



## PLANNING COMMISSION STAFF REPORT

|                          |  |
|--------------------------|--|
| <b>File No.</b>          | PDC16-041, PD16-027, PT16-037  |
| <b>Applicant</b>         | Muthana Ibrahim  |
| <b>Location</b>          | Northwest corner of Horning Street and Oakland Road (645 Horning Street)                         |
| <b>Existing Zoning</b>   | LI Light Industrial  |
| <b>Proposed Zoning</b>   | CIC(PD) Planned Development  |
| <b>Council District</b>  | 3  |
| <b>Historic Resource</b> | None   |
| <b>Annexation Date</b>   | January 2, 1942 (Orchard No. 2)  |
| <b>CEQA</b>              | Mitigated Negative Declaration for the 645 Horning Street Gas Station, Food and Storage Project. |

### APPLICATION SUMMARY:

- File No. PDC16-041:** Planned Development Rezoning from the LI Light Industrial Zoning District to the CIC(PD) Planned Development Zoning District to allow a ministorage, retail store, gasoline station with six fuel dispensers and canopy, drive-through carwash, and drive-through restaurant uses on an approximately 3.26-gross acre site.
- File No. PD16-027:** Planned Development Permit to allow the demolition of an existing warehouse and other structures (car repair shop) and allow the construction of a new retail store (3,814 square feet), gasoline station with six fuel dispensers and canopy (3,870 square feet), drive-through carwash (1,086 square feet), a drive-through restaurant (2,494 square feet) with late-night use to 2:00 a.m., and mini-storage buildings (total of 92,116 square feet) on an approximately 3.26-gross acre site.
- File No. PT16-037:** Vesting Tentative Map to subdivide one lot into three lots on an approximately 3.26-gross acre site.

### RECOMMENDATION:

Planning staff recommends that the Planning Commission recommend to the City Council the following actions:

- Adopt a resolution approving the Mitigated Negative Declaration for the 645 Horning Street Gas Station, Food and Storage Project in accordance with the California Environmental Quality Act (CEQA) and associated Mitigation Monitoring and Reporting Plan; and

