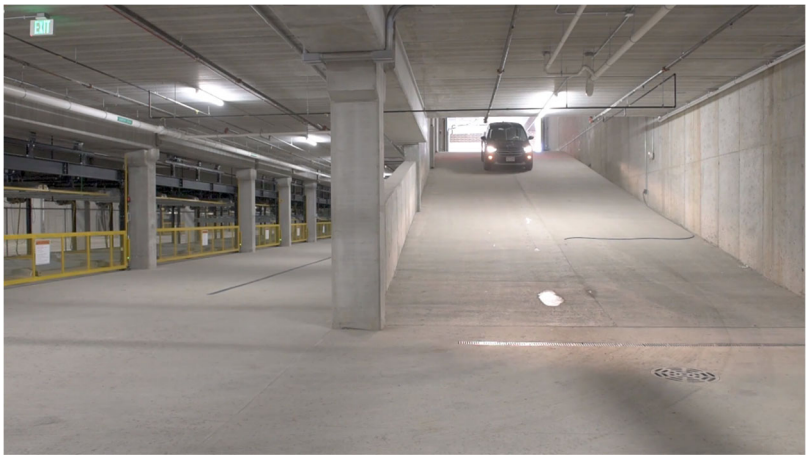
10/1/2019
SP18-049: 335 S Winchester Blvd
Pacific Row Development / Verse Design Los Angeles

Mechanized Parking Operations Precedent

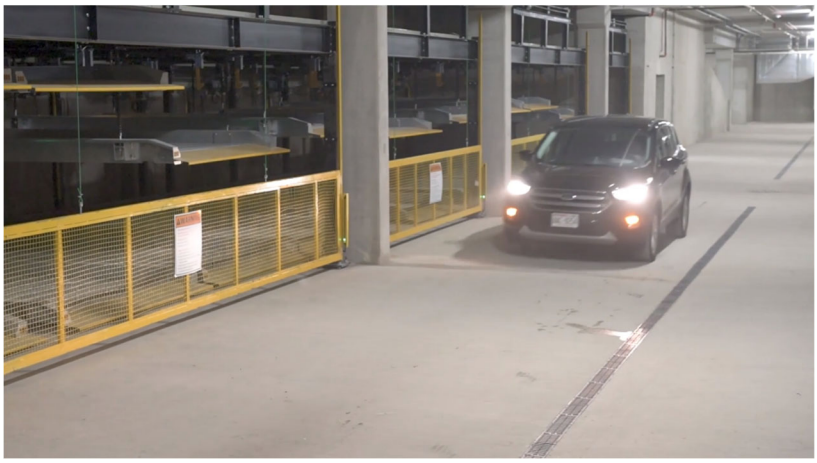
This project uses the City Lift Puzzle product as a basis of design, although an equal or similar product may be implemented. What follows is a narrative that describes the parking process from arrival to departure of the basement parking area.

Arrival takes place from the ground level by a vehicular ramp into the basement parking level where the mechanized parking is located. The user parks the vehicle in the available stall and uses a digital key pad to close a safety barrier which allows the puzzle system to efficiently sort the vehicle within the available spaces. Access to and from the lobby of the building is provided by (2) elevators. Retrieval of the vehicle is conducted by the user by entering the stall number into the key pad. Average retrieval time is 33 seconds.

1. Arrival



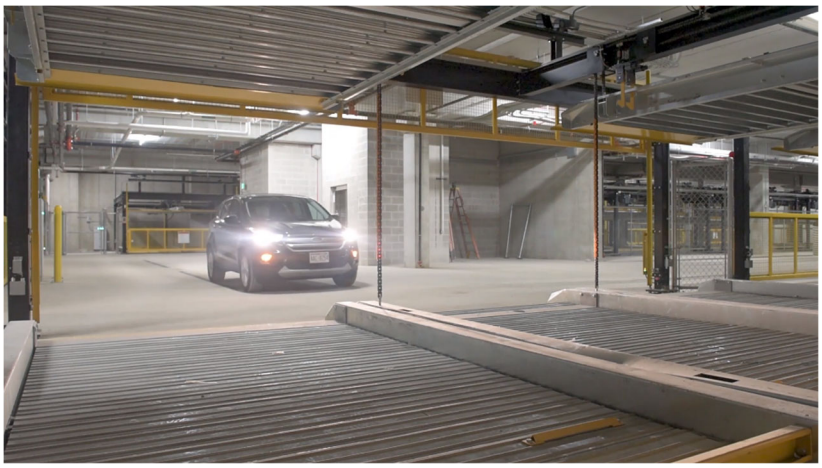
2. Approach to parking stall



No. 4, Lane 687 Zhaojiabang Rd
Shanghai, China 200032
T +86 6443 7773
F +86 6443 7772

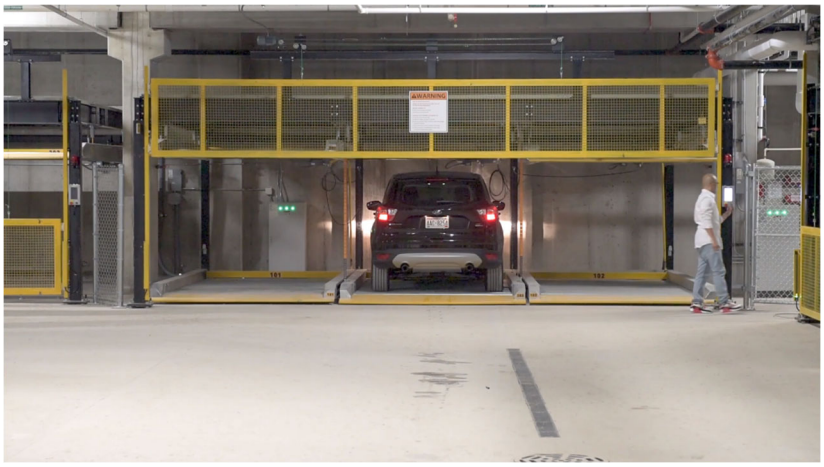
834 S Broadway, Suite 1200
Los Angeles, CA 90014 USA
T +1 213 536 0190
F +1 213 536 0191

3. Approach to parking stall



4. Vehicle is parked

5. The user closes safety barrier using the digital key pad



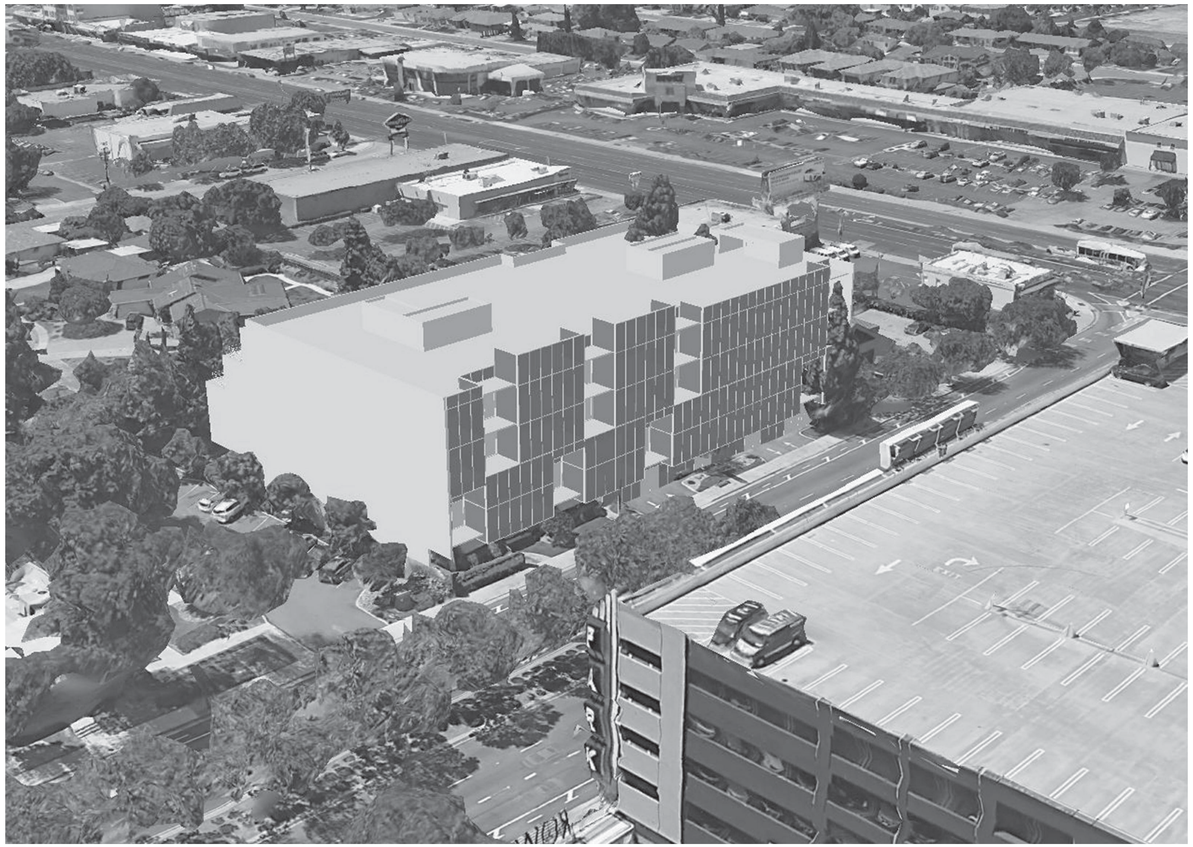
6. Once the safety barrier is fully closed, the puzzle system sorts the vehicle as needed

7. Retrieval of the vehicle is achieved by entering the stall number on the digital key pad

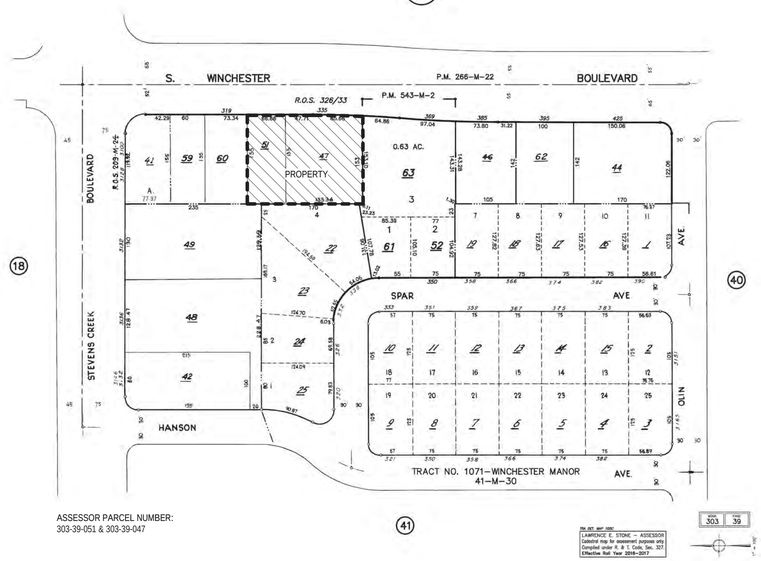
8. The puzzle system sorts the vehicle into exiting position and the barrier opens

9. Once the barrier is fully open, the user has access to the vehicle

10. The user exits the basement parking area and the process is complete



OFFICE OF COUNTY ASSESSOR — SANTA CLARA COUNTY, CALIFORNIA



1 TRACT MAP
N.T.S.

2 VICINITY MAP (LOCATION MAP)
N.T.S.

335 S WINCHESTER

PROJECT ADDRESS: 335 S WINCHESTER BLVD, SAN JOSE, CA, 95128

PROJECT DESCRIPTION

NEW COMMERCIAL DEVELOPMENT COMPRISED OF 5 LEVELS OF COMMERCIAL SPACE.
IN SUPPORT OF THE ABOVE GRADE BUILDING, THE PROJECT INCLUDES A SINGLE STORY OF BELOW GRADE PARKING WHICH UTILIZES A MECHANIZED PARKING EQUIPMENT.

PROJECT TEAM

OWNER:

PACIFIC ROW DEVELOPMENT LLC
1700 S EL CAMINO REAL
SUITE 100
SAN MATEO, CA 94402

ARCHITECT:

VERSE DESIGN
834 SOUTH BROADWAY
SUITE 1200
LOS ANGELES, CA 90014
TEL: 213.536.0190

ENVIRONMENTAL ENGINEER:

CIRCLEPOINT
200 WEBSTER STREET, SUITE 200
OAKLAND, CA 94607
TEL: 510 285 6700

CONSULTANT TEAM:

CIVIL ENGINEER:
KIER & WRIGHT
3350 SCOTT BOULEVARD, BUILDING 22
SANTA CLARA, CA 95054
TEL: 408 727 6665

STRUCTURAL ENGINEER:
WALTER P MOORE
595 MARKET STREET SUITE 2130
SAN FRANCISCO, CA 94105
TEL: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE ENGINEERS
48 GOLDEN GATE AVENUE
SAN FRANCISCO, CA 94102
TEL: 415 544 7500

GEOTECHNICAL ENGINEER:
LANGAN TREADWELL ROLLO
501 14TH STREET, 3RD FLOOR
OAKLAND, CA 94612
TEL: 510 874 7000

TRAFFIC ENGINEER:
HEXAGON TRANSPORTATION CONSULTANTS, INC.
4 NORTH SECOND STREET, SUITE 400
SAN JOSE, CA 95113
TEL: 408 971 6100

GOVERNING CODES

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA GREEN CODE
- 2016 TITLE 24 ENERGY STANDARDS

PLANNING & ZONING INFORMATION

LAND USE ZONING:
COMMERCIAL NEIGHBORHOOD – DESIGNATED AS CN OR C-2

APN:
303-39-051; 303-39-047

ZONING DESIGNATION
ENVISION SAN JOSE 2040 GENERAL PLAN
SANTANA ROW/VALLEY FAIR URBAN VILLAGE PLAN

LOT AREA:
30,997 SF

ALLOWABLE FAR:
3.5 – TOTAL (30,997 SF X 3.5= 108,489.5 SF)
0.3 – COMMERCIAL REQUIRED (30,997 SF X 0.3= 9,299.1 SF)

HEIGHT LIMIT:
65' - 0"

CONSTRUCTION TYPE & FIRE

TYPE: II-A NON-COMBUSTIBLE / FULLY SPRINKLERED
CBC TABLE 504.3, 504.4, 506.2

COMMERCIAL BUILDING (LEVEL 1 - LEVEL 5)	GROUP B
ALLOWABLE AREA	112,500 SQFT
ACTUAL GROSS AREA	93,736 SQFT
ALLOWABLE HEIGHT	6 STORIES / 85 FT
ACTUAL HEIGHT	5 STORIES / 75 FT
ENCLOSED PARKING GARAGE (BELOW GRADE)	**GROUP S-2**
ALLOWABLE AREA	117,000 SQFT
ACTUAL GROSS AREA	26,943 SQFT
ALLOWABLE HEIGHT	6 STORIES / 85 FT
ACTUAL HEIGHT	1 STORIES / 15 FT

FIRE RESISTANCE RATING REQUIREMENTS
CBC TABLE 601

PRIMARY STRUCTURAL FRAME	1HR
EXTERIOR BEARING WALLS	1HR
INTERIOR BEARING WALLS	1HR
NON-BEARING WALLS	0
FLOOR CONSTRUCTION	1HR
ROOF CONSTRUCTION	1HR

FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE

X < 5	1HR
5 ≤ X < 10	1HR
10 ≤ X < 30	1HR
X ≥ 30	0

MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION PER TABLE 705.8

GROSS AREA ANALYSIS

WITHIN EXTERIOR WALL, INCLUDING STAIRWAYS, ELEVATOR SHAFTS, MECHANICAL EQUIPMENT ROOMS, EXCLUDING BASEMENT PARKING

LEVEL 1	12,524 SF
LEVEL 2	24,694 SF
LEVEL 3	14,549 SF
LEVEL 4	22,207 SF
LEVEL 5	19,808 SF
TOTAL	93,782 SF
B1	26,943 SF

PROPOSED HEIGHT TO PRIMARY ROOF:
65' - 0"

PROPOSED HEIGHT TO EQUIPMENT SCREEN:
75' - 0"

PLUMBING FIXTURE CALCULATIONS

BATHROOM CALCULATION: (PER CALIFORNIA PLUMBING CODE TABLE 422.1)

GROUND FLOOR (RETAIL):

12,733 SF/200 LOAD FACTOR = 63.66/2 = 32(M) + 32(F)

REQUIRED:

	M	F
WC	1	1
U	0	0
LAV	1	1

PROVIDED:

	M	F
WC	2	4
U	2	0
LAV	2	2

LEVEL 2 TO LEVEL 5 AVERAGE (OFFICE):

24,694 SF + 14,549 SF + 22,207 SF + 19,808 SF = 81,258 SF/200
LOAD FACTOR/4 = 102/2 = 51(M) + 51(F)

REQUIRED:

	M	F
WC	2	4
U	1	0
LAV	1	2

PROVIDED:

	M	F
WC	2	4
U	2	0
LAV	2	2

PARKING REQUIREMENT ANALYSIS

VEHICLE PARKING REQUIRED:	
GROUND FLOOR ACTIVE COMMERCIAL 1 PER 200 SF	12, 516 / 200 = 63 SPACES
CREATIVE OFFICE (GENERAL BUSINESS OFFICE) 1 PER 250 SF	(81, 220 X .85) / 250 = 276 SPACES
TOTAL REQUIRED	339 SPACES
ZONING CHAPTER 20.90.220 A1 (50% REDUCTION)	170 SPACES
VEHICLE PARKING PROVIDED:	
GROUND FLOOR PARKING	14 SPACES (INCLUDE 6 ACCESSIBLE PARKING AND EXCLUDE 1 LOADING SPACE)
B1 PARKING	201 SPACES
TOTAL PROVIDED	215 SPACES
BICYCLE PARKING REQUIRED:	
GROUND FLOOR ACTIVE COMMERCIAL 1 PER 3,000 SF	12, 516 / 3000 = 4.2 SPACES
CREATIVE OFFICE (GENERAL BUSINESS OFFICE) 1 PER 4,000 SF	(81,220 X .85) / 4000 = 17.3 SPACES
TOTAL REQUIRED	22 SPACES
BICYCLE PARKING PROVIDED:	22 SPACES
	-12 LONG TERM BICYCLE PARKING IN BACK
	-10 SHORT TERM BICYCLE PARKING IN FRONT
	NOTE: SIGNAGE IS PROVIDED IN THE FRONT OF THE BUILDING INDICATING ADDITIONAL BICYCLE PARKING IS PROVIDED IN THE BACK.

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
Web: www.vdla.co

verse design

CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

GEOTECHNICAL ENGINEER:
Langan Treadwell Rollo
501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

LICENSED ARCHITECT
PAUL R. TANG
NO. C24959
EXP 04/30/2021
STATE OF CALIFORNIA

335 S WINCHESTER

Project Address:	335 S Winchester Blvd, San Jose, CA 95128
Owner:	Pacific Row Development Llc
Owner Address:	1700 S El Camino Real Suite 100, San Mateo, CA 94402

REVISIONS

PLANNING SUBMISSION 04

Date: 10/15/2019

Project No:	2017.001
Planning Project No:	SP18-049

COVER SHEET

SP18-049
C18-043

G-000

SHEET NOTES:

ALL EXISTING BUILDINGS & SITE ELEMENTS TO BE DEMOLISHED

H. EAST OF SITE


D. NORTH OF SITE

G. EAST OF SITE


C. SITE


F. WEST OF SITE


B. SITE


E. WEST OF SITE

A. SOUTH OF SITE

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REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No:	2017.001
Planning Project No:	SP18-049

SITE PHOTOGRAPHS

G-001

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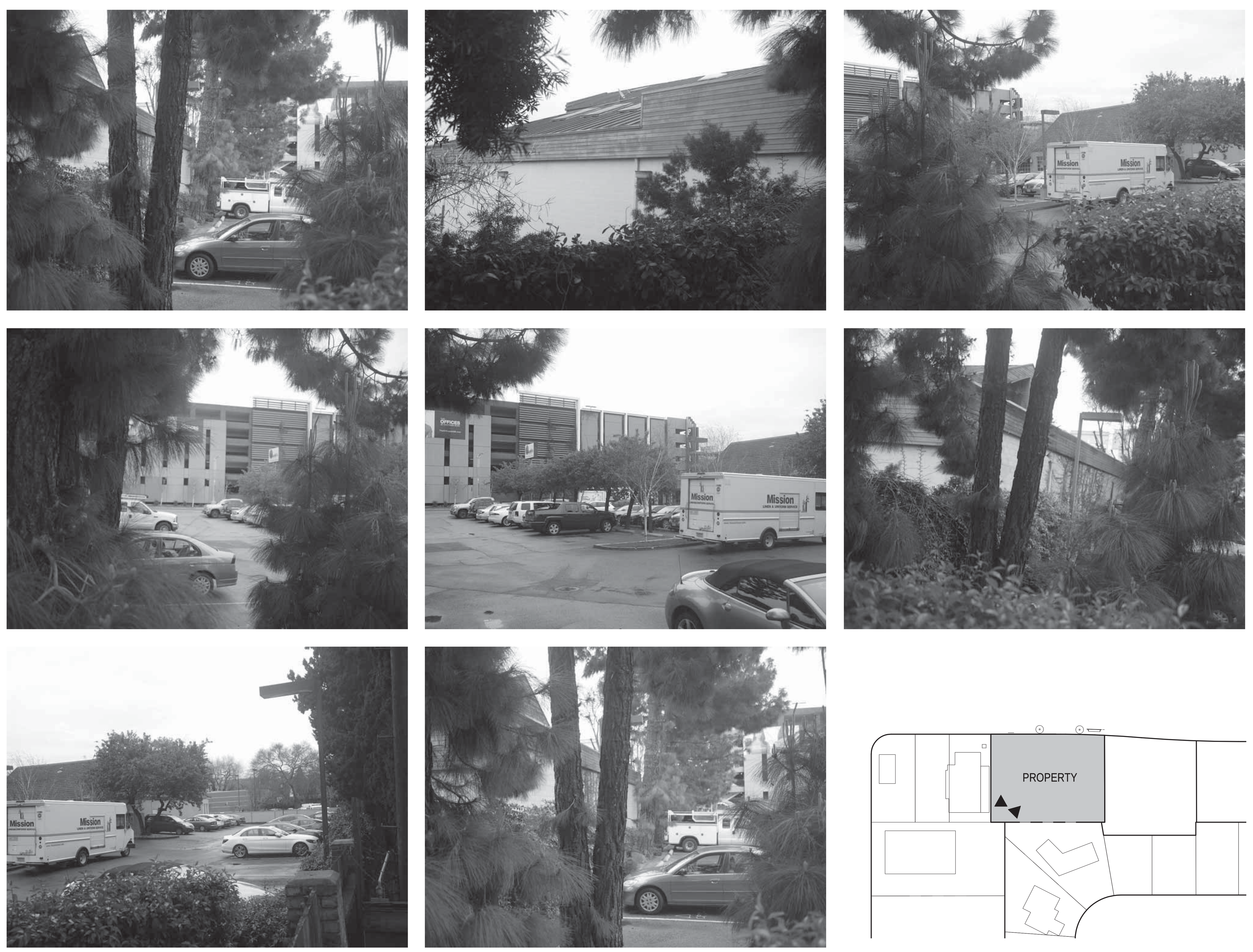
SHEET NOTES:

ALL EXISTING BUILDINGS & SITE ELEMENTS TO BE DEMOLISHED



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verse design

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Owner: Pacific Row Development Llc

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REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

SITE PHOTOGRAPHS

G-002

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PRELIMINARY SITE IMPROVEMENT PLANS

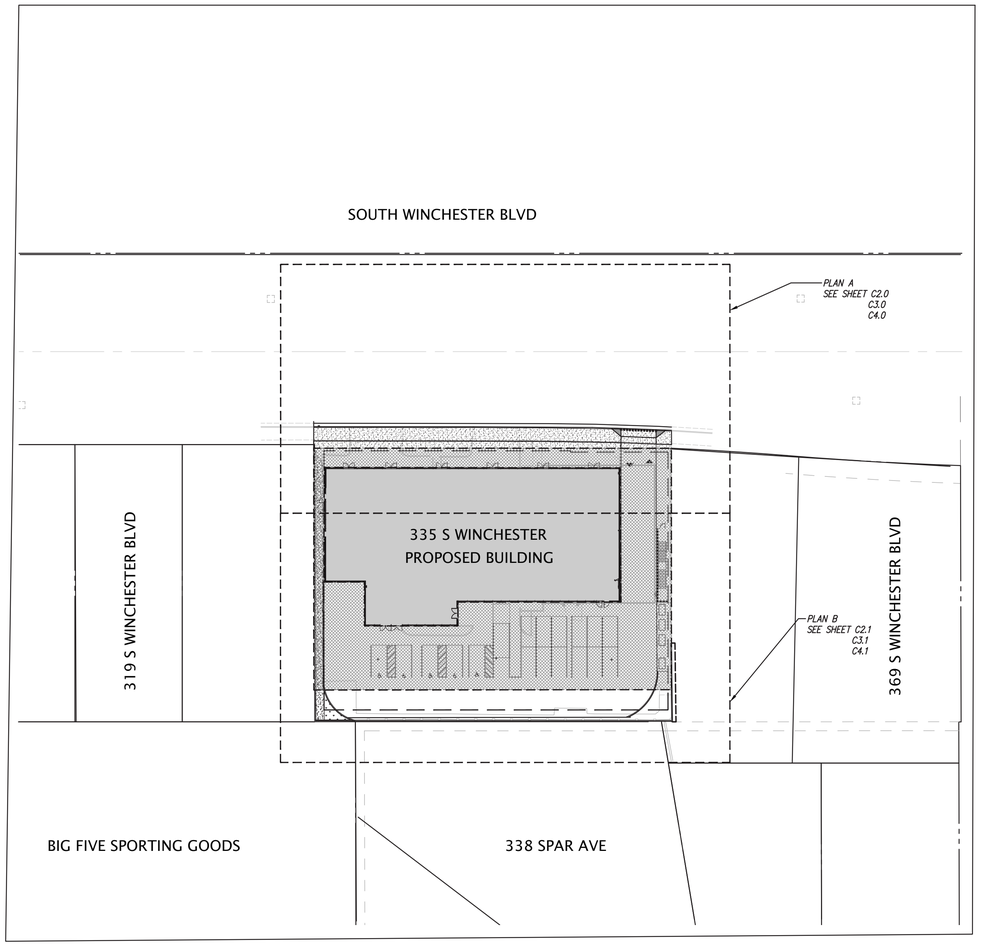
OF

335 SOUTH WINCHESTER

FOR

PACIFIC ROW DEVELOPMENT, LLC

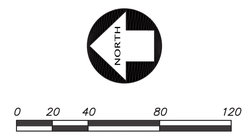
SAN JOSE, CALIFORNIA

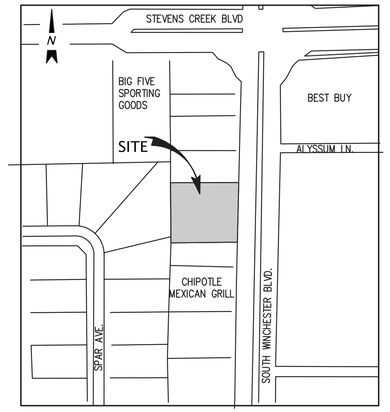


SHEET INDEX

CIVIL ENGINEER

KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.
ATTN: DANIEL S. MITCHELL, P.E.
3350 SCOTT BLVD., #22, SANTA CLARA, CA 95054
408.330.5209





VICINITY MAP

NOT TO SCALE

LEGEND

PROPOSED	EXISTING	
		ASPHALT BERM
		BLOCK/RETAINING WALL
		BUILDING LINE
		CENTER LINE
		CONCRETE CURB
		CONCRETE CURB CUT
		CONCRETE CURB & GUTTER
100	100	CONTOUR LINE
		DRIVEWAY
		EDGE OF PAVEMENT
		FLUSH CONCRETE CURB
		FENCE LINE
GB	GB	GRADE BREAK LINE
		GUARD RAIL
		LOT LINE
		MONUMENT/MONUMENT LINE
PERF. PIPE		PERFORATED STORM DRAIN PIPE
		PROPERTY LINE
RWL	RWL	RAINWATER LEADER
R	R	RIDGE LINE
		SIDEWALK
SD	SD	STORM DRAIN-MANHOLE & CATCH BASIN
		THRU CURB DRAIN
100.00	+100.00	SPOT ELEVATION
T	T	TRANSFORMER
		TRAFFIC SIGN
		TREE
		UTILITY BOX
AD	AD	AREA DRAIN
BW	BW	BACK OF WALK
BLDG	BLDG	BUILDING
BL	BL	BUILDING LINE
CB	CB	CATCH BASIN
COTG	COTG	CLEANOUT TO GRADE
C	C	CONCRETE
DR	DR	DOOR
DS	DS	DOWN SPOUT
DIP	DIP	DUCTILE IRON PIPE
ESMT	ESMT	EASEMENT
EW	EW	EDGE OF WALK
FB	FB	FACE OF BERM
FC	FC	FACE OF CURB
FW	FW	FACE OF WALL
FF	FF	FINISHED FLOOR
FL	FL	FLOW LINE
GB	GB	GRADE BREAK
HP	HP	HIGH POINT
IE	IE	INVERT ELEVATION
LP	LP	LOW POINT
LT	LT	LIGHT
OF	OF	OVERFLOW
OD	OD	OVERFLOW DRAIN
PV	P	PAVEMENT
POC	POC	POINT OF CONNECTION
RWL	RWL	RAINWATER LEADER
R	R	RIDGE
RE	RE	RIM ELEVATION
RD	RD	ROOF DRAIN
SL	SL	STREET LIGHT
SDJB	SDJB	STORM DRAIN JUNCTION BOX
SDMH	SDMH	STORM DRAIN MANHOLE
SWL	SWL	SWALE
TB	TB	TOP OF BERM
TC	TC	TOP OF CURB
TW	TW	TOP OF WALL
T	T	TRANSFORMER
TE	TE	TRASH ENCLOSURE

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335 S WINCHESTER

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REVISIONS

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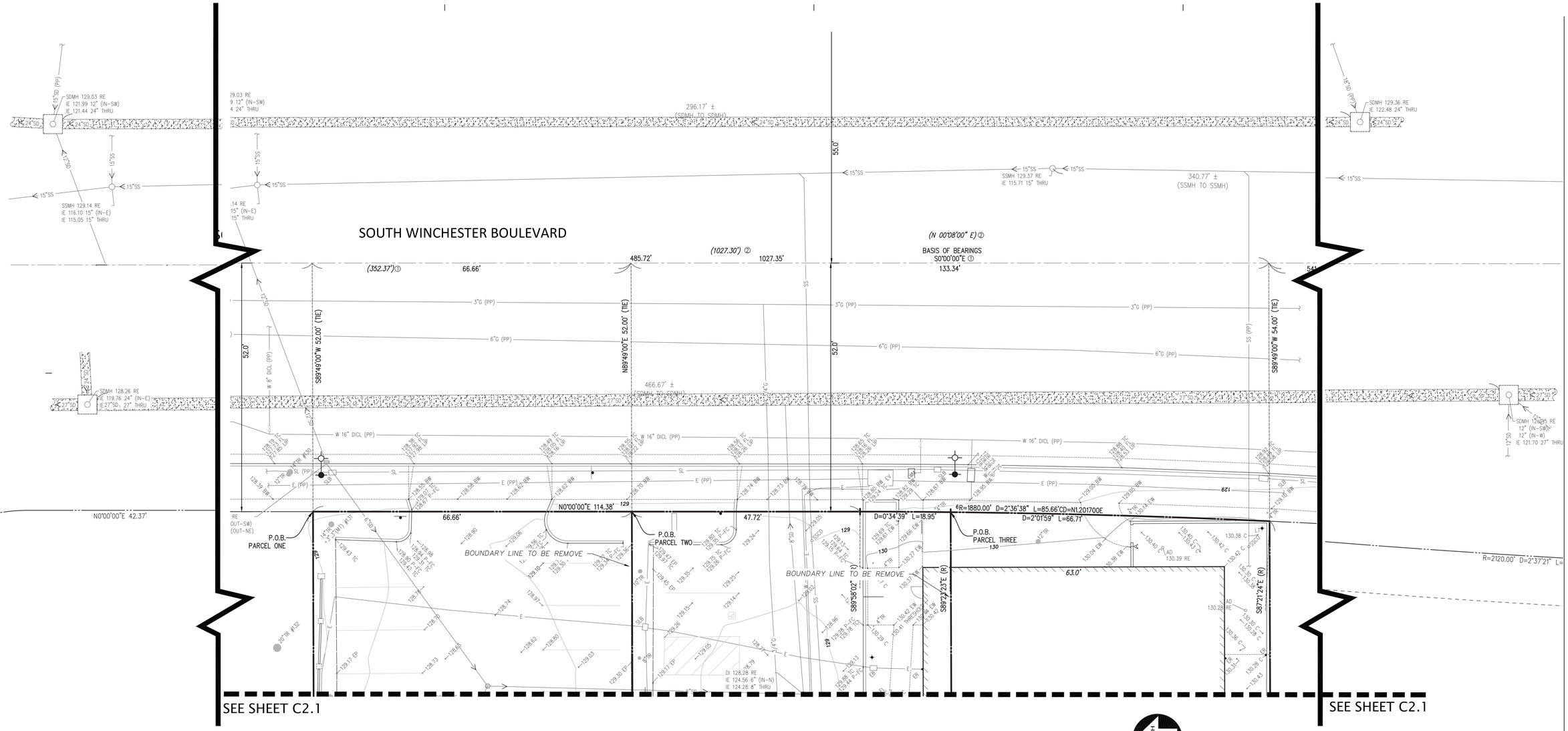
COVER SHEET

C1.0

8/21/2018 10:44 AM1



LEGEND

- BUILDING LINE
- CENTERLINE
- CONCRETE/BLOCK/RETAINING WALL
- CONCRETE CURB
- CONCRETE CURB & GUTTER
- CONTOUR LINE
- DRIVEWAY
- EASEMENT LINE
- EDGE OF PAVEMENT
- ELECTRIC LINE
- FENCE LINE
- COMMUNICATIONS LINE
- LOT LINE
- MONUMENT/MONUMENT LINE
- OVERHEAD POWER LINE
- PROPERTY LINE
- RECLAIMED WATER LINE & VALVE
- SANITARY SEWER-MANHOLE & CLEANOUT
- SIDEWALK
- SPOT ELEVATION
- STORM DRAIN-MANHOLE & CATCH BASIN
- STREET LIGHT CONDUIT LINE
- WATER LINE & VALVE
- BACKFLOW PREVENTION DEVICE
- ELECTROLIER
- FIRE DEPARTMENT CONNECTION
- GAS METER
- HANDICAP SYMBOL
- HOSEBIBB
- POST INDICATOR VALVE
- POWER POLE/JOINT POLE
- TRANSFORMER
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGN
- TREE
- UTILITY BOX
- UTILITY LINE MARKER
- WALK-BOLLARD LIGHT
- WATER VALVE

REFERENCES

①	RECORD OF SURVEY	(326 M 33)
②	TRACT NO. 9275 SANTANA ROW	(735 M 27)
③	TRACT NO. 1071 WINCHESTER MANOR	(41 M 30)

ABBREVIATIONS

AC	ASPHALTIC CONCRETE
BW	BACK OF WALK
C	CONCRETE
CL	CENTERLINE
COMM	COMMUNICATION
DICL	DUCTILE IRON CEMENT LINED
EP	EDGE OF PAVEMENT
ER	ELECTRIC RECEPTACLE
EW	EDGE OF WALK
FC	FACE OF CURB
FL	FLOW LINE
L/S	LANDSCAPE
LIP	LIP OF GUTTER
OH	OVERHEAD
P	PAVEMENT
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
(R)	RADIAL
SD	STORM DRAIN
SL	STREET LIGHT
SS	SANITARY SEWER
TC	TOP OF CURB

NORTH

0 5 10 20 30

Scale 1" = 10'

NOTES

1. This survey was prepared from information furnished in a Preliminary Title Report, prepared by Old Republic Title Company , dated September 16, 2016, Order No. 0616013684-SL. No liability is assumed for matters of record not stated in said Preliminary Title Report that may affect the title lines, or exceptions, or easements of the property.
2. The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the engineer can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
3. Benchmark:
   BM:641-B.
   USC and GS L1122 on Southeast corner of 3.5 feet X 18.5 feet concrete foundation, 49.5 feet West of west curb of Winchester Boulevard, 40 feet North of north curb of Stevens Creek Boulevard. F.B. 1070
   Elevation: 129.50' (Datum= NGVD29)
4. A.P.N.: 303-39-051, 303-39-047
5. Flood Zone Note:
   This site is in Flood Zone "D", Areas in which flood hazards are undetermined but possible. Per Flood Insurance Rate Map Community No. 060349 0229 H, dated May 18, 2009.
6. Basis of Bearings:
   The bearing of South 0°00'00" East taken on the centerline of South Winchester Boulevard (formerly known as Santa Clara and Los Gatos Road) as shown on that certain Record Of Survey filed for record on July 13, 1973 in Book 326 of Maps at Page 33, Santa Clara County Records was taken as the Basis of all Bearings shown hereon.

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KIER & WRIGHT
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Santa Clara, CA 95054
Tel: 408 727 6665

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Oakland, CA 94612
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TOPOGRAPHIC SURVEY A

C2.0

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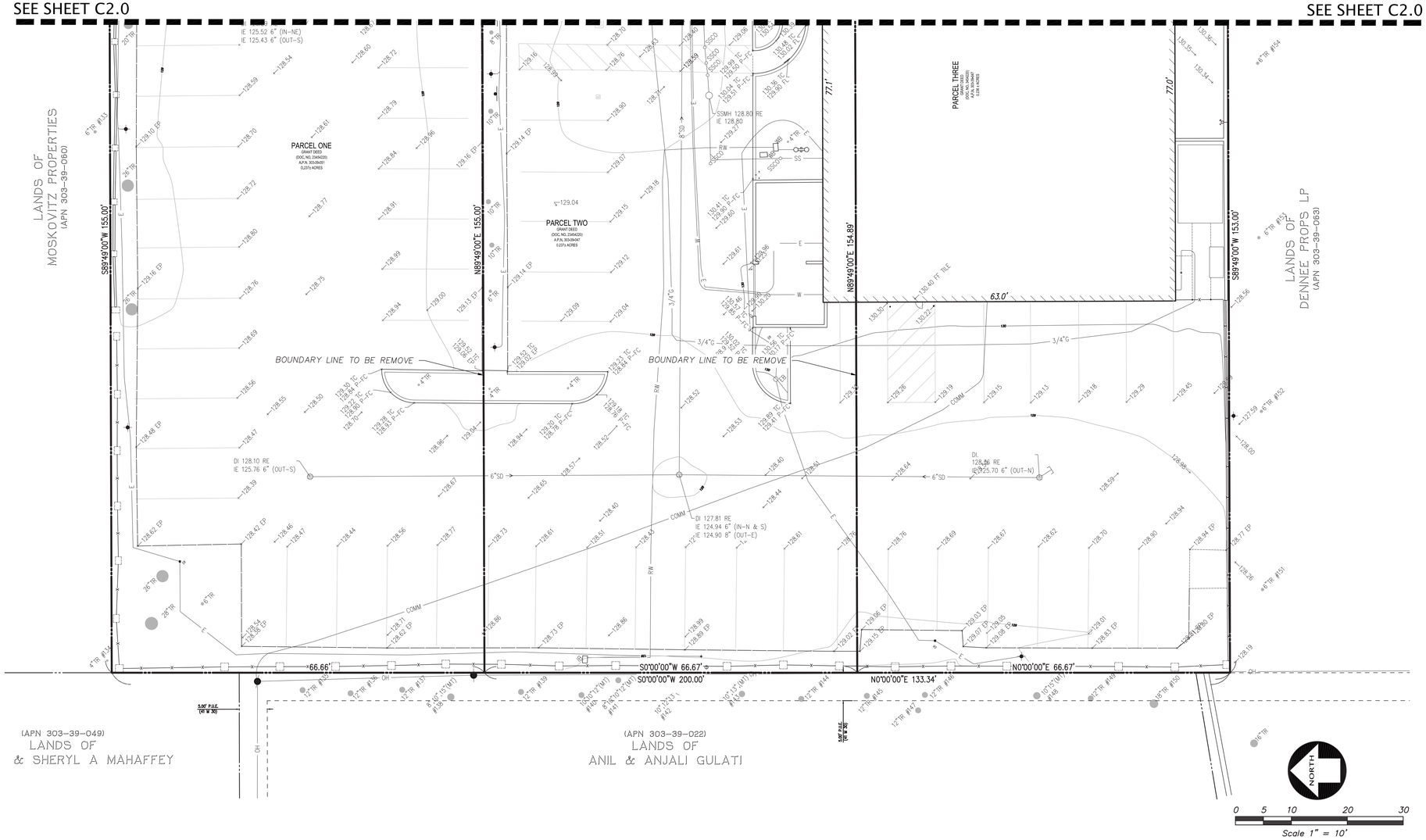

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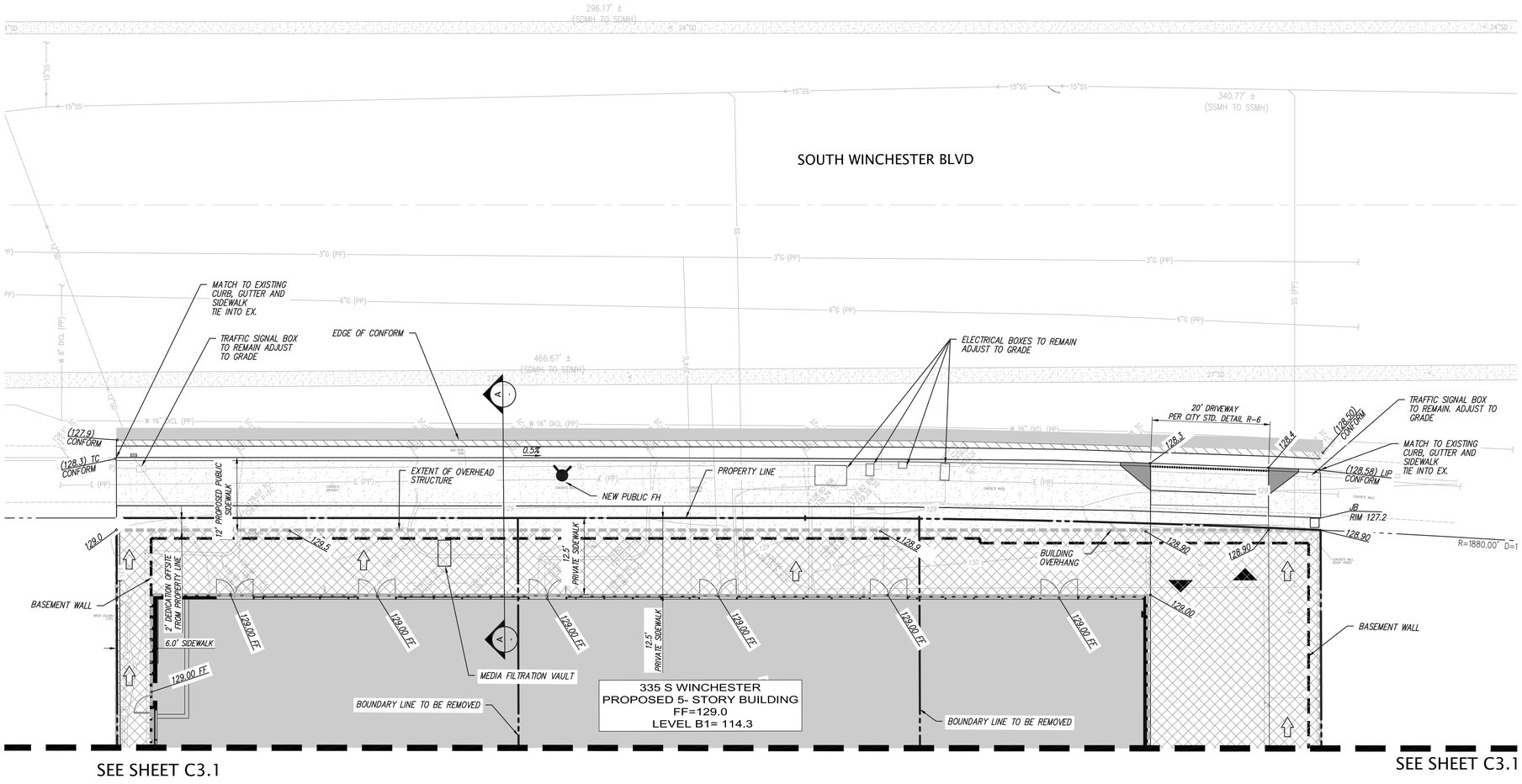
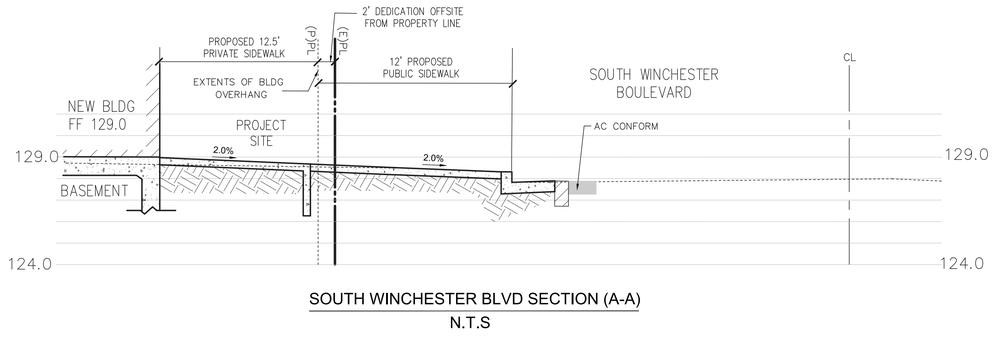
TOPOGRAPHIC SURVEY B

C2.1

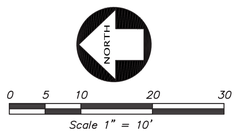
8/21/2018 10:44 AM1





SOUTH WINCHESTER BLVD SECTION (A-A)

N.T.S



LEGEND

- BUILDING FOOTPRINT
- COVERED AREA
- FLOW THROUGH PLANTER
- LANDSCAPE AREA
- PUBLIC SIDEWALK
- OVERLAND RELEASE
- LIMIT OF BASEMENT

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PRELIMINARY GRADING & DRAINAGE PLAN A

C3.0

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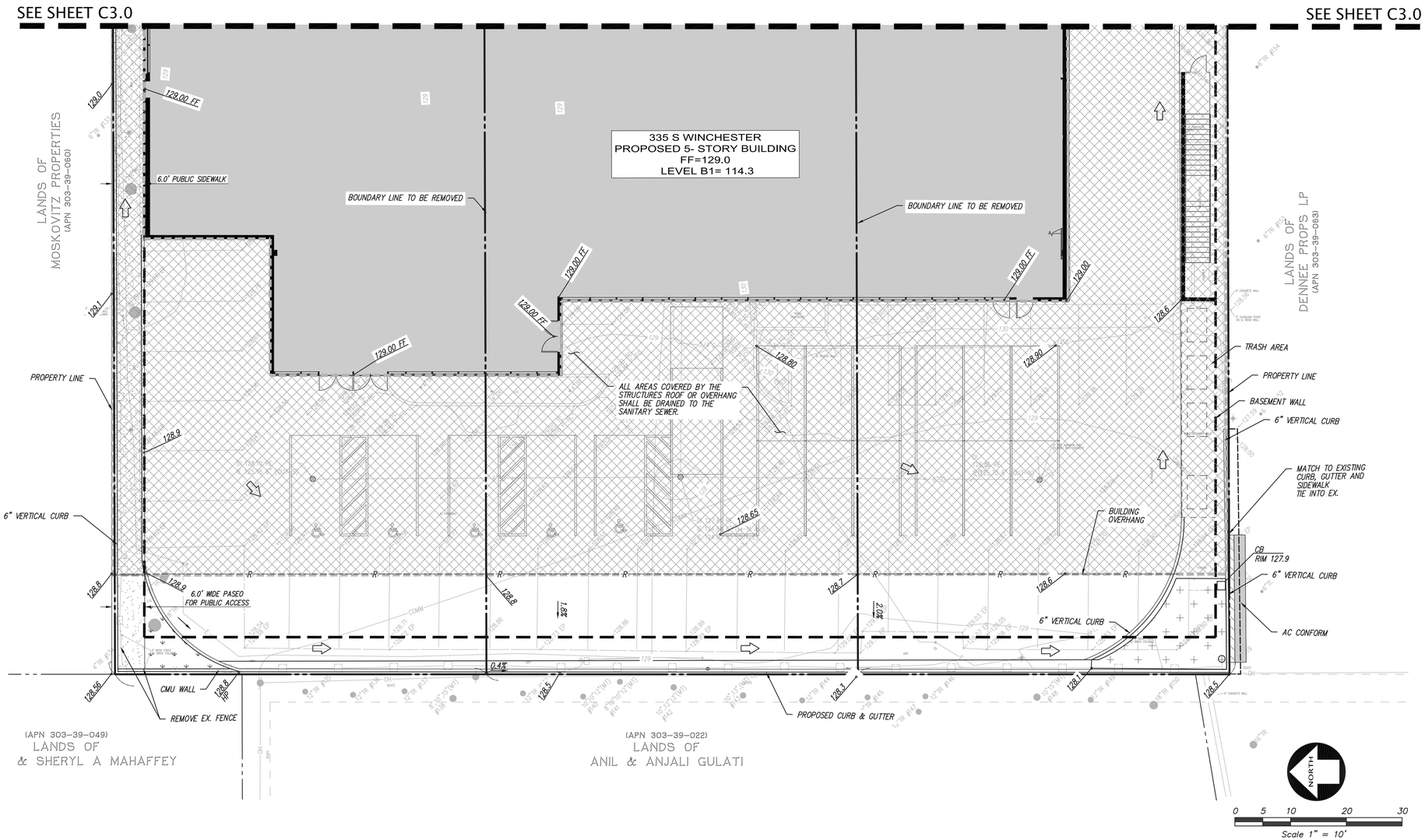

NOTES

1. ALL DRAINAGE IN COVERED AREA SHALL BE DRAINED TO SEWER.

LEGEND

- BUILDING FOOTPRINT
- COVERED AREA
- FLOW THROUGH PLANTER
- LANDSCAPE AREA
- OVERLAND RELEASE
- LIMIT OF BASEMENT

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PRELIMINARY GRADING & DRAINAGE PLAN B

C3.1

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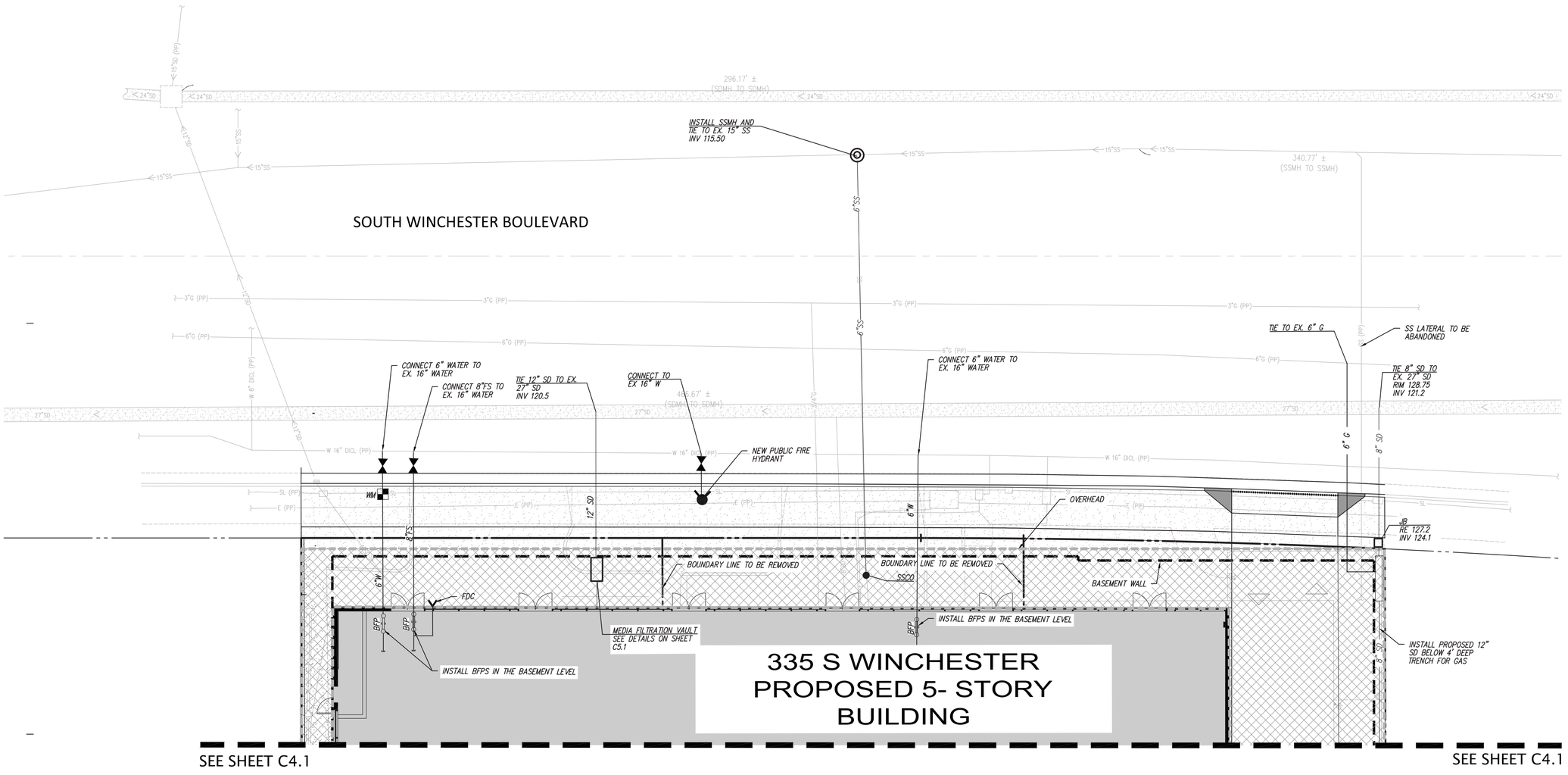

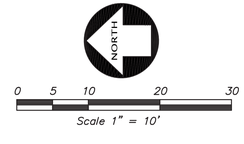

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PRELIMINARY UTILITY PLAN A

C4.0

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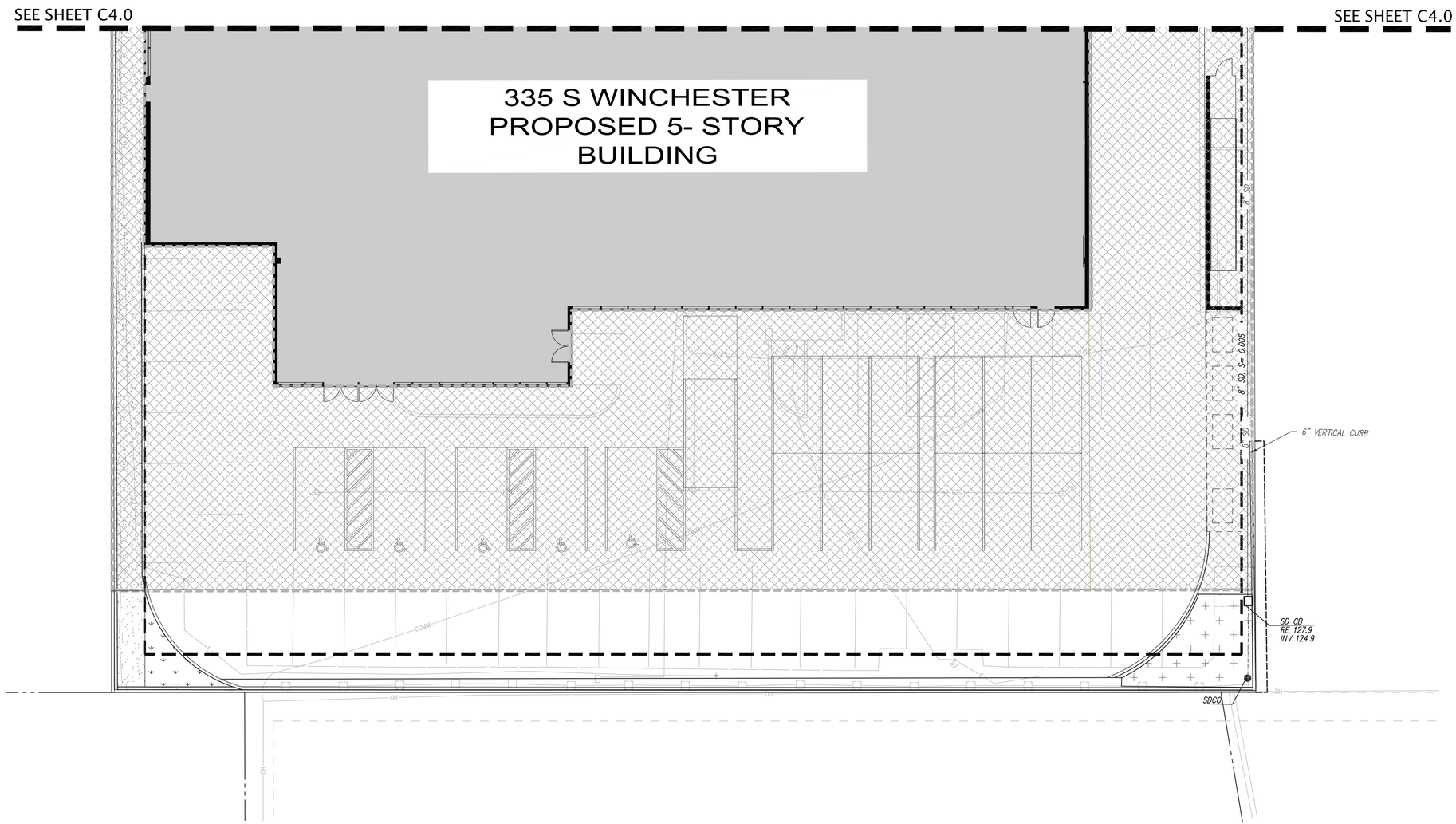

LEGEND

- BUILDING FOOTPRINT
- COVERED AREA
- FLOW THROUGH PLANTER
- LANDSCAPE AREA
- OVERLAND RELEASE
- LIMIT OF BASEMENT

NORTH

0 5 10 20 30

Scale 1" = 10'

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PRELIMINARY UTILITY PLAN B

C4.1

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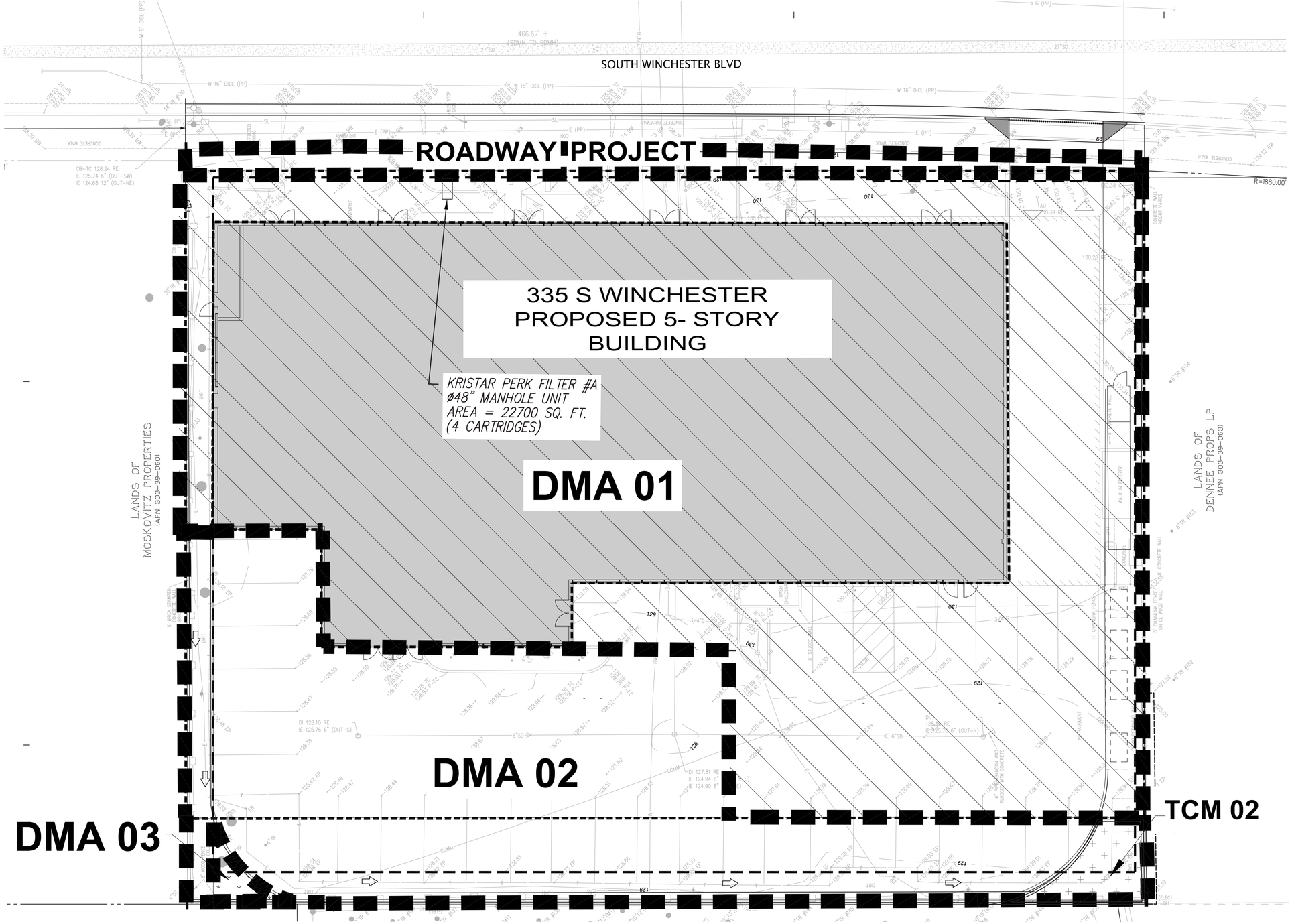

LEGEND

- TREATMENT AREA LIMITS
- DMA — DRAINAGE MANAGEMENT AREA
- MEDIA FILTER TREATMENT AREA
- BIO- TREATMENT AREA
- LANDSCAPE AREA
- FLOW DIRECTION

TREATMENT CONTROL MEASURE SUMMARY TABLE

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	Storage Depth Required (ft)	Storage Depth Provided (ft)	# of Cartridges Required	# of Cartridges Provided
1	1	Onsite	Infiltration trench	Non-LID	N/A	22,700	22,700	0	0	73.84%						4	4
2	2	Onsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	7,948	7,948	0	213	25.85%	213	252	6.0	0.5	0.5		
3		Onsite	Self-treating areas	LID	N/A	93	0	0	93	0.30%							
4		Offsite	Roadway Project ***	LID	N/A	691				-							
					Totals:	31,432	30,648	0	306	100.00%							

Footnotes:

* "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.

** Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)

*** Per Chapter 2.3 of the C3 Stormwater Handbook Roadway projects that add new sidewalk along an existing roadway are exempt from Provision C.3.c of the Municipal Stormwater Permit.

NORTH

0 5 10 20 30

Scale 1" = 10'

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WINCHESTER

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REVISIONS

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REVIEW

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SWQC PLAN

C5.0

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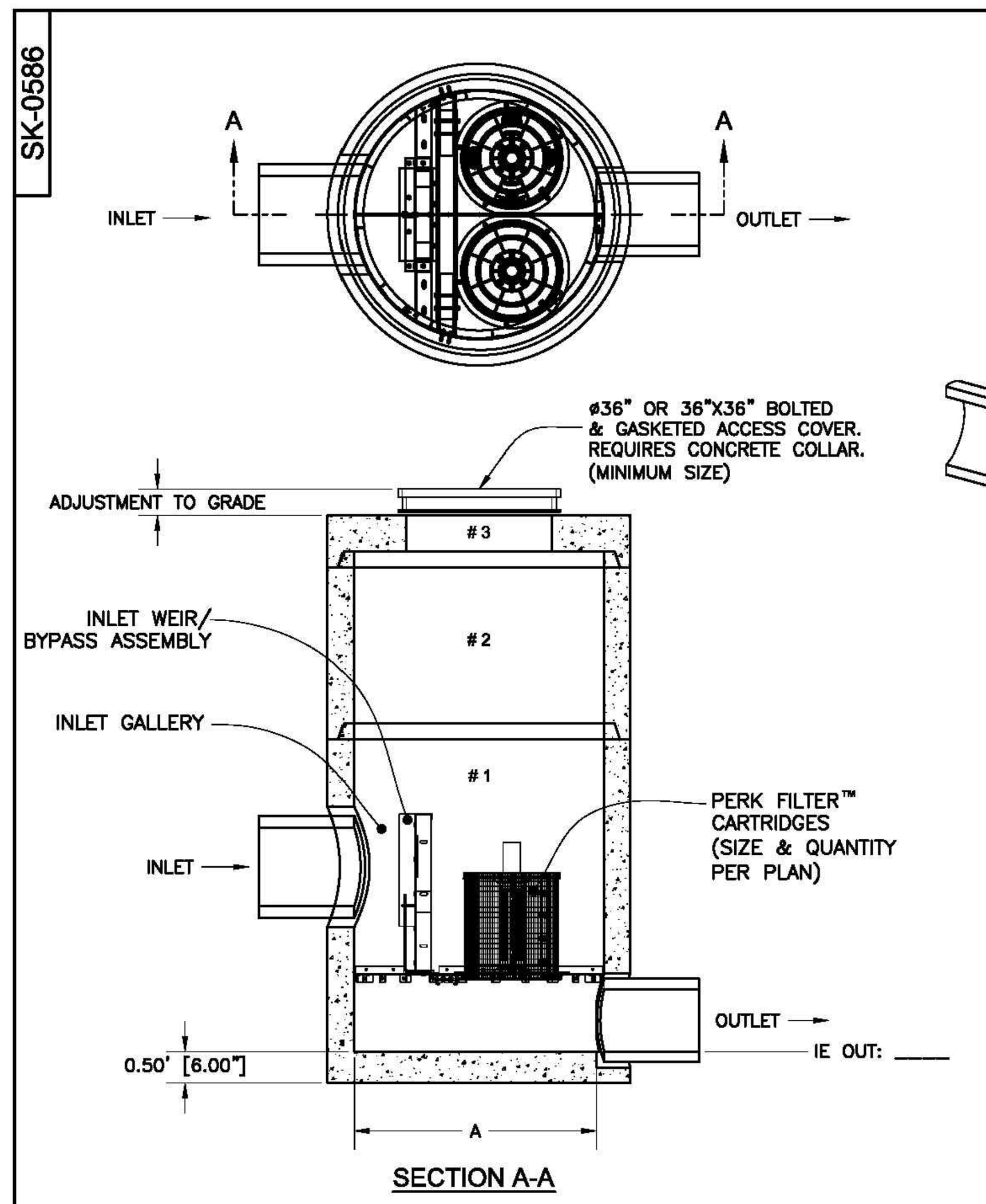
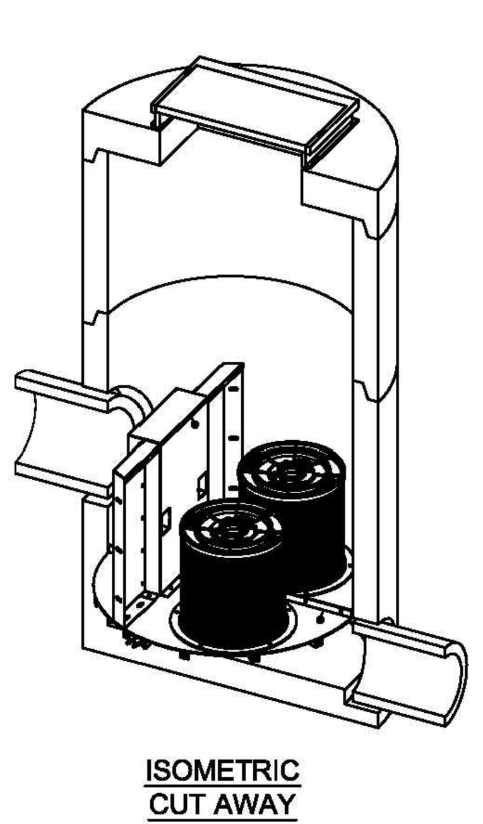




NOTES:

1. Precast concrete structure shall be manufactured in accordance with ASTM C478.
2. Inlet chamber shall be supplied with a drain down device designed to remove standing water between storm events.
3. Perk Filter systems may be supplied with individual or multiple 12" or 18" tall Perk Filter Cartridges. Filter cartridges may be stacked to accomodate higher flow rates.

A DIMENSION Ø	CARTRIDGE STACK QUANTITY	CARTRIDGE STACK CONFIGURATION 12" gpm	12" cfs	18" gpm	18" cfs	12" & 12" gpm	12" & 12" cfs	12" & 18" gpm	12" & 18" cfs
48	1	12	0.03	18	0.04	24	0.05	30	0.07
48	2	24	0.05	36	0.08	48	0.11	60	0.13
60	3	36	0.08	54	0.12	72	0.16	90	0.20
72	4	48	0.11	72	0.16	96	0.21	120	0.27
72	5	60	0.13	90	0.20	120	0.27	150	0.33

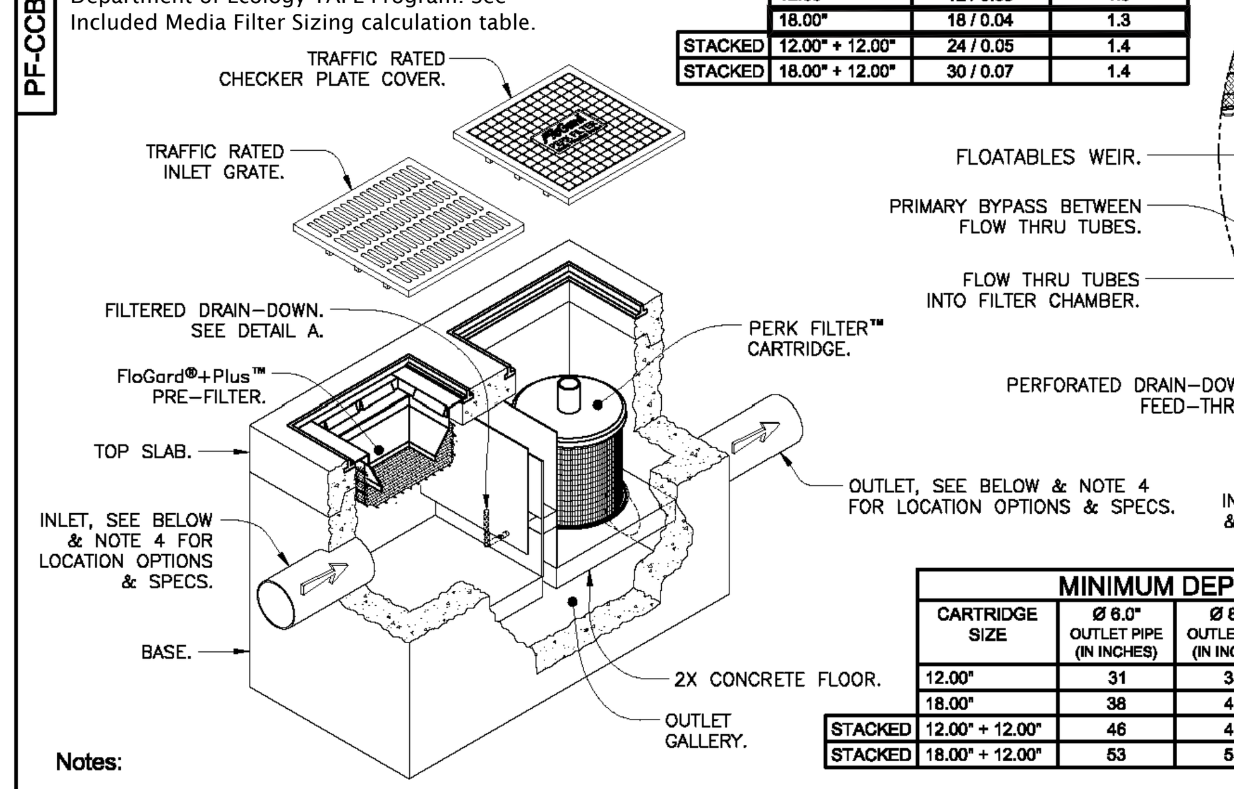
REV.	ECO NO.	DESCRIPTION	APPROVED
P02	NONE	ADDED 72IN, CORRECTED 60IN, REFORMATTED	MDK 03/02/12

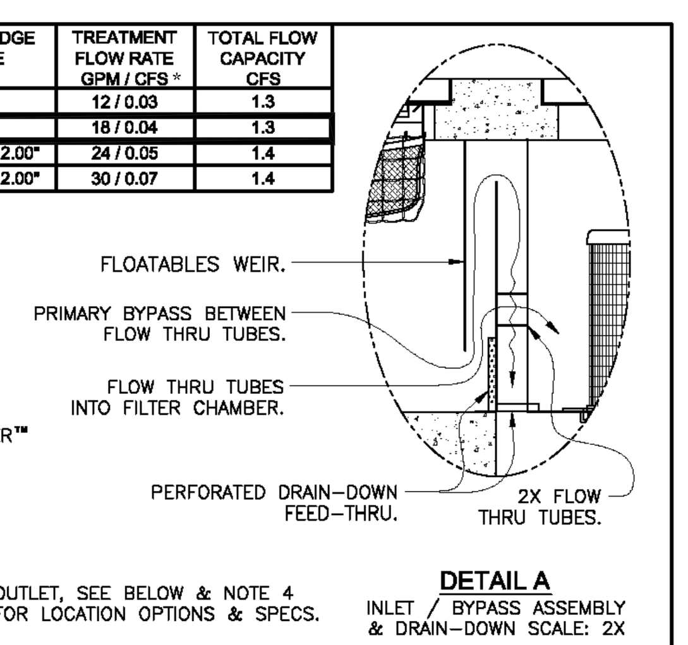
JOB DETAIL	Perk Filter™ Manhole	APPROVALS	DATE	KriStar Enterprises, Inc. 360 Sutton Place, Santa Rosa, CA 95407 Ph: 800.579.8819, Fax: 707.524.8186, www.kristar.com
TYPICAL 48/60/72 - INCH PERK FILTER MANHOLE		DRAWN M. KIMBERLAIN	3/02/12	SIZE A, DRAWING NO. SK-0586, REV. P02
		CHECKED J. HARDESTY	3/02/12	
		PROJECT ENGINEER J. HARDESTY	3/02/12	SCALE: NONE DO NOT SCALE DRAWING — SHEET 1 OF 1

PF-CCB-0001

*Number of cartridge based on design operating flow rate established by state of Washington Department of Ecology TAPE Program. See Included Media Filter Sizing calculation table.

	CARTRIDGE SIZE	TREATMENT FLOW RATE GPM / CFS *	TOTAL FLOW CAPACITY CFS
	12.00"	12 / 0.03	1.3
	18.00"	18 / 0.04	1.3
STACKED	12.00" + 12.00"	24 / 0.05	1.4
STACKED	18.00" + 12.00"	30 / 0.07	1.4



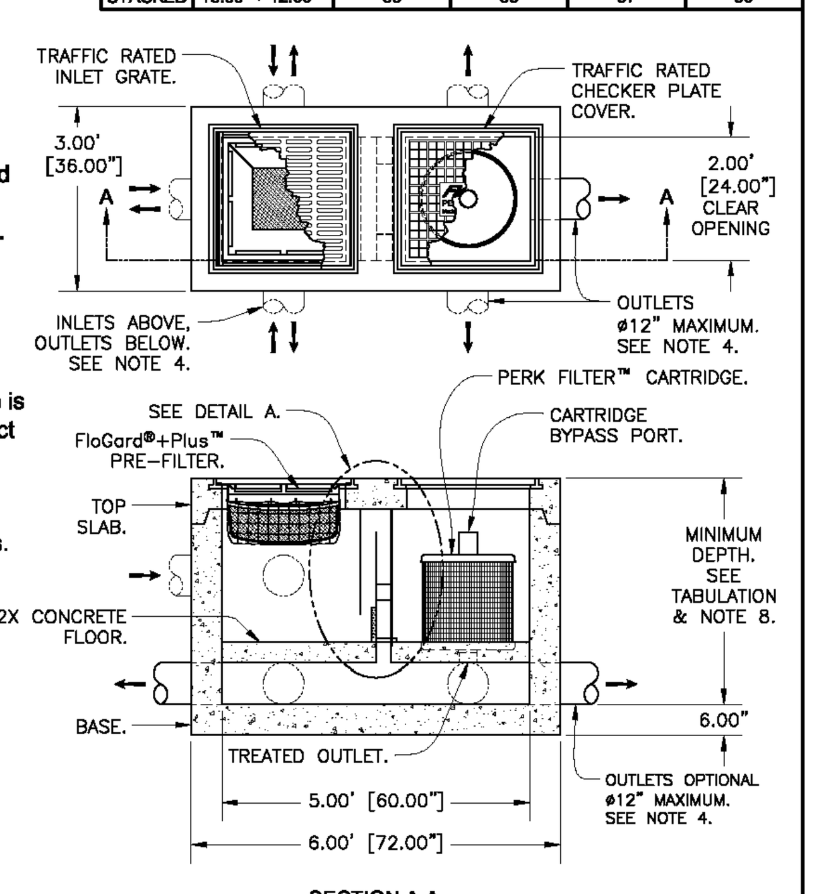


DETAIL A
INLET / BYPASS ASSEMBLY & DRAIN-DOWN SCALE: 2X

	MINIMUM DEPTHS (SEE NOTE 8) CARTRIDGE SIZE	Ø 6.0" OUTLET PIPE (IN INCHES)	Ø 8.0" OUTLET PIPE (IN INCHES)	Ø 10.0" OUTLET PIPE (IN INCHES)	Ø 12.0" OUTLET PIPE (IN INCHES)
	12.00"	31	33	35	37
	18.00"	38	40	42	44
STACKED	12.00" + 12.00"	46	48	50	52
STACKED	18.00" + 12.00"	53	55	57	59

Notes:

1. Structure shall be pre-cast concrete (4,000 psi min), reinforced with welded wire mesh (4x4-6-6). Special reinforcing may be specified.
2. Catch basin/filter system shall be supplied with traffic rated (H20) bicycle-proof grates and checker plate cover. Cast iron grates and/or covers are available upon request.
3. All exposed steel components shall have a hot dipped galvanized finish in accordance with ASTM A-123.
4. Inlet pipe(s) may enter device on three sides of the inlet chamber. Outlet pipe(s) may exit on all four sides. All pipe is Ø 12" maximum. For pipe sizes greater than Ø 12", contact KriStar Enterprises for engineering assistance.
5. Inlet chamber shall be supplied with drain-down device, designed to remove standing water between storm events.
6. Perk-Filter catch basin/filter device shall be supplied with FloGard PLUS pre-filter device. FloGard PLUS and Perk-Filter cartridge shall be maintained in accordance with manufacturer recommendations.
7. Perk-Filter catch basin/filter assembly may be supplied with individual or multiple 18" or 12" high Perk-Filter cartridge. Filter cartridge may be stacked to accommodate higher flow rates.
8. For depths less than specified minimum contact KriStar Enterprises for engineering assistance.



SECTION A-A
SINGLE CARTRIDGE CONCRETE CATCH BASIN

TITLE FloGard® Perk Filter™ CONCRETE CATCH BASIN - SINGLE CARTRIDGE -	KriStar Enterprises, Inc. 360 Sutton Place, Santa Rosa, CA 95407 Ph: 800.579.8819, Fax: 707.524.8186, www.kristar.com
DRAWING NO. PF-CCB-0001	REV D — ECO 0087 JPR 4/25/11 — DATE JPR 6/4/08 — SHEET 1 OF 1

MEDIA FILTRATION DEVICE MAINTENANCE

IT IS RECOMMENDED THAT FLOGARD PERK FILTER SYSTEMS BE SERVICED ON A REGULARLY OCCURRING BASIS. ULTIMATELY THE FREQUENCY DEPENDS ON THE AMOUNT OF RUNOFF, POLLUTANT LOADING, AND INTERFERENCE FROM TRASH, DEBRIS AND GROSS POLLUTANTS AS WELL AS PROPER MAINTENANCE OF ANY UPSTREAM PRETREATMENT DEVICES. HOWEVER, IT IS RECOMMENDED THAT EACH INSTALLATION BE SERVICED IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:

LEVEL 1 INSPECTION SERVICE - SIX (6) MONTHS AFTER UNIT IS PLACED INTO SERVICE, OR SIX (6) MONTHS AFTER A LEVEL 2 OR LEVEL 3 INSPECTION.

LEVEL 2 INSPECTION SERVICE - SIX (6) MONTHS AFTER A LEVEL 2 INSPECTION OR TWELVE (12) MONTHS AFTER A LEVEL 3 INSPECTION.

LEVEL 3 SERVICE - AS DETERMINED BY FINDINGS FROM LEVEL 2 INSPECTION SERVICE REPORTS INDICATING A MEDIA FILTER CHANGE OR SYSTEM REPAIRS TO MAINTAIN THE OPERATING EFFICIENCY OF THE SYSTEM.

REFER TO KRISTAR O&M MANUAL PROVIDED IN THE STORMWATER MANAGEMENT REPORT FOR LEVEL 1, 2 AND 3 INSPECTIONS GUIDELINES.

SOURCE CONTROL MEASURES

1. STORM DRAIN STENCILING. CONTRACTOR SHALL INSTALL METAL BADGES WITH THE MESSAGE "NO DUMPING - FLOWS TO BAY" AT ALL CATCH BASINS AS SHOWN ON THE CITY APPROVED PLANS. THE BADGES ARE AVAILABLE AT THE CORPORATION YARD.
2. LANDSCAPE THAT MINIMIZED IRRIGATION AND RUNOFF, PROMOTES SURFACE INFILTRATION WHERE POSSIBLE, MINIMIZES THE USE OF PESTICIDES AND FERTILIZERS, AND INCORPORATES APPROPRIATE SUSTAINABLE LANDSCAPING PRACTICES AND PROGRAMS SUCH AS BAY-FRIENDLY LANDSCAPING.
3. APPROPRIATE COVERS, DRAINS, AND STORAGE PRECAUTIONS FOR OUTDOOR MATERIAL STORAGE AREAS, COVERED TRASH, FOOD WASTE, AND COMPACTOR ENCLOSURES.
4. PLUMBING OF THE FOLLOWING DISCHARGES TO THE SANITARY SEWER:
   - DISCHARGE FROM INDOOR FLOOR MAT/EQUIPMENT/HOOD FILTER WASH RACKS OR COVERED OUTDOOR WASH RACKS FOR RESTAURANTS.
   - DUMPSTER DRIPS FROM COVERED TRASH AND FOOD COMPACTOR ENCLOSURES
   - SWIMMING POOL WATER, SPA/HOT TUB, WATER FEATURE AND FOUNTAIN DISCHARGES IF DISCHARGE TO ONSITE VEGETATED AREAS IS NOT FEASIBLE.
   - FIRE SPRINKLER TEST WATER, IF DISCHARGE TO ONSITE VEGETATED AREAS IS NOT A FEASIBLE OPTION.

TREATMENT AREA BREAKDOWN

	BLOCK C
IMPERVIOUS AREA	22,700
PERVIOUS AREA	0
TOTAL	22,700
% IMPERVIOUS	100.0
C-FACTOR	0.9000
AREA TREATED BY:	
KRISTAR PF #1	22,700
TOTAL AREA TREATED	22,700

MFS UNIT CALCULATIONS

MEDIA FILTER SIZING

DMA # 1
A= 22700 s.f. A= 0.52112 acre

C Value	Area* (s.f.)	Weighted C Value
0.9	22,700	0.900
0.8		
0.7		
0.1		

Rainfall Intensity (i)
i = 0.17

* Input Values by hand or Use Table at the bottom of the spreadsheet.

Q= C x i x A
Q= 0.0797314 cfs

Manufacturer: KriStar Enterprises
Cartridge Height: 18 in.
Cartidge Media (if applicable):
G.U.L.D. Cartridge Treatment Flowrate (CTF): 10.2 gpm/cartridge

\# Cartridges= [Q x (449 gpm/cfs)] / CTF
\# Cartridges = 3.509745 (round up)
 # Cartridges Required= 4
Treatment Flow Rate Capacity= 0.090869 **cfs**

GEOTECHNICAL NOTES*

1. THE SITE IS GENERALLY UNDERLAIN BY APPROXIMATELY 20 TO 31 FEET OF MEDIUM STIFF TO STIFF CLAY INTERBEDDED WITH SEVERAL THIN LAYERS OF LOOSE TO DENSE SILTY AND CLAYEY SAND.
2. GROUNDWATER LEVELS WERE MEASURED DURING THE FIELD INVESTIGATION BETWEEN DEPTHS OF 46.7 AND 49 FEET BGS, CORRESPONDING TO APPROXIMATE ELEVATIONS 82.3 AND 80 FEET, RESPECTIVELY.
3. THE SITE IS LOCATED IN FLOOD ZONE "D" , WHICH IS USED FOR AREAS WHERE THERE ARE POSSIBLE BUT UNDETERMINED FLOOD HAZARDS, SO NO ANALYSIS OF FLOOD HAZARDS HAS BEEN CONDUCTED.

*PLEASE SEE GEOTECHNICAL REPORT

STORMWATER EVALUATION FORM- SECTION 2

FORM # - Stormwater Evaluation Form — page 2 of 4

2. SURFACE DATA

2.a. Enter the Project Phase Number (1, 2, 3, etc. or N/A if Not Applicable): ______

2.b. Total area of site: 0.700 acres

2.c. Total Existing Impervious Surfaces on site: 23683 sq. ft.

2.d. Total area of site that will be disturbed: 0.700 acres

RESET CALCULATIONS

COMPARISON OF IMPERVIOUS AND PERVIOUS SURFACES AT PROJECT SITE	Existing Surface sq. ft.	Proposed Surface: To Be Replaced sq. ft. [1]	Proposed Surface: New sq. ft. [2]	
2.e. IMPERVIOUS SURFACES				
Roof Area	4845	12066	7271	
Parking	14487	9255		
Sidewalks, Patios, Driveways, Etc.	4351	2056		
Public Streets				Total Proposed Impervious Surface (replaced + new)
Private Streets				
Online form auto-calculates **Impervious Surfaces Total**	e.1. 23683	e.2. 23377	e.3. 7271	e.4. 30648
2.f. PERVIOUS SURFACES				
Landscaped Area	3456	0	306	
Pervious Paving				Total Proposed Pervious Surface (replaced + new)
Green Roof and other Pervious Surfaces	3815			
Online form auto-calculates **Pervious Surfaces Total**	f.1. 7271	f.2. 0	f.3. 306	f.4. 306

2.g. **Percentage of Site's Impervious Area Replacement** (e.2 ÷ 2.c) X 100: Online form auto-calculates g. 98.71 %

[1] *Proposed Replaced Impervious Surface:* Replacement of an existing impervious surface with another impervious surface.
[2] *Proposed New Impervious Surface:* New impervious surface that will cover an existing pervious surface.

3. PROVISION C.3 APPLICABILITY

3.a. Is box 2.e.4 above equal to 10,000 sq. ft. or more for any type of project, or 5,000 sq. ft. or more for restaurants, auto service facilities, retail gas outlets, and uncovered parking? Check one:

☑ Yes. Site Design, Source Control, and Treatment System requirements will all apply to the project area.
☐ No. Site Design and Source Control requirements will apply to the project area (Treatment Systems do not apply).

3.b. Is box 2.g above equal to or greater than 50%? Check one:

☑ Yes. Site Design, Source Control, and Treatment System requirements all apply to the entire site.
☐ No. Site Design, Source Control, and Treatment System requirements only apply to the area of site that is disturbed.

continued>

San José Permit Center 408-535-3555 San José City Hall, 200 E. Santa Clara St., San José, CA 95113 www.sanjoseca.gov/planning

OPERATION & MAINTENANCE CONTACT INFORMATION:

6. OPERATION & MAINTENANCE (O&M) CONTACT INFORMATION

Please enter the contact information of the Responsible Party for Stormwater Treatment/Hydromodification Control O&M:

NAME	MAILING ADDRESS	EMAIL/PHONE
RESPONSIBLE PARTY IN CHARGE OF O&M	STREET: 834 S. Broadway	EMAIL: cbauer@vdla.co
NAME: Courtenay Bauer	CITY: Los Angeles ZIP: 90014	PHONE: 3028410459
FIRM NAME IF ANY: Pacific Row Development		

Worksheet for Calculating the Combination Flow and Volume Method

1.0 Project Information

1-1 Project Name: 335 S Winchester
1-2 City application ID: San Jose
1-3 Site Address or APN: 30339047
1-4 Tract or Parcel Map No: Parcel Number
1-5 Site Mean Annual Precip. (MAP)[1]: 17.0 Inches
Refer to the Mean Annual Precipitation Map in Appendix D of the C.3 Technical Guidance to determine the MAP, in inches, for the site. Click here for map
1-6 Applicable Rain Gauge[1]: San Jose Airport (SCVURPPP)
MAP adjustment factor is automatically calculated as: 1.22
(The "Site Mean Annual Precipitation (MAP)" is divided by the MAP for the applicable rain gauge, shown in Table 5.2, below.)

These calculations are based on the combination flow and volume hydraulic sizing method provided in the Alameda, San Mateo, and Santa Clara County C.3 Technical Guidance Manuals. The steps presented below are explained in Chapter 5, Section 5.1 of the guidance manuals.

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

2-1 Name of DMA: 2

For items 2-2 and 2-3, enter the areas in square feet for each type of surface within the DMA.

	Type of Surface	Area of surface type within DMA (Sq. Ft)	Adjust Pervious Surface	Effective Impervious Area
2-2	Impervious Surface	7,948	1.0	7,948
2-3	Pervious Surface	(7,948)	0.1	(795)

Total DMA Area (square feet) =
2-4 *Total Effective Impervious Area (EIA)* 7,153 Square feet

3.0 Calculate Unit Basin Storage Volume in Inches

Table 5-2: Unit Basin Storage Volumes (in inches) for 80 Percent Capture Using 48-Hour Drawdowns

Applicable Rain Gauge	Mean Annual Precipitation (in)	Unit Basin Storage Volume (in) for Applicable Runoff Coefficients (Calculated for 100% Imperviousness)
San Jose Airport (SCVURPPP)	13.9	0.58
Palo Alto (SCVURPPP)	13.7	0.62
Palo Alto (SMCWPPP)	14.6	0.64
Gilroy (SCVURPPP)	18.2	1.00
Morgan Hill (SCVURPPP)	19.5	1.00
Boulder Creek (SMCWPPP)	55.9	2.04
La Honda (SMCWPPP)	24.4	0.86
Half Moon Bay (SMCWPPP)	25.92	0.82
San Francisco (SMCWPPP)	21	0.73
San Francisco Airport (SMCWPPP)	20.1	0.85
San Francisco Oceanside (SMCWPPP)	19.3	0.72
Oakland Airport (CWPAC)	18.35	1.00

3-1 *Unit basin storage volume from Table 5.2:* 0.58 Inches
(The coefficient for this method is 1.00, due to the conversion of any landscaping to effective impervious area)
3-2 *Adjusted unit basin storage volume:* 0.71 Inches
(The unit basin storage volume is adjusted by applying the MAP adjustment factor.)
3-3 *Required Capture Volume (in cubic feet):* 423 Cubic feet
(The adjusted unit basin sizing volume [inches] is multiplied by the size of the DMA and converted to feet)

4.0 Calculate the Duration of the Rain Event

4-1 Rainfall intensity 0.2 Inches per hour
4-2 Divide Item 3-2 by Item 4-1 3.55 Hours of Rain Event Duration

5.0 Preliminary Estimate of Surface Area of Treatment Measure

5-1 4% of DMA impervious surface 286 Square feet
5-2 3% of DMA impervious surface 215 Square feet
5-3 Volume of treated runoff for area in Item 5-2 317 Cubic feet (Item 5-2 * 5 inches per hour * 1/12 * Item 4-2)

6.0 Initial Adjustment of Depth of Surface Ponding Area

6-1 Subtract Item 5-3 from Item 3-3 106 Cubic feet (Amount of runoff to be stored in ponding area)
6-2 Divide Item 6-1 by Item 5-2 0.5 Feet (Depth of stored runoff in surface ponding area)
6-3 Convert Item 6-2 from ft to inches 5.9 Inches (Depth of stored runoff in surface ponding area)
6-4 If ponding depth in Item 6-3 meets your target depth of 6"-12", then Item 7-1 is equal to Item 5-2. If not, continue to Step 7-1.

7.0 Optimize Size of Treatment M 25

7-1 Enter an area larger or smaller than Item 5-2 213 Sq.ft. (enter larger area if you need less ponding depth; smaller for more depth.)
7-2 Volume of treated runoff for area in Item 7-1 315 Cubic feet (Item 7-1 * 5 inches per hour * 1/12 * Item 4-2)
7-3 Subtract Item 7-2 from Item 3-3 108 Cubic feet (Amount of runoff to be stored in ponding area)
7-4 Divide Item 7-3 by Item 7-1 0.51 Feet (Depth of stored runoff in surface ponding area)
7-5 Convert Item 7-4 from feet to inches 6.1 Inches (Depth of stored runoff in surface ponding area)
7-6 If the ponding depth in Item 7-5 meets target, stop here. If not, repeat Steps 7-1 through 7-5 until you obtain target depth. If the slope of the drainage area > 1%, then 11" will be the max ponding depth (slopes >1% will increase the ponding depth by 0.2 inches).

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
Web: www.vdla.co

CONSULTANTS

CIVIL ENGINEER:
KIER & WRIGHT
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

MECHANIZED PARKING
CITYLIFT
2335 Broadway, Suite 100
Oakland, CA 94612
Tel: 510 338 9143

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
SCG America Construction Inc
One California Plaza
300 S Grand Ave, Suite 3950
Los Angeles, CA 90071
Tel: 213 568 6666

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
3350 Scott Boulevard, Building 22
Santa Clara, California 95054
(408) 727 6665
Fax (408) 727 5641

335 S WINCHESTER

Project Address: 335 S Winchester Blvd, San Jose, CA 95128

Owner: Pacific Row Development Llc

Owner Address: 1700 S El Camino Real Suite 100, San Mateo, CA 94402

REVISIONS

No.	Description	Date

PLANNING REVIEW

Date: 01/14/2019

Project Number: 2017.001

Planning Number: SP18-049

SWQCP DETAILS

C5.1

8/21/2018 10:44 AM

SITE DESIGN MEASURES:

1. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
2. CLUSTER STRUCTURES/PAVEMENT.

SOURCE CONTROL MEASURES:

1. CONNECT THE FOLLOWING FEATURES TO SANITARY SEWER:
   a. COVERED TRASH/ RECYCLING ENCLOSURES.
   b. INTERIOR PARKING STRUCTURES.
   c. WASH AREA/ RACKS.
   d. POOLS, SPAS, FOUNTAINS.
   e. COVERED LOADING DOCKS AND MAINTENANCE BAYS.
   f. PUMPED GROUNDWATER.
2. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
3. STORM DRAIN LABELING.

Bioretention Area
Inspection and Maintenance Checklist

Property Address: 335 S Winchester Blvd. , San Jose Property Owner: Pacific Row Developement

Treatment Measure No.: _____ Date of Inspection: _____ Type of Inspection: ☐ Quarterly ☐ Pre-Wet Season ☐ After heavy runoff ☐ End of Wet Season ☐ Other:_____

Inspector(s): _____

Defect	Conditions When Maintenance Is Needed	Maintenance Needed? (Y/N)	Comments (Describe maintenance completed and if needed maintenance was not conducted, note when it will be done)	Results Expected When Maintenance Is Performed
1. Standing Water	Water stands in the bioretention area between storms and does not drain within 2-3 days after rainfall.			There should be no areas of standing water once storm event has ceased. Any of the following may apply: sediment or trash blockages removed, improved grade from head to foot of bioretention area, or added underdrains.
2. Trash and Debris Accumulation	Trash and debris accumulated in the bioretention area, inlet, or outlet.			Trash and debris removed from bioretention area and disposed of properly.
3. Sediment	Evidence of sedimentation in bioretention area.			Material removed so that there is no clogging or blockage. Material is disposed of properly.
4. Erosion	Channels have formed around inlets, there are areas of bare soil, and/or other evidence of erosion.			Obstructions and sediment removed so that water flows freely anc disperses over a wide area. Obstructions and sediment are disposed of properly.
5. Vegetation	Vegetation is dead, diseased and/or overgrown.			Vegetation is healthy and attractive in appearance.
6. Mulch	Mulch is missing or patchy in appearance. Areas of bare earth are exposed, or mulch layer is less than 2 inches in depth.			All bare earth is covered, except mulch is kept 6 inches away from trunks of trees and shrubs. Mulch is even in appearance, at a depth of 2 – 3 inches.
7. Miscellaneous	Any condition not covered above that needs attention in order for the bioretention area to function as designed.			Meets the design specifications.

PROJECT SITE INFORMATION:

1. SOILS TYPE: SILTY AND CLAYEY SAND
2. GROUND WATER DEPTH: BETWEEN 46.7 AND 49.0 FEET
3. NAME OF RECEIVING BODY: TBD
4. FLOOD ZONE: D
5. FLOOD ELEVATION (IF APPLICABLE): TBD

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
Web: www.vdla.co

VERSE design

CONSULTANTS

CIVIL ENGINEER:
KIER & WRIGHT
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

MECHANIZED PARKING
CITYLIFT
2335 Broadway, Suite 100
Oakland, CA 94612
Tel: 510 338 9143

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
SCG America Construction Inc
One California Plaza
300 S Grand Ave, Suite 3950
Los Angeles, CA 90071
Tel: 213 568 6666

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
3350 Scott Boulevard, Building 22
Santa Clara, California 95054
(408) 727 6665
Fax (408) 727 5641

REGISTERED PROFESSIONAL ENGINEER
DANIEL S. MITCHELL
69152
CIVIL
STATE OF CALIFORNIA

335 S WINCHESTER

Project Address: 335 S Winchester Blvd, San Jose, CA 95128

Owner: Pacific Row Development Llc

Owner Address: 1700 S El Camino Real Suite 100, San Mateo, CA 94402

REVISIONS

No.	Description	Date

PLANNING REVIEW

Date: 10/15/2019

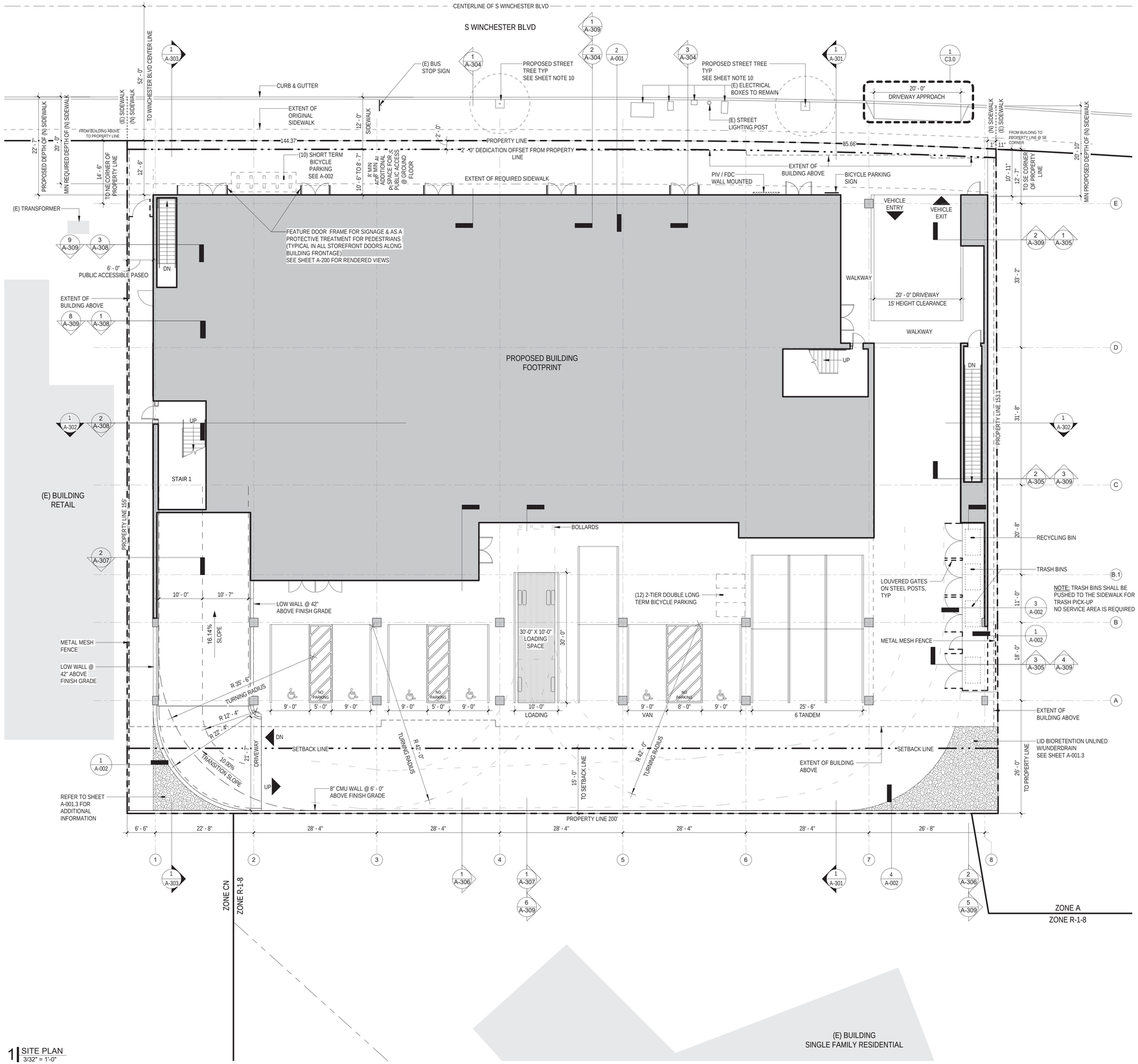
Project Number: 2017.001

Planning Number: SP18-049

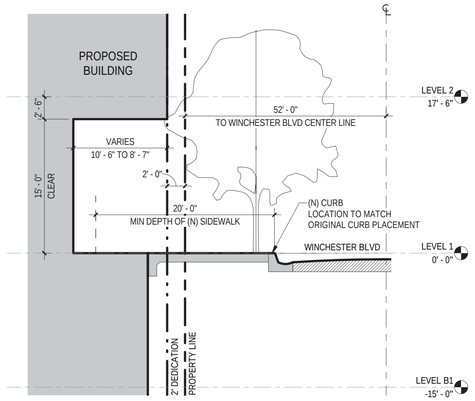
SWQCP DETAILS

C5.2

8/21/2018 10:44 AM1



1 SITE PLAN
3/32" = 1'-0"



2 CROSS SECTION THROUGH WINCHESTER BLVD
1/8" = 1'-0"

PROJECT STATEMENT AND TABLES:

1. TOTAL ACRES OF SUBJECT PROPERTY

GROSS: 30,997 SF
NET: 28,999 SF
(WITH DEDUCTION OF MIN REQUIRED SIDEWALK)

2. BUILDING GROSS SQUARE FOOTAGE
(WITHIN EXTERIOR WALL, INCLUDING STAIRWAYS, ELEVATOR SHAFTS, MECHANICAL EQUIPMENT ROOMS, EXCLUDING BASEMENT PARKING)

• EXISTING BUILDING GROSS SQUARE FOOTAGE:
4,855.95 SF (REFER TO C2.0 AND C2.1 FOR EXISTING BUILDING INFORMATION)

• PROPOSED BUILDING GROSS SQUARE FOOTAGE:

LEVEL 1	12,733 SF
LEVEL 2	24,694 SF
LEVEL 3	14,549 SF
LEVEL 4	22,207 SF
LEVEL 5	19,808 SF
TOTAL	93,991 SF

3. BUILDING NET SQUARE FOOTAGE (85% OF GROSS)
(THE ACTUAL OCCUPIED AREA NOT INCLUDING UNOCCUPIED ACCESSORY AREAS SUCH AS CORRIDORS, STAIRWAYS, TOILET ROOMS, MECHANICAL ROOMS AND CLOSETS)

• EXISTING BUILDING NET SQUARE FOOTAGE:
4,855.95 SF X 85% = 4,127.6 SF

• PROPOSED BUILDING NET SQUARE FOOTAGE :
93,991 SF X 85% = 79,892.4 SF

4. OFF-STREET PARKING SPACE

TOTAL EXISTING OFF-STREET PARKING: 58
(REFER TO C2.0 AND C2.1 FOR EXISTING PARKING INFORMATION, ALL TO BE DEMOLISHED & REPLACED WITH NEW)

TOTAL PROPOSED OFF-STREET PARKING: 215
• GROUND FLOOR PARKING: 14
INCLUDES:
- TANDEM PARKING SPACE: 8
- ACCESSIBLE PARKING SPACE: 6 (INCLUDE 1 VAN PARKING)
• B1 PARKING (MECHANIZED SYSTEM): 201

LOADING SPACE: 1

5. PERCENTAGE OF PROPOSED SITE COVERAGE
• BUILDING: 42.8%
• OFF-STREET PARKING AND LOADING: 12.8%
• LANDSCAPE: 1.37%

SHEET NOTES

1. REFER TO SHEET G-000 FOR LOCATION MAP AND PARCEL MAP.

2. REFER TO SHEET C2.0 AND C2.1 FOR EXISTING SITE INFORMATION, INCLUDING EXISTING BUILDING, PARKING SPACES, DRIVEWAYS/CIRCULATION ELEMENTS, LOADING AREA, LANDSCAPES, FENCE, AND EASEMENTS.

3. ALL EXISTING BUILDINGS, STRUCTURES, PARKING SPACES, FENCES AND LANDSCAPING WILL BE DEMOLISHED.

4. NO PROPOSED ON-SITE LIGHTING POSTS. ALL NEW OUTDOOR LIGHTING FIXTURES ARE MOUNTED ON BUILDING. SEE A-001.1.

5. REFER TO A-101 FOR ADDITIONAL GROUND FLOOR INFORMATION INCLUDING BUILDING ELEVATION AND SECTION TAGS.

6. DEVELOPER SHALL BE RESPONSIBLE FOR ADJUSTING EXISTING UTILITY BOXES/VAULTS TO GRADE, LOCATING AND PROTECTING THE EXISTING COMMUNICATION CONDUITS (FIVER OPTIC AND COPPER) ALONG THE PROJECT FRONTAGE.

7. DEDICATION AND IMPROVEMENT OF THE PUBLIC STREETS SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.

8.NEW CURB & GUTTER EXTEND THROUGHOUT THE BUILDING FRONTAGE ALONG THE ENTIRE PROPERTY LINE.

9. EXISTING ELECTROLIERS ALONG THE PROJECT FRONTAGE WILL BE EVALUATED AT THE PUBLIC IMPROVEMENT STAGE AND ANY STREET LIGHTING REQUIREMENTS WILL BE INCLUDED ON THE PUBLIC IMPROVEMENT PLANS.

10. EXISTING ELECTRICAL CONDUIT SHALL BE PROTECTED IN DRIVEWAY AND/OR SIDEWALK CONSTRUCTION.

11. THE LOCATION OF THE STREET TREES WILL BE DETERMINED AT THE STREET IMPROVEMENT STAGE. STREET TREES SHALL BE PLANTED WITHIN PUBLIC RIGHT-OF-WAY ALONG ENTIRE PROJECT STREET FRONTAGE PER CITY STANDARD OF "GUIDELINES FOR PLANNING, DESIGN, AND CONSTRUCTION OF CITY STREETSCAPE PROJECTS". STREET TREES SHALL BE PLANTED IN CUT-OUTS AT THE BACK OF CURB. DOT STREET TREE PLANTING PERMIT IS REQUIRED FOR ANY PROPOSED STREET TREE PLANTING. STREET TREES SHOWN ON THE PLAN ARE CONCEPTUAL AND FOR REFERENCE ONLY ON THIS PERMIT. FOR LANDSCAPE INFORMATION SEE A-001.2

12. FOR DMA & TCM INFORMATION SEE SHEET C5.0.

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
Web: www.vdla.co

verse design

CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

GEOTECHNICAL ENGINEER:
Langan Treadwell Rollo
501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER
Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

LICENSED ARCHITECT
PAUL R. TANG
NO. C24959
EXP 04/30/2021
STATE OF CALIFORNIA

335 S WINCHESTER

Project Address:	335 S Winchester Blvd, San Jose, CA 95128
Owner:	Pacific Row Development Llc
Owner Address:	1700 S El Camino Real Suite 100, San Mateo, CA 94402

REVISIONS

PLANNING SUBMISSION 04

Date: 10/15/2019

Project No: 2017.001
Planning Project No: SP18-049

SITE PLAN

A-001

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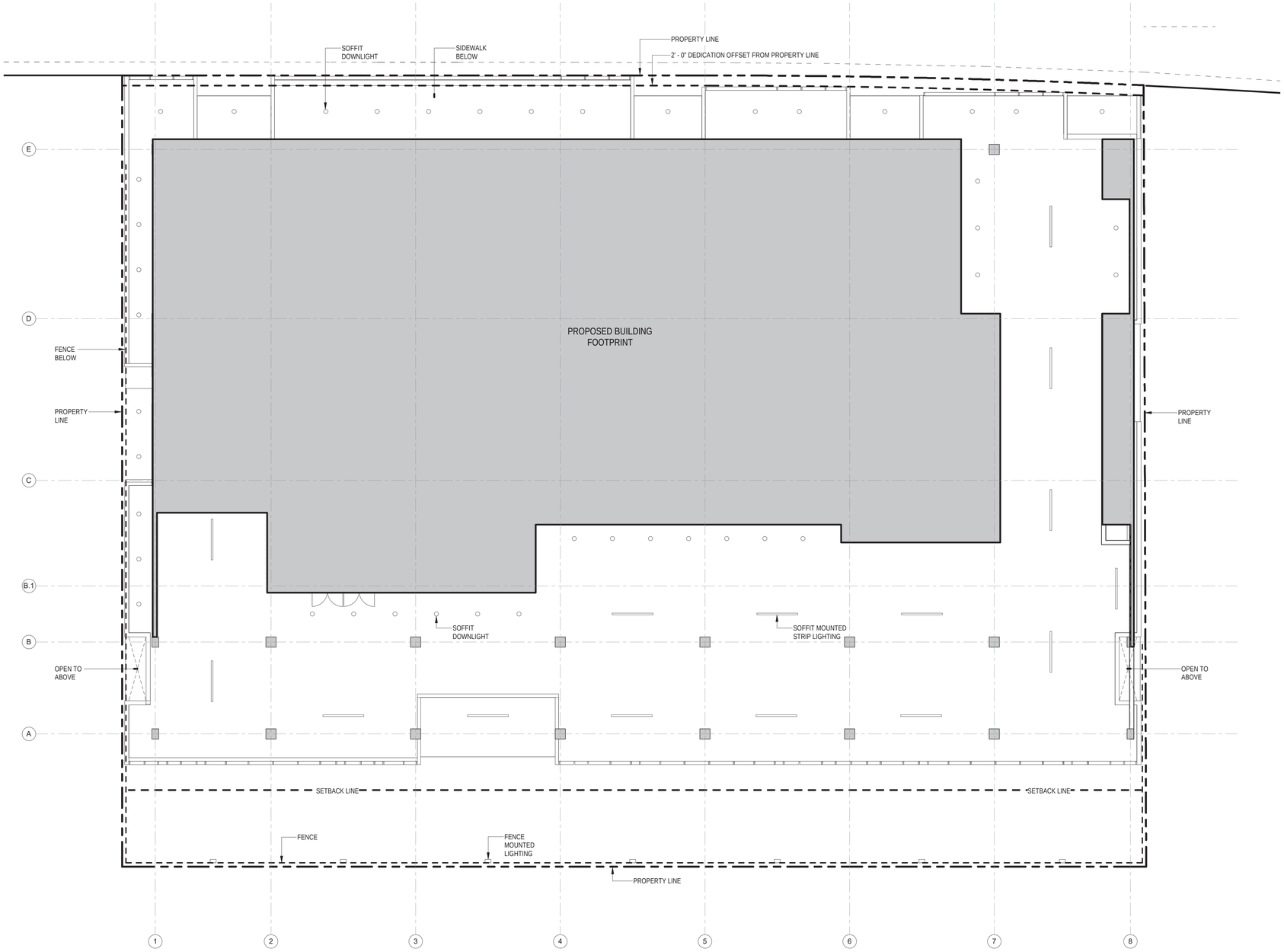

1 SITE LIGHTIN PLAN
3/32" = 1'-0"

SHEET NOTES

1. REFER TO SHEET G-000 FOR LOCATION MAP AND PARCEL MAP.

2. REFER TO SHEET C2.0 AND C2.1 FOR EXISTING SITE INFORMATION, INCLUDING EXISTING BUILDING, PARKING SPACES, DRIVEWAYS/CIRCULATION ELEMENTS, LOADING AREA, LANDSCAPES, FENCE, AND EASEMENTS.

3. ALL EXISTING BUILDINGS, STRUCTURES, PARKING SPACES, FENCES AND LANDSCAPING WILL BE DEMOLISHED.

4. NO PROPOSED ON-SITE LIGHTING POSTS. ALL NEW OUTDOOR LIGHTING FIXTURES ARE MOUNTED ON BUILDING. FOR LIGHTING PLAN SEE A-00.1.

5. REFER TO A-101 FOR ADDITIONAL GROUND FLOOR INFORMATION INCLUDING BUILDING ELEVATION AND SECTION TAGS.

6. DEVELOPER SHALL BE RESPONSIBLE FOR ADJUSTING EXISTING UTILITY BOXES/VAULTS TO GRADE, LOCATING AND PROTECTING THE EXISTING COMMUNICATION CONDUITS (FIVER OPTIC AND COPPER) ALONG THE PROJECT FRONTAGE.

7. DEDICATION AND IMPROVEMENT OF THE PUBLIC STREETS SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.

8.NEW CURB & GUTTER EXTEND THROUGHOUT THE BUILDING FRONTAGE ALONG THE ENTIRE PROPERTY LINE.

9. EXISTING ELECTROLIERS ALONG THE PROJECT FRONTAGE WILL BE EVALUATED AT THE PUBLIC IMPROVEMENT STAGE AND ANY STREET LIGHTING REQUIREMENTS WILL BE INCLUDED ON THE PUBLIC IMPROVEMENT PLANS.

10. EXISTING ELECTRICAL CONDUIT SHALL BE PROTECTED IN DRIVEWAY AND/OR SIDEWALK CONSTRUCTION.

11. THE LOCATION OF THE STREET TREES WILL BE DETERMINED AT THE STREET IMPROVEMENT STAGE. STREET TREES SHALL BE PLANTED WITHIN PUBLIC RIGHT-OF-WAY ALONG ENTIRE PROJECT STREET FRONTAGE PER CITY STANDARD OF "GUIDELINES FOR PLANNING, DESIGN, AND CONSTRUCTION OF CITY STREETSCAPE PROJECTS". STREET TREES SHALL BE PLANTED IN CUT-OUTS AT THE BACK OF CURB. DOT STREET TREE PLANTING PERMIT IS REQUIRED FOR ANY PROPOSED STREET TREE PLANTING. STREET TREES SHOWN ON THE PLAN ARE CONCEPTUAL AND FOR REFERENCE ONLY ON THIS PERMIT.

12. FOR DMA & TCM INFORMATION SEE SHEET C5.0.

LIGHTING LEGEND:

- SOFFIT MOUNTED STRIP LIGHTING
- SOFFIT DOWNLIGHT
- FENCE MOUNTED LIGHTING

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CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

GEOTECHNICAL ENGINEER:
Langan Treadwell Rollo
501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

LICENSED ARCHITECT
PAUL R. TANG
NO. C24959
EXP 04/30/2021
STATE OF CALIFORNIA

335 S WINCHESTER

Project Address: 335 S Winchester Blvd, San Jose, CA 95128

Owner: Pacific Row Development Llc

Owner Address: 1700 S El Camino Real Suite 100, San Mateo, CA 94402

REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

SITE LIGHTING PLAN

A-001.1

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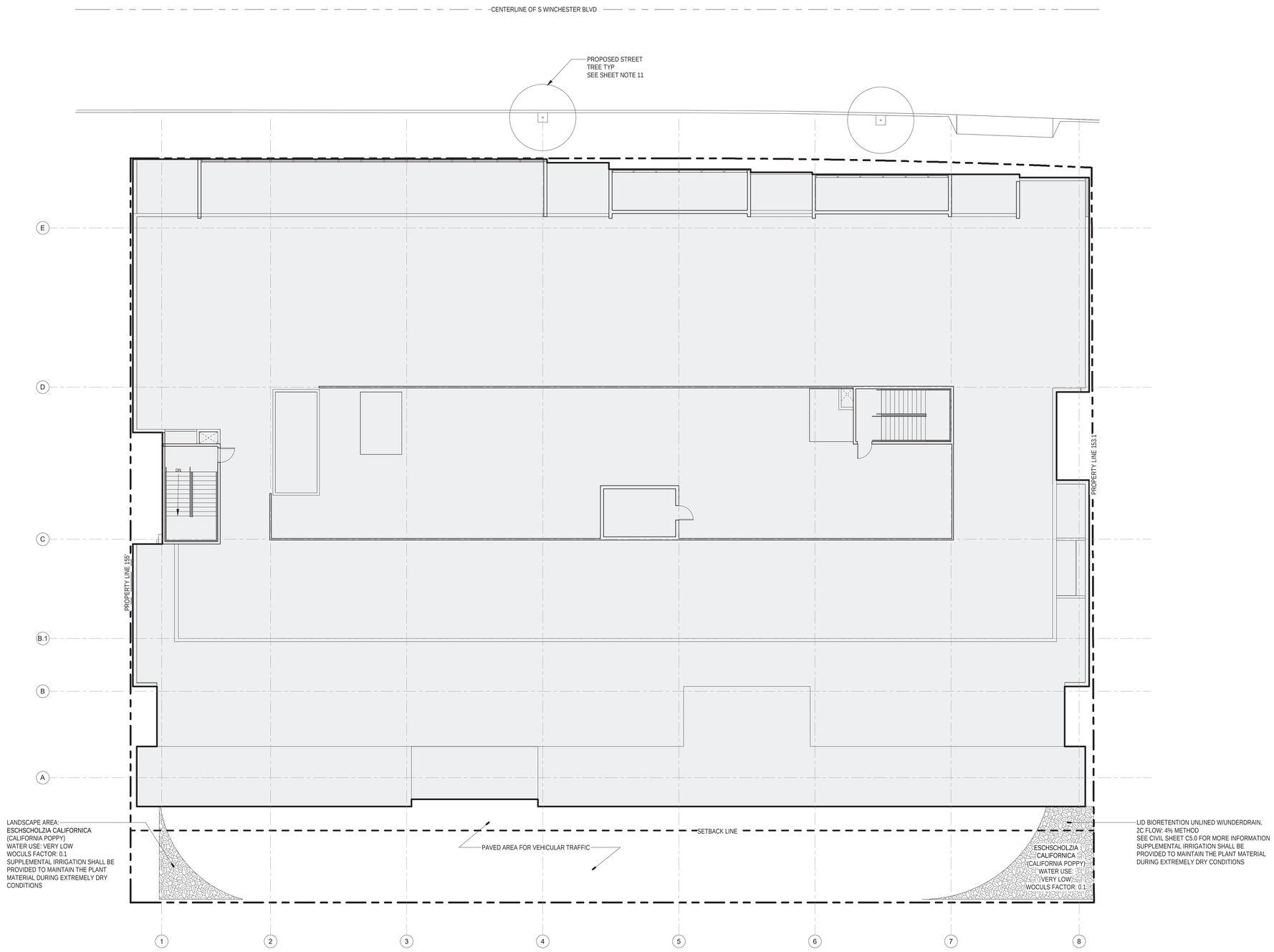

1 PLANTING PLAN
3/32" = 1'-0"

SHEET NOTES

1. REFER TO SHEET G-000 FOR LOCATION MAP AND PARCEL MAP.

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12. FOR DMA & TCM INFORMATION SEE SHEET C5.0.

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
Tel: +1 213 536 0190
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CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

GEOTECHNICAL ENGINEER:
Langan Treadwell Rollo
501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

LICENSED ARCHITECT
PAUL R. TANG
NO. C24959
EXP 04/30/2021
STATE OF CALIFORNIA

335 S WINCHESTER

Project Address:	335 S Winchester Blvd, San Jose, CA 95128
Owner:	Pacific Row Development Llc
Owner Address:	1700 S El Camino Real Suite 100, San Mateo, CA 94402

REVISIONS

PLANNING SUBMISSION 04

Date: 10/15/2019

Project No: 2017.001
Planning Project No: SP18-049

LANDSCAPE PLAN

A-001.2

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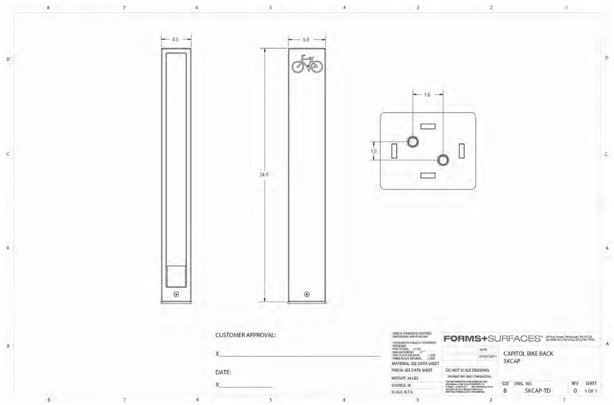
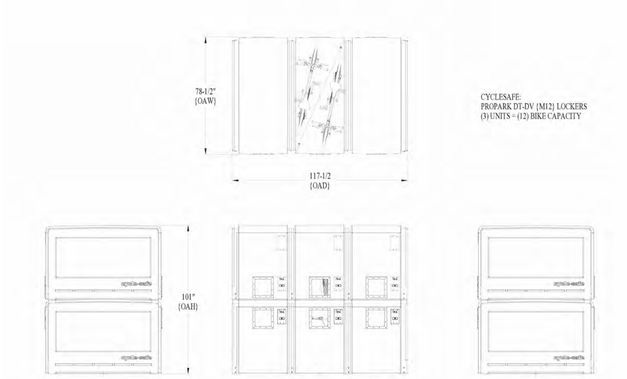
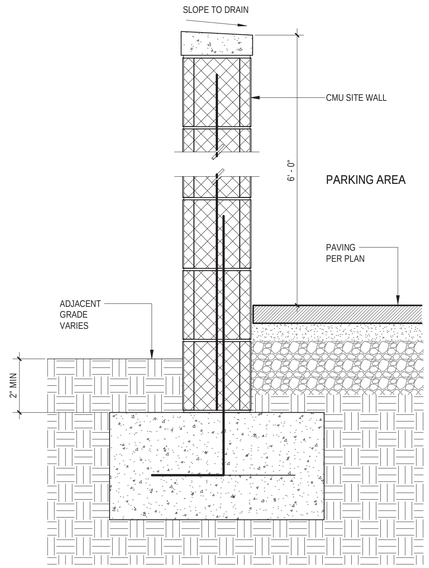


BIKE RACK

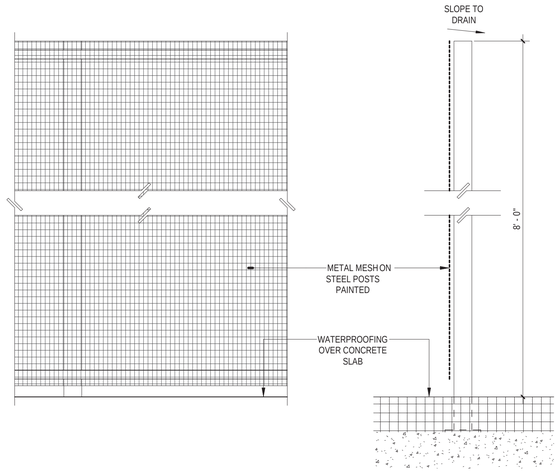


BIKE LOCKER

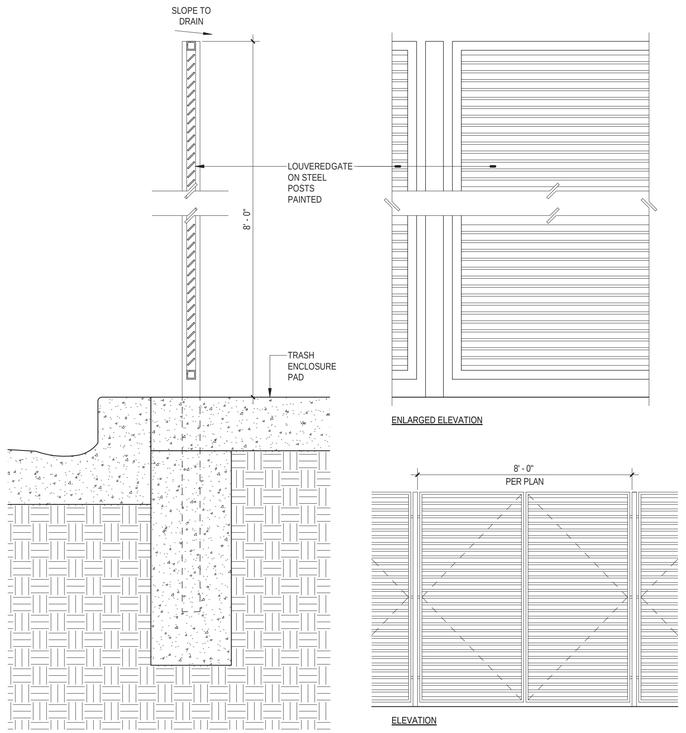
5 | BIKE PARKING CUT SHEETS (OR SIMILAR)
NTS



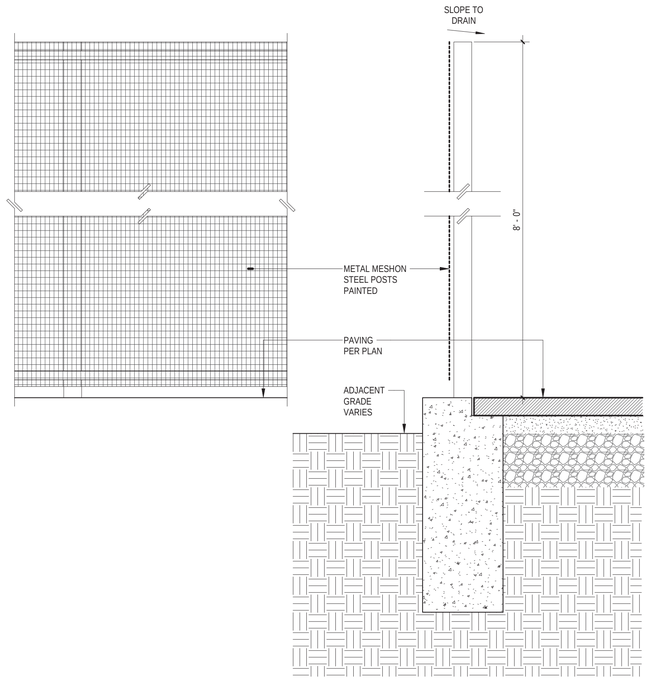
4 | CMU FENCE DETAIL
1 1/2" = 1'-0"



2 | METAL MESH EQUIPMENT SCREEN
1 1/2" = 1'-0"



3 | TRASH ENCLOSURE GATE DETAIL
1 1/2" = 1'-0"



1 | METAL MESH FENCE DETAIL
1 1/2" = 1'-0"

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CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
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Tel: 408 727 6665

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Walter P Moore
595 Market Street Suite 2130
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San Francisco, CA 94102
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Oakland, CA 94612
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4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

LICENSED ARCHITECT
PAUL R. TANG
NO. C24959
EXP 04/30/2021
STATE OF CALIFORNIA

335 S WINCHESTER

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Owner:	Pacific Row Development Llc
Owner Address:	1700 S El Camino Real Suite 100, San Mateo, CA 94402

REVISIONS

PLANNING SUBMISSION 03

Date: 10/1/2019

Project No:	2017.001
Planning Project No:	SP18-049

SITE DETAILS

A-002

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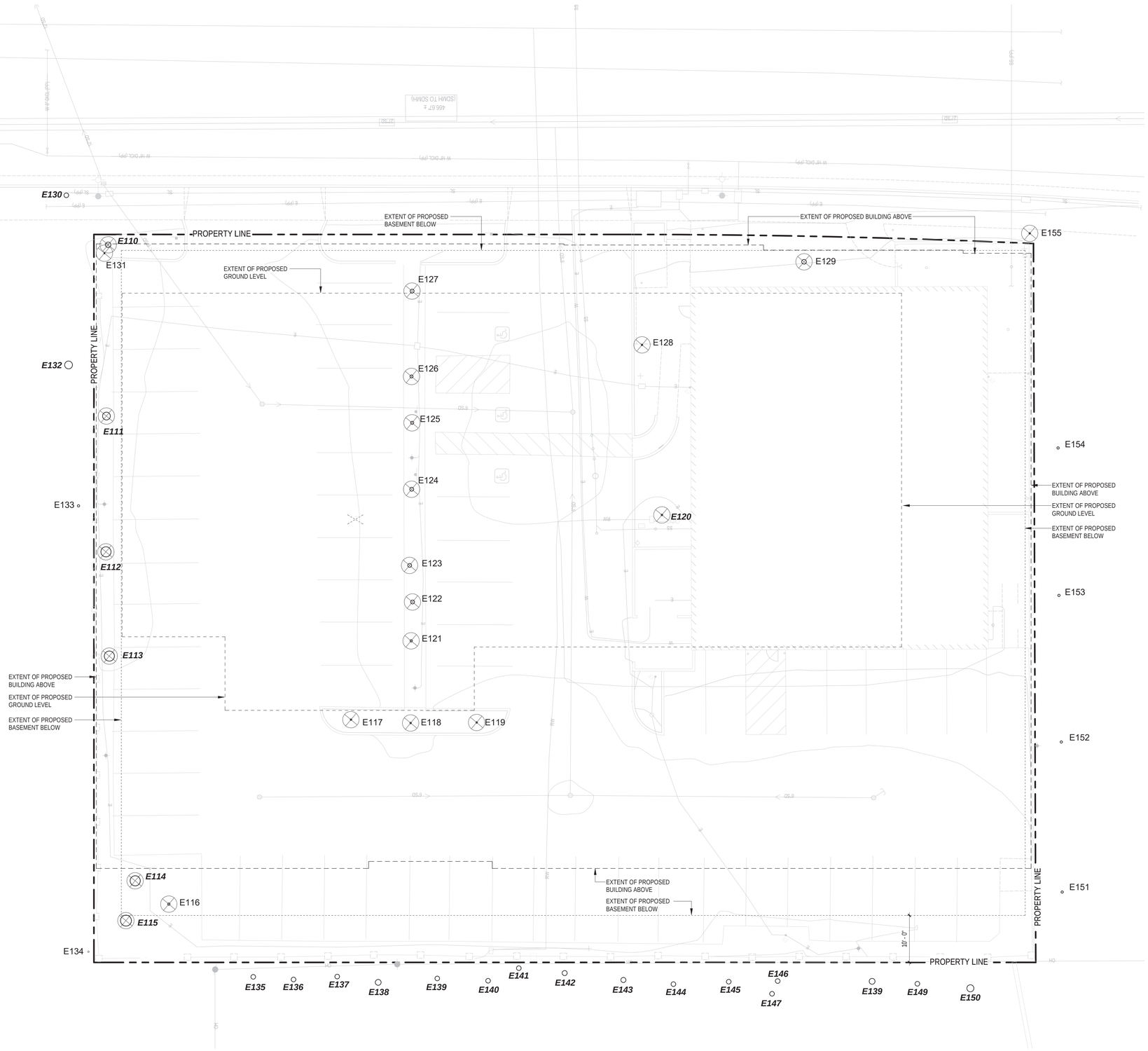

TREE #	SPECIES	SIZE (DIA)	DISPOSITION	ORDINANCE SIZE
110	*CANARY ISLAND PINE*	*19*	*REMOVE*	*YES*
111	*CANARY ISLAND PINE*	*20*	*REMOVE*	*YES*
112	*CANARY ISLAND PINE*	*24*	*REMOVE*	*YES*
113	*CANARY ISLAND PINE*	*28*	*REMOVE*	*YES*
114	*CANARY ISLAND PINE*	*16,14*	*REMOVE*	*YES*
115	*CANARY ISLAND PINE*	*16,15,13*	*REMOVE*	*YES*
116	CANARY ISLAND PINE	4,3	REMOVE	NO
117	PAPER BIRCH	3	REMOVE	NO
118	PAPER BIRCH	4	REMOVE	NO
119	PAPER BIRCH	4	REMOVE	NO
120	*EVERGREEN PEAR*	*13,11*	*REMOVE*	*YES*
121	EVERGREEN PEAR	6	REMOVE	NO
122	EVERGREEN PEAR	9	REMOVE	NO
123	EVERGREEN PEAR	9	REMOVE	NO
124	EVERGREEN PEAR	9	REMOVE	NO
125	EVERGREEN PEAR	8	REMOVE	NO
126	EVERGREEN PEAR	7	REMOVE	NO
127	EVERGREEN PEAR	10	REMOVE	NO
128	CRAPE MYRTLE	4	REMOVE	NO
129	CRAPE MYRTLE	3,3,3,3,3,3,3	REMOVE	NO
130	*EUROPEAN HACKBERRY*	*13*	*PRESERVE*	*YES*
131	EVERGREEN ASH	3,3	REMOVE	NO
132	*CALLERY PEAR*	*20*	*REMOVE*	*YES*
133	SWEETGUM	5	REMOVE	NO
134	AFRICAN FERN-PINE	4	REMOVE	NO
135	*ITALIAN CYPRESS*	*12*	*PRESERVE*	*YES*
136	*ITALIAN CYPRESS*	*12*	*PRESERVE*	*YES*
137	*ITALIAN CYPRESS*	*12*	*PRESERVE*	*YES*
138	*ARIZONA CYPRESS*	*15,10,8*	*PRESERVE*	*YES*
139	*ITALIAN CYPRESS*	*12*	*PRESERVE*	*YES*
140	*ARIZONA CYPRESS*	*12,10,10*	*PRESERVE*	*YES*
141	*ARIZONA CYPRESS*	*12,10,10,8*	*PRESERVE*	*YES*
142	*ARIZONA CYPRESS*	*13,12,10*	*PRESERVE*	*YES*
143	*ARIZONA CYPRESS*	*13,10*	*PRESERVE*	*YES*
144	*ITALIAN CYPRESS*	*12*	*PRESERVE*	*YES*
145	*ITALIAN CYPRESS*	*12*	*PRESERVE*	*YES*
146	*ARIZONA CYPRESS*	*12*	*PRESERVE*	*YES*
147	*ITALIAN CYPRESS*	*12*	*PRESERVE*	*YES*
148	*ARIZONA CYPRESS*	*15,10*	*PRESERVE*	*YES*
149	*ITALIAN CYPRESS*	*12*	*PRESERVE*	*YES*
150	*ARIZONA CYPRESS*	*18*	*PRESERVE*	*YES*
151	CHINESE PISTACHE	6	PRESERVE	NO
152	CHINESE PISTACHE	6	PRESERVE	NO
153	CHINESE PISTACHE	6	PRESERVE	NO
154	CHINESE PISTACHE	6	PRESERVE	NO
155	CRAPE MYRTLE	1	PRESERVE	NO

LEGEND

- O EXX — EXISTING TREE AND TAG #
- ⊗ — EXISTING TREES TO BE DEMOLISHED AND REMOVED
- - - - — LIMIT OF WORK

834 S. Broadway, Suite 1200
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Tel: +1 213 536 0190
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CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

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San Francisco, CA 94102
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Langan Treadwell Rollo
501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER
Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
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REVISIONS

PLANNING SUBMISSION 04

Date: 10/15/2019

Project No: 2017.001
Planning Project No: SP18-049

TREE REMOVAL DIAGRAM

A-003

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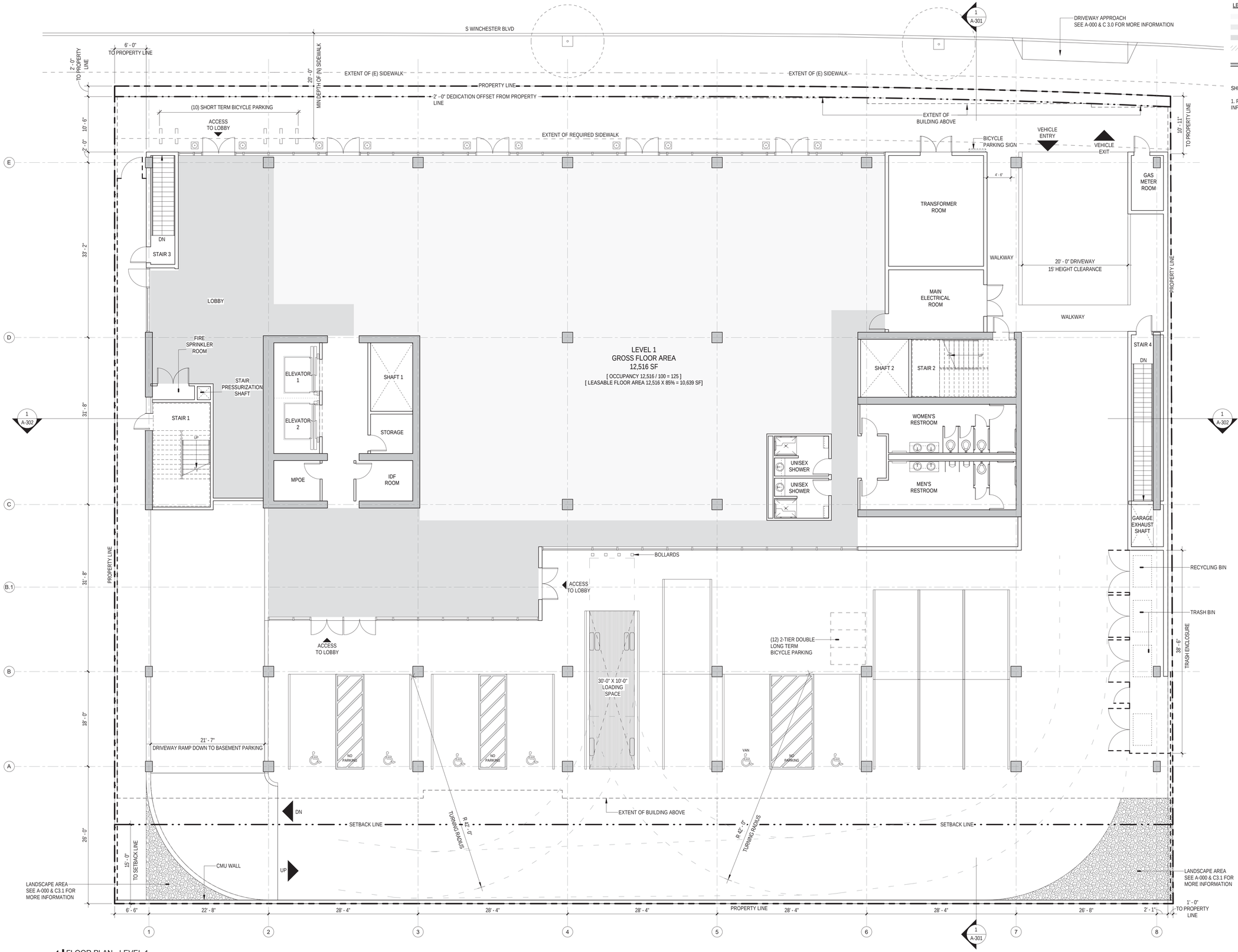

1 FLOOR PLAN - LEVEL 1
1/8" = 1'-0"

LEGEND:

- OFFICE LEASABLE SPACE
- RETAIL LEASABLE SPACE
- NON-LEASABLE SPACE
- BALCONY
- SHEAR WALL

SHEET NOTES:

1. REFER TO A-001 FOR ADDITIONAL SITE INFORMATION

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
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CONSULTANTS

CIVIL ENGINEER:
KIER & WRIGHT
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Santa Clara, CA 95054
Tel: 408 727 6665

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REVISIONS

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Project No: 2017.001
Planning Project No: SP18-049

FLOOR PLAN LEVEL 1

A-101

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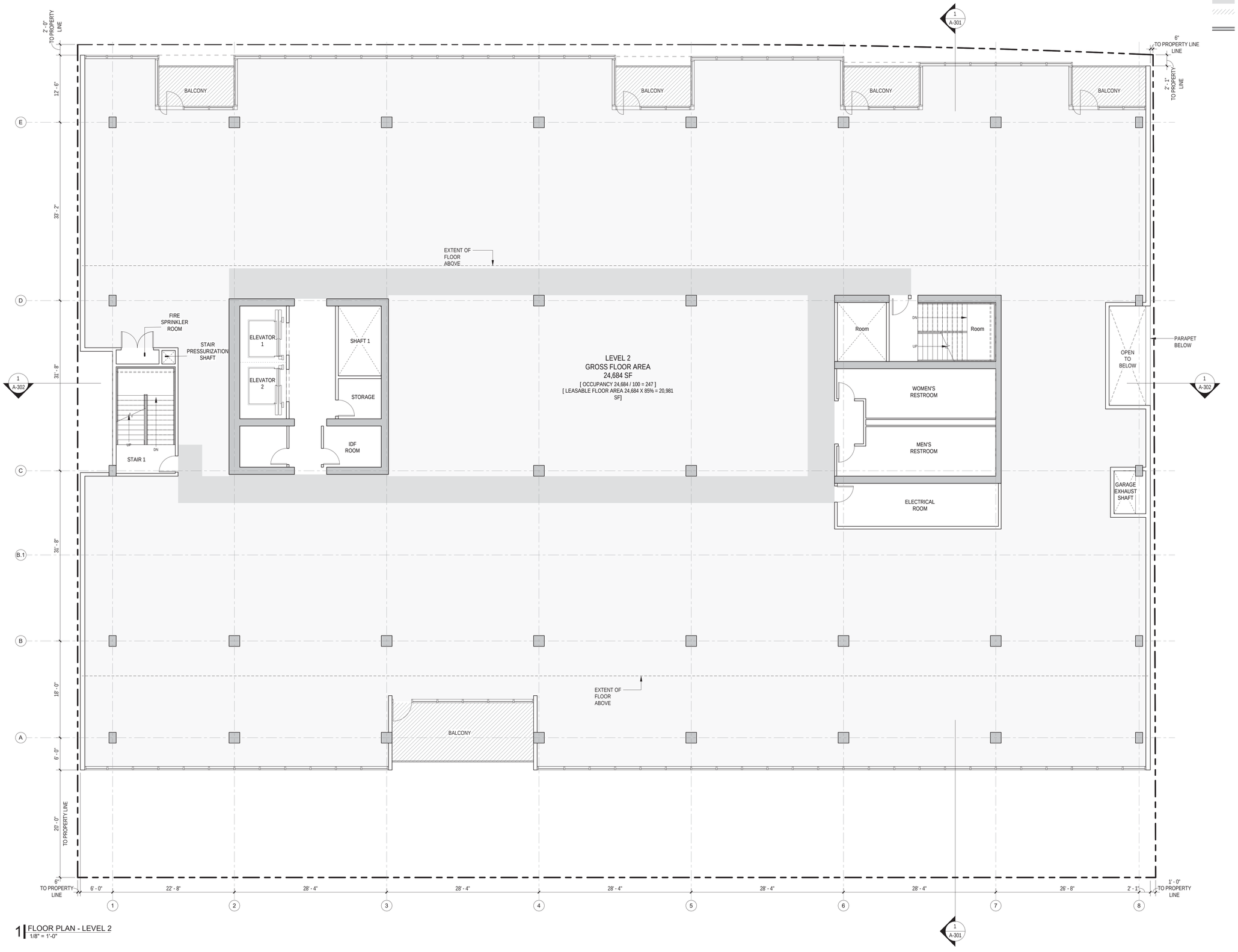

1 FLOOR PLAN - LEVEL 2
1/8" = 1'-0"

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Los Angeles, CA 90014
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CONSULTANTS

CIVIL ENGINEER:
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Santa Clara, CA 95054
Tel: 408 727 6665

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San Francisco, CA 94105
Tel: 415 963 6306

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PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
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Oakland, CA 94612
Tel: 510 874 7000

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Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

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NO. C24959
EXP. 04/30/2019
STATE OF CALIFORNIA

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REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

FLOOR PLAN LEVEL 2

A-102

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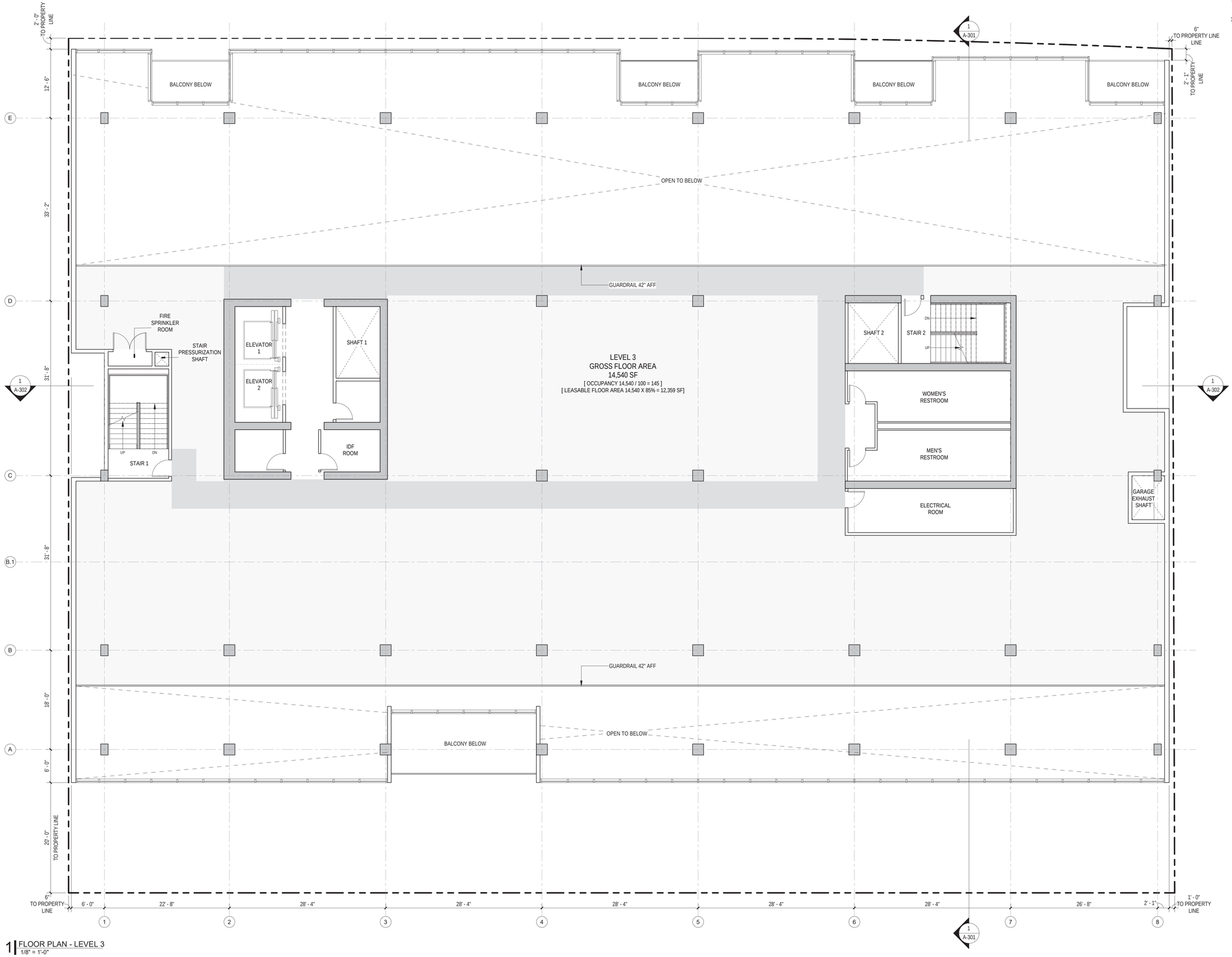

1 FLOOR PLAN - LEVEL 3
1/8" = 1'-0"

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CONSULTANTS

CIVIL ENGINEER:
KIER & WRIGHT
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

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48 Golden Gate Avenue
San Francisco, CA 94102
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Oakland, CA 94612
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TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

LICENSED ARCHITECT
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NO. C24959
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STATE OF CALIFORNIA

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REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

FLOOR PLAN LEVEL 3

A-103

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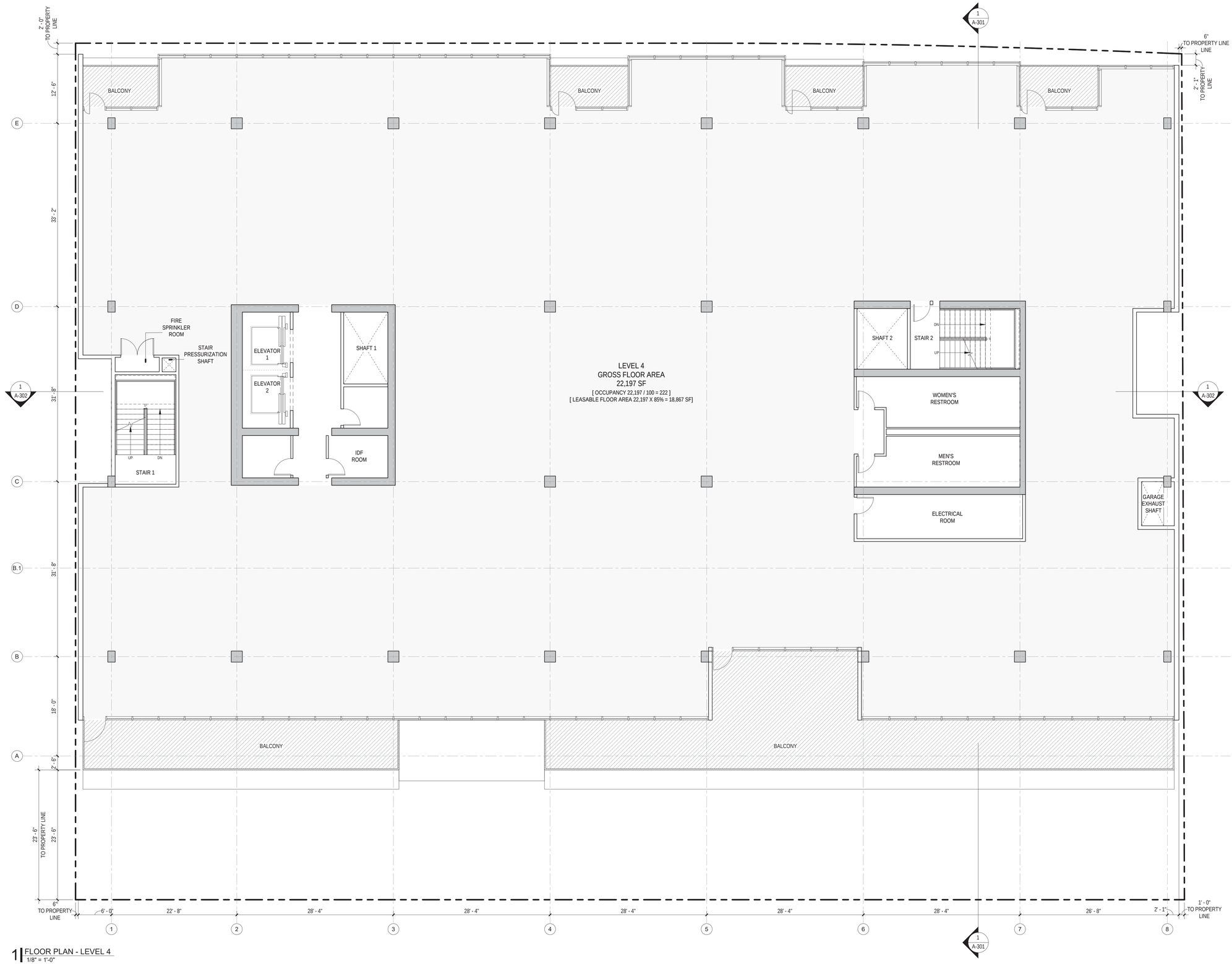

1 FLOOR PLAN - LEVEL 4
1/8" = 1'-0"

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CONSULTANTS

CIVIL ENGINEER:
KIER & WRIGHT
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Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
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PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
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Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

LICENSED ARCHITECT
PAUL R. TANG
NO. C24959
EXP. 04/30/2019
STATE OF CALIFORNIA

335 S WINCHESTER

Project Address:	335 S Winchester Blvd, San Jose, CA 95128
Owner:	Pacific Row Development Llc
Owner Address:	1700 S El Camino Real Suite 100, San Mateo, CA 94402

REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

FLOOR PLAN LEVEL 4

A-104

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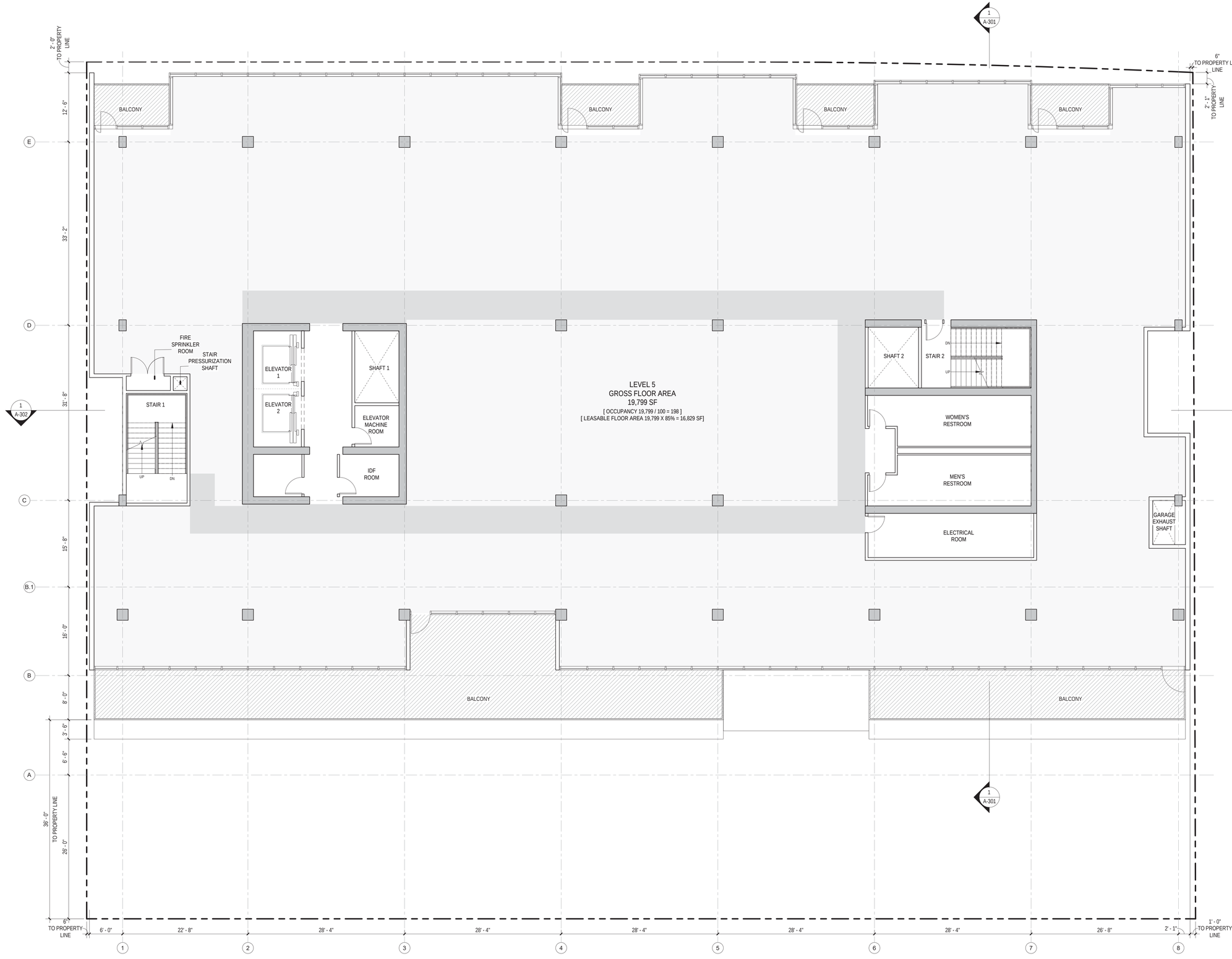

1 FLOOR PLAN - LEVEL 5
1/8" = 1'-0"

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
Web: www.vdla.co

CONSULTANTS

CIVIL ENGINEER:
KIER & WRIGHT
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

GEOTECHNICAL ENGINEER:
Langan Treadwell Rollo
501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
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REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

FLOOR PLAN LEVEL 5

A-105

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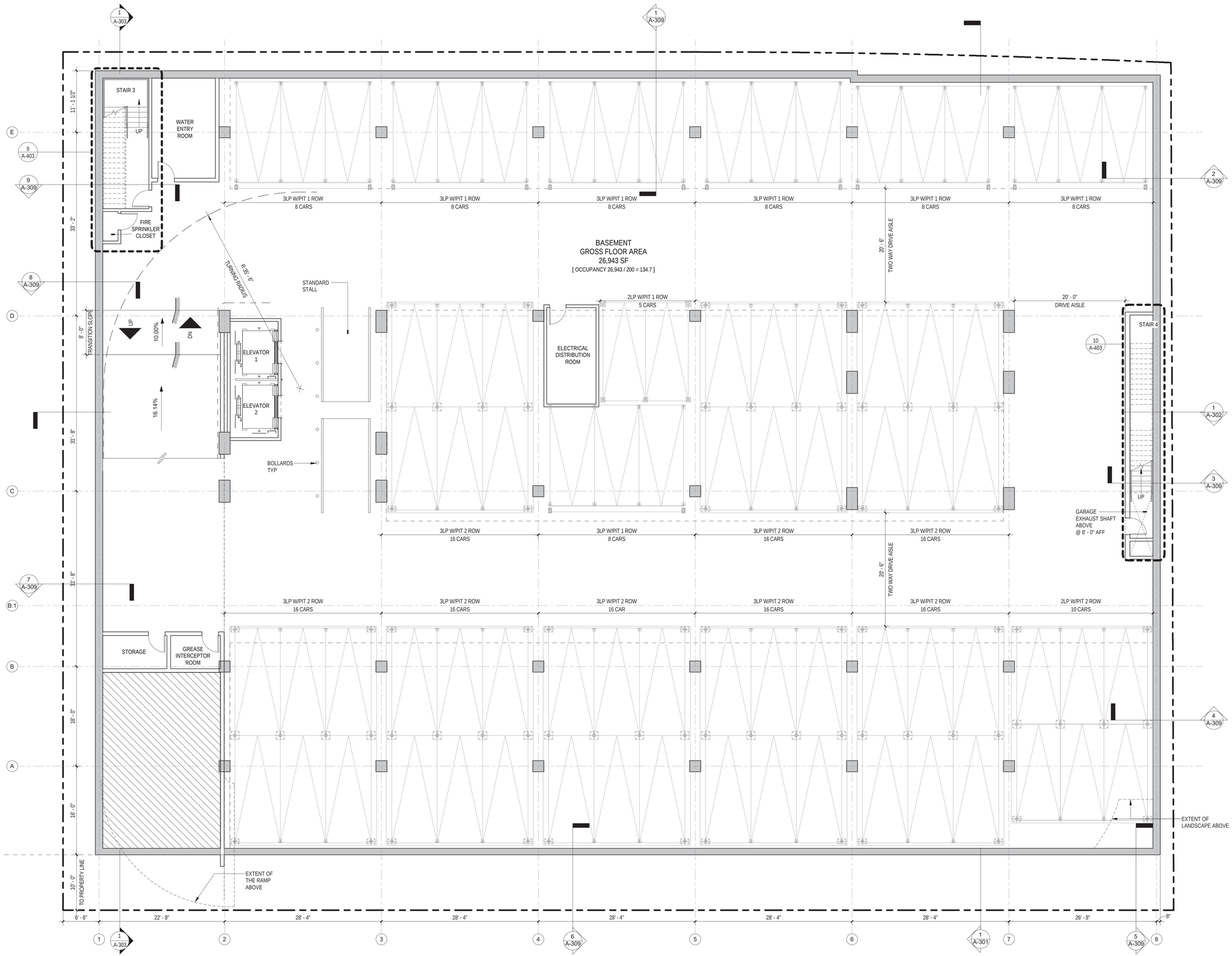

1 FLOOR PLAN - LEVEL B1
1/8" = 1'-0"

PARKING NOTES:

MECHANIZED PARKING TOTAL 207 SPACES
3-STACK WITH PIT @ 8 CARS PER 3 SPACES AND @ 5 CARS PER 2 SPACES SHOWN IN PLAN.

(THIS IS BASED ON PRELIMINARY ESTIMATE OF THE DIMENSIONAL REQUIREMENTS FOR THE MECHANIZED PARKING SYSTEM. ABOVE NUMBER OF PARKING SPACES IS ONLY AN ESTIMATE TO BE CONFIRMED THROUGH MECHANIZED PARKING SYSTEM MANUFACTURER.)

SHEET NOTES

1. ALL DIMENSION TO STRUCTURAL GRIDLINES ARE FOR REFERENCE ONLY AND SHALL BE FIELD VERIFIED TO CONFIRM AND SATISFY CODE REQUIREMENTS . REFER TO STRUCTURAL PLANS.
2. SPOT ELEVATIONS AND GRADING INFORMATION SHOWN FOR REFERENCE ONLY. FOR MORE INFORMATION REFER TO CIVIL PLANS.
3. ALL DIMENSIONS SHALL BE FIELD-VERIFIED. THE TERM "CLR"," CLEAR", OR "CLEARANCE", INDICATES SPECIFIC CLEARANCE SHALL BE PROVIDED. THE TERM "MIN" OR "MINIMUM" INDICATES MINIMUM CLEARANCE ALLOWED. THE TERM "MAX" OR "MAXIMUM" INDICATES MAXIMUM CLEARANCE ALLOWED. THE TERM "F.V." OR "FIELD VERIFY" INDICATES CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS IN FIELD.
4. MONUMENT SIGNS ARE SHOWN FOR REFERENCE ONLY AND ARE NOT PART OF THIS SCOPE OF WORK. SEE ELECTRICAL PLANS FOR PROVISIONS FOR FUTURE USE.
5. PLANTERS & LANDSCAPE AREAS SHOWN FOR REFERENCE ONLY. SEE CIVIL PLANS.
6. ALL PEDESTRIAN RAMP SLOPES SHALL BE 1:12 MAX PER ADA STANDARDS.
7. ALL HARDSCAPE, INCLUDING DRIVEWAYS, SHALL HAVE A 1% SLOPE MINIMUM FOR PROPER DRAINAGE. SEE CIVIL PLANS FOR GRADING.
8. ALL HARDSCAPE FOR PEDESTRIAN USE, INTENDED OR NOT INTENDED, SHALL BE NON-SLIP FINISH.
9. DRAINAGE INFORMATION SHOWN FOR REFERENCE ONLY. FOR GRADING AND DRAINAGE INFORMATION SEE CIVIL PLANS.
10. CONTRACTOR TO COORDINATE MECHANICAL SHAFT WITH MECHANICAL PLANS. ANY POTENTIAL OR IMMINENT CONFLICTS BETWEEN ARCHITECTURAL DESIGN INTENT AND MECHANICAL LAYOUT MUST BE IDENTIFIED AND COORDINATED PENDING ARCHITECT'S EVALUATION AND ADVANCED APPROVAL.
11. ELEVATORS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO COORDINATE.
12. FOR EXPANSION JOINT LOCATIONS REFER TO STRUCTURAL. EXPANSION JOINTS SHOWN IN ARCHITECTURAL PLANS FOR REFERENCE ONLY. FOR EXPANSION.
13. FOR GENERAL NOTES, ABBREVIATIONS & SHEET INDEX SEE SHEET G-000.
14. FOR LIFE SAFETY DIAGRAMS SEE G-101
15. FOR SITE PLAN & SITE DETAILS DETAILS SEE A-000.
16. FOR FLOOR PLANS SEE A-100 SERIES.
17. FOR ELEVATIONS SEE A-200 SERIES.
18. FOR SECTIONS SEE A-300 SERIES.
19. FOR ENLARGED PLANS AND VERTICAL CIRCULATION SEE A-400 SERIES.
20. FOR ROOF WATERPROOFING DETAILS SEE A-500 SERIES.
21. FOR BELOW GRADE WATERPROOFING SEE A-500 SERIES.
22. FOR FIRE TEST LISTINGS SEE A-700 SERIES.
23. FOR CURTAIN WALL DETAILS SEE A-800 SERIES.
24. FOR SCHEDULES SEE A-900 SERIES.

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
Web: www.vdla.co

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CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

GEOTECHNICAL ENGINEER:
Langan Treadwell Rollo
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Oakland, CA 94612
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TRAFFIC ENGINEER:
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4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

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REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

FLOOR PLAN
LEVEL B1

A-106

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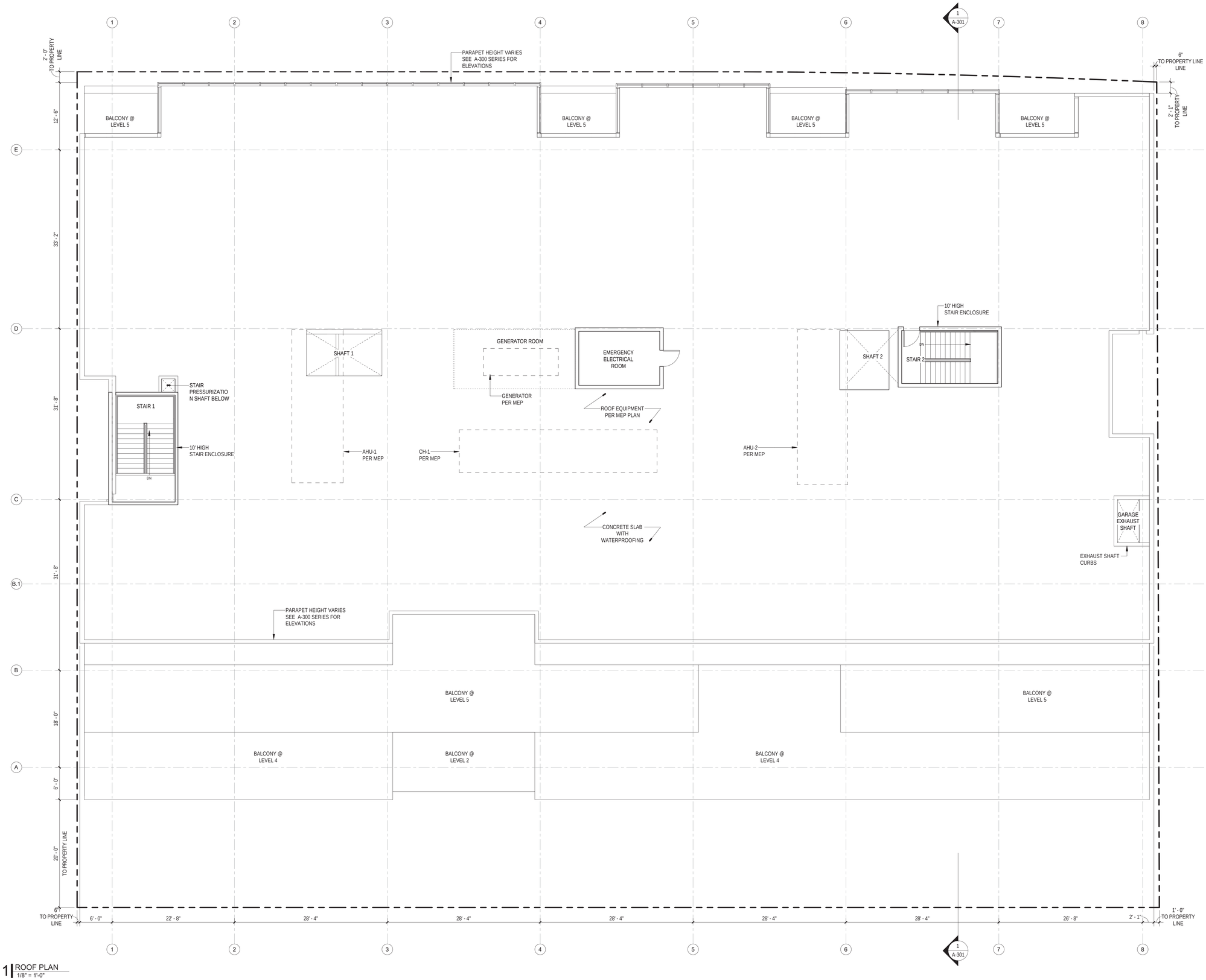

1 ROOF PLAN
1/8" = 1'-0"

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
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CONSULTANTS

CIVIL ENGINEER:
KIER & WRIGHT
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

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Walter P Moore
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San Francisco, CA 94105
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PAE Engineers
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San Francisco, CA 94102
Tel: 415 544 7500

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Oakland, CA 94612
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Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

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REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

ROOF PLAN

A-107

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NORTH-EAST VIEW

EAST VIEW

WEST VIEW

NORTH-WEST VIEW

MAIN ENTRANCE

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Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
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CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

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San Francisco, CA 94105
Tel: 415 963 6306

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48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

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501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

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Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

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Owner Address:	1700 S El Camino Real Suite 100, San Mateo, CA 94402

REVISIONS

PLANNING SUBMISSION 04

Date: 10/15/2019

Project No: 2017.001
Planning Project No: SP18-049

RENDERED VIEWS

A-200

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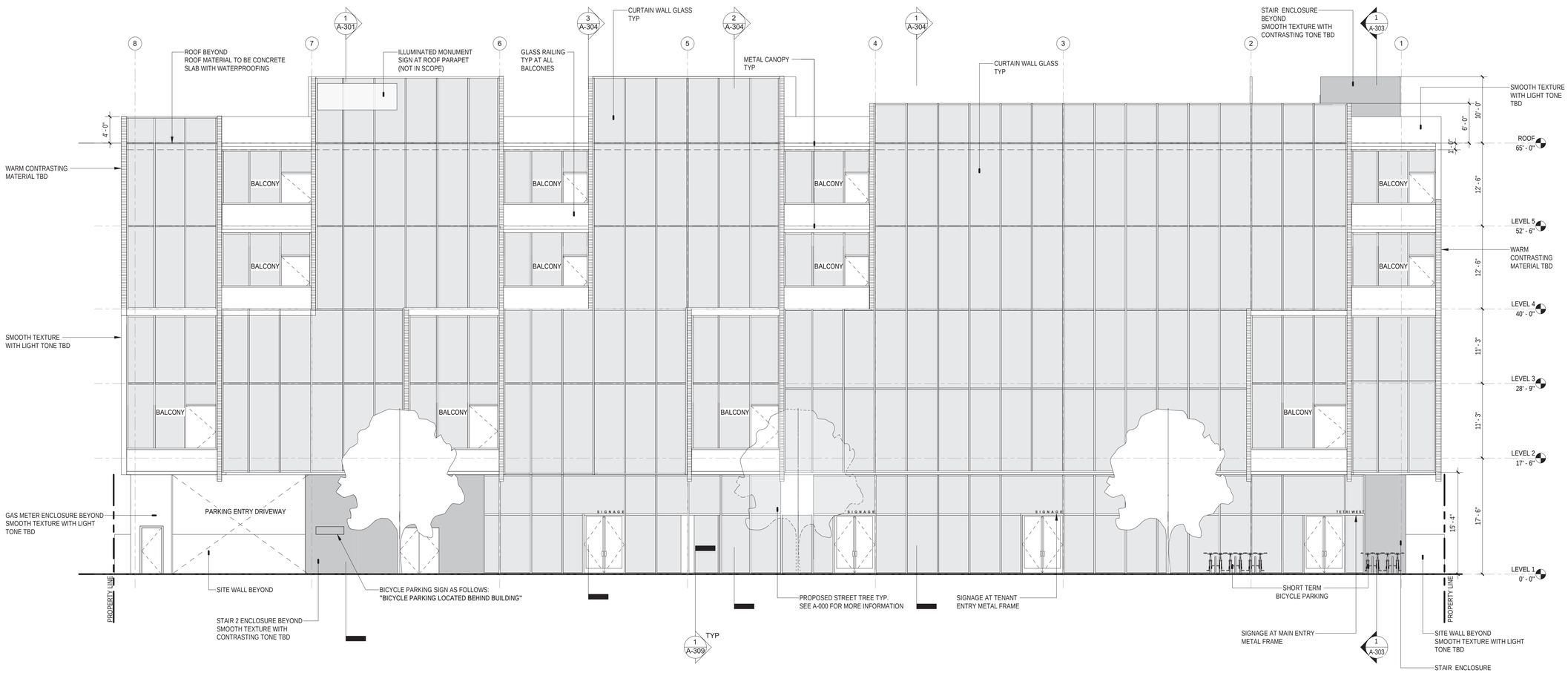

1 EAST ELEVATION
1/8" = 1'-0"

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Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
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CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

GEOTECHNICAL ENGINEER:
Langan Treadwell Rollo
501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

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REVISIONS

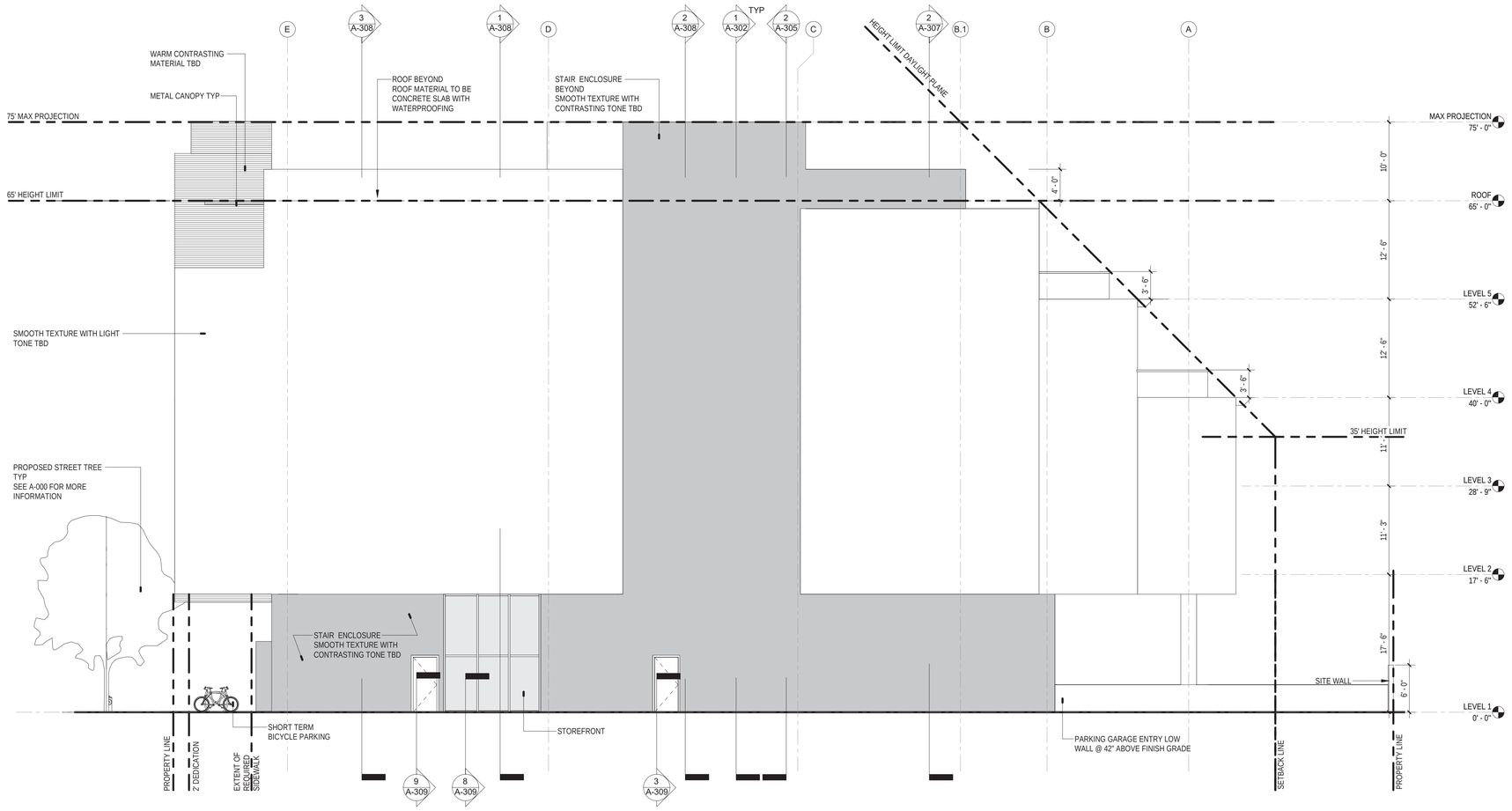
PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

EAST ELEVATION

A-201



1 NORTH ELEVATION
1/8" = 1'-0"

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Fax: +1 213 536 0191
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CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

GEOTECHNICAL ENGINEER:
Langan Treadwell Rollo
501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
Tel: 510 285 6700

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REVISIONS

PLANNING SUBMISSION 03

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Project No: 2017.001
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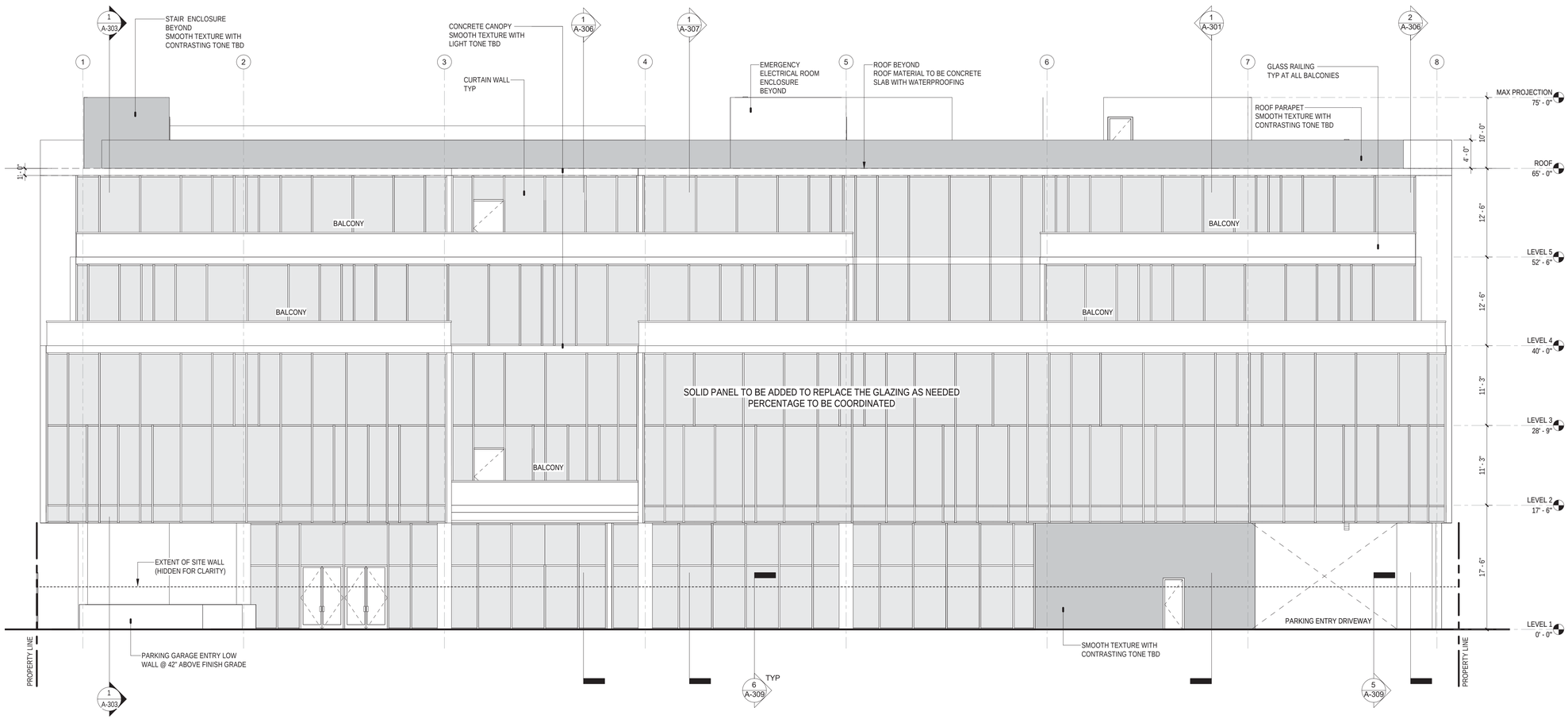
NORTH ELEVATION

A-202



1 WEST ELEVATION
1/8" = 1'-0"

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Los Angeles, CA 90014
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Fax: +1 213 536 0191
Web: www.vdla.co

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CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

GEOTECHNICAL ENGINEER:
Langan Treadwell Rollo
501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
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REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

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WEST ELEVATION

A-203

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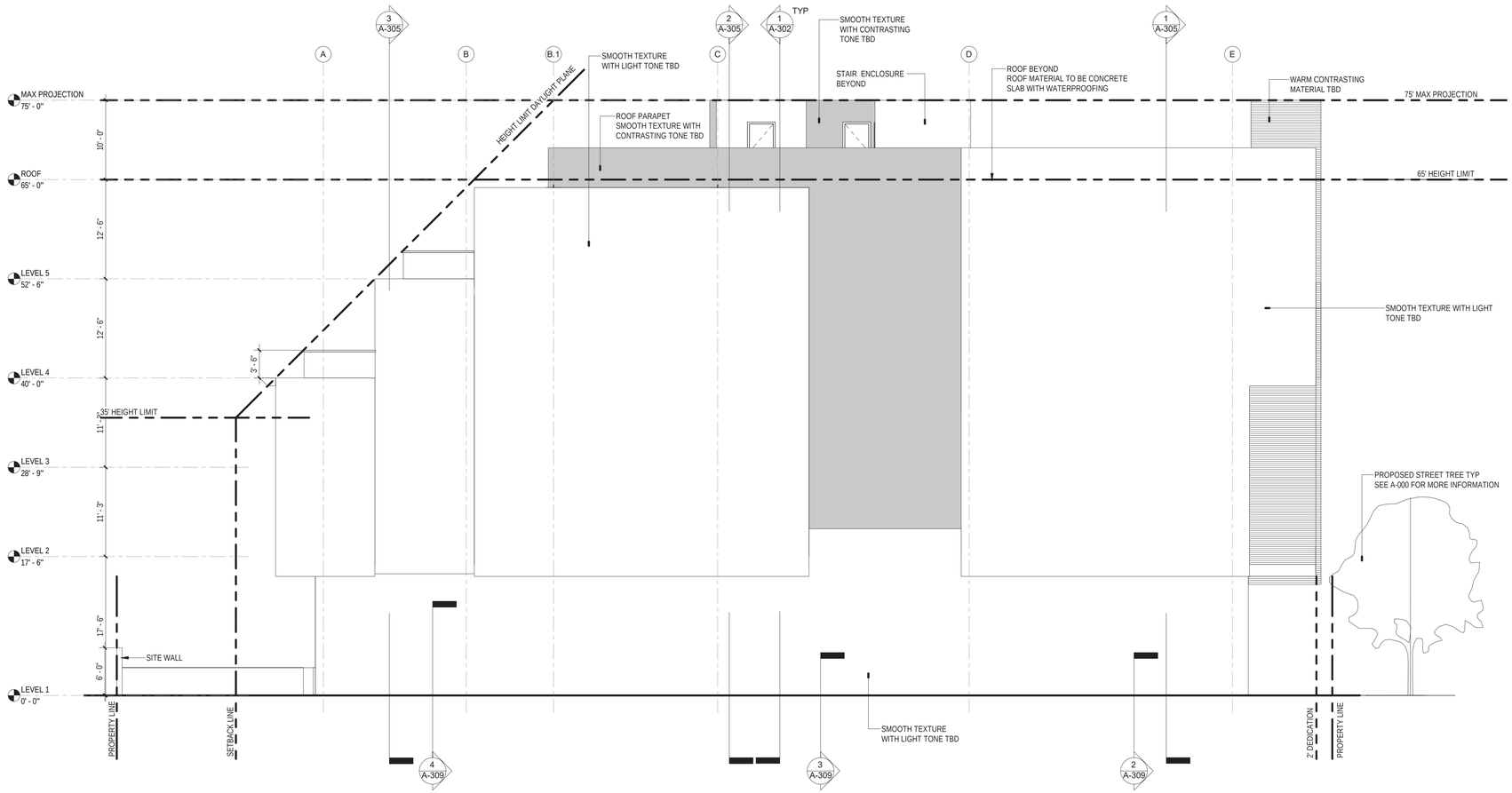

1 SOUTH ELEVATION
1/8" = 1'-0"

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
Web: www.vdla.co

VERSE design

CONSULTANTS

CIVIL ENGINEER:
Kier & Wright
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

MEP AND ENERGY ENGINEER:
PAE Engineers
48 Golden Gate Avenue
San Francisco, CA 94102
Tel: 415 544 7500

GEOTECHNICAL ENGINEER:
Langan Treadwell Rollo
501 14th Street, 3rd Floor
Oakland, CA 94612
Tel: 510 874 7000

TRAFFIC ENGINEER:
Hexagon Transportation Consultants, Inc.
4 North Second Street, Suite 400
San Jose, CA 95113
Tel: 408 971 6100

ENVIRONMENTAL ENGINEER

Circlepoint
200 Webster Street, Suite 200
Oakland, CA 94607
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REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

SOUTH ELEVATION

A-204

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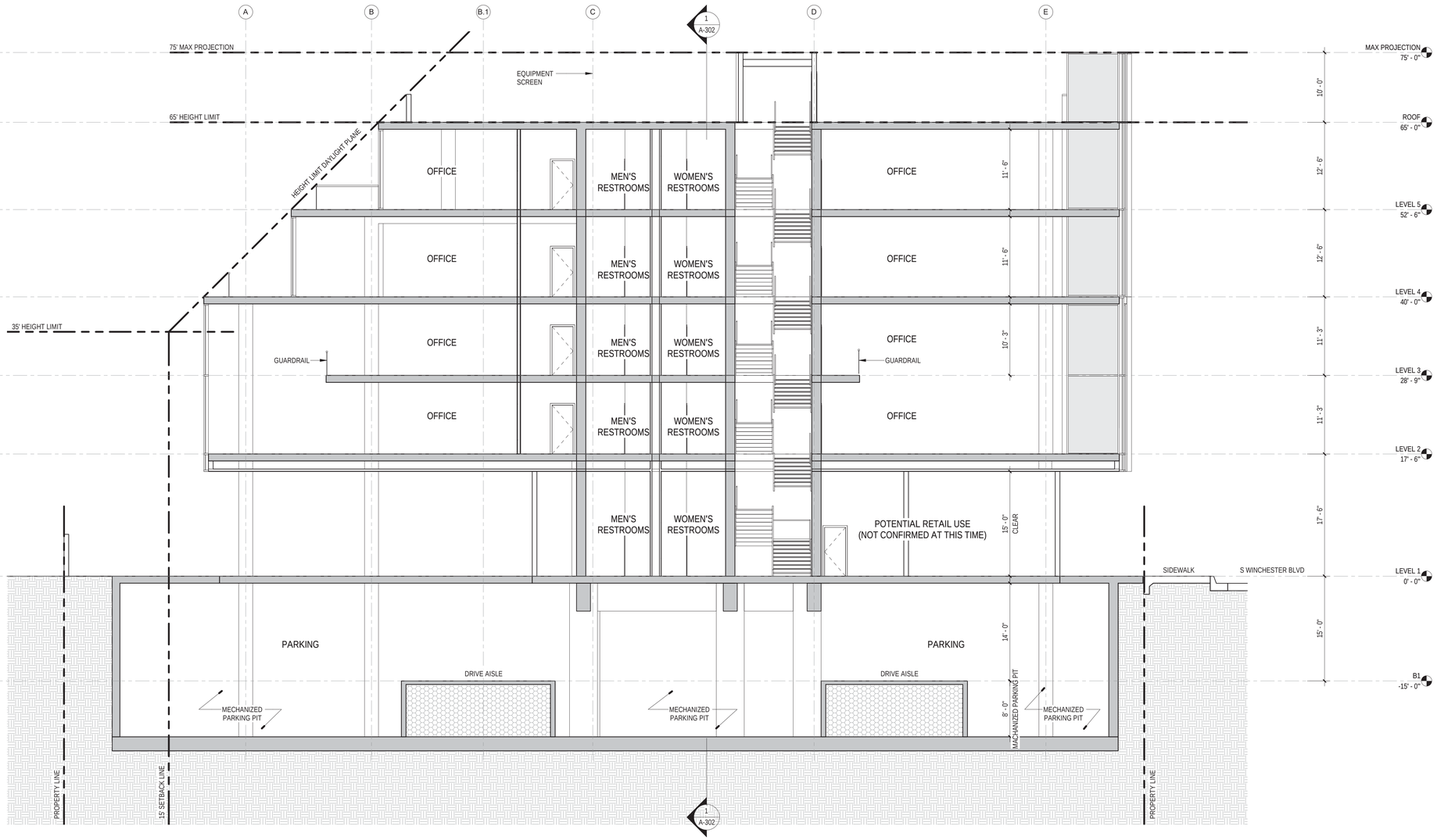

1 BUILDING SECTION A
1/8" = 1'-0"

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Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
Web: www.vdla.co

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CONSULTANTS

CIVIL ENGINEER:
KIER & WRIGHT
3350 Scott Boulevard, Building 22
Santa Clara, CA 95054
Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
595 Market Street Suite 2130
San Francisco, CA 94105
Tel: 415 963 6306

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PAE Engineers
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San Francisco, CA 94102
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REVISIONS

PLANNING SUBMISSION 03

Date: 9/17/2019

Project No: 2017.001
Planning Project No: SP18-049

BUILDING SECTION

A-301

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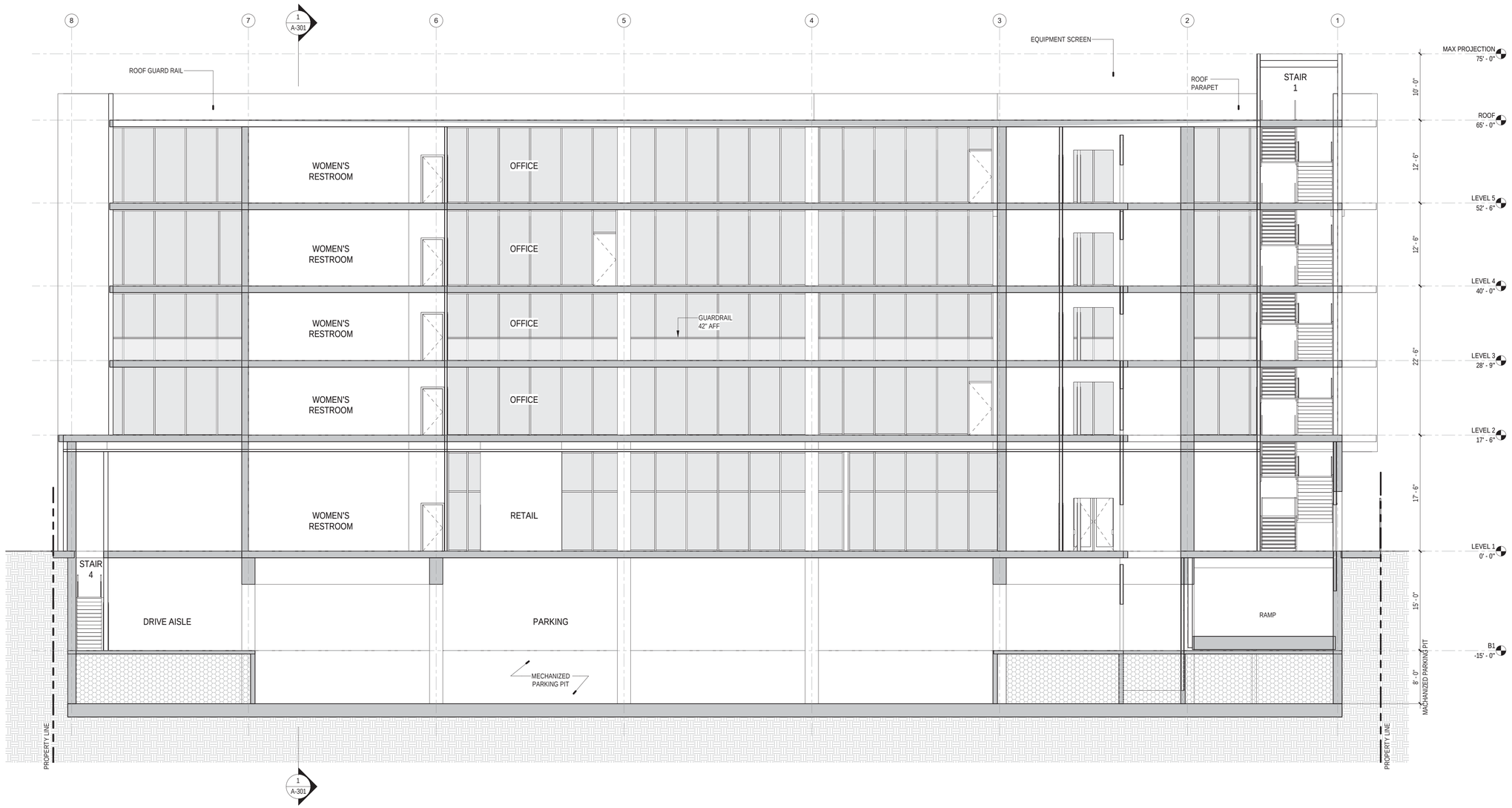

1 BUILDING SECTION B
1/8" = 1'-0"

834 S. Broadway, Suite 1200
Los Angeles, CA 90014
Tel: +1 213 536 0190
Fax: +1 213 536 0191
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CONSULTANTS

CIVIL ENGINEER:
KIER & WRIGHT
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Tel: 408 727 6665

STRUCTURAL ENGINEER:
Walter P Moore
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REVISIONS

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Date: 9/17/2019

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BUILDING SECTION

A-302

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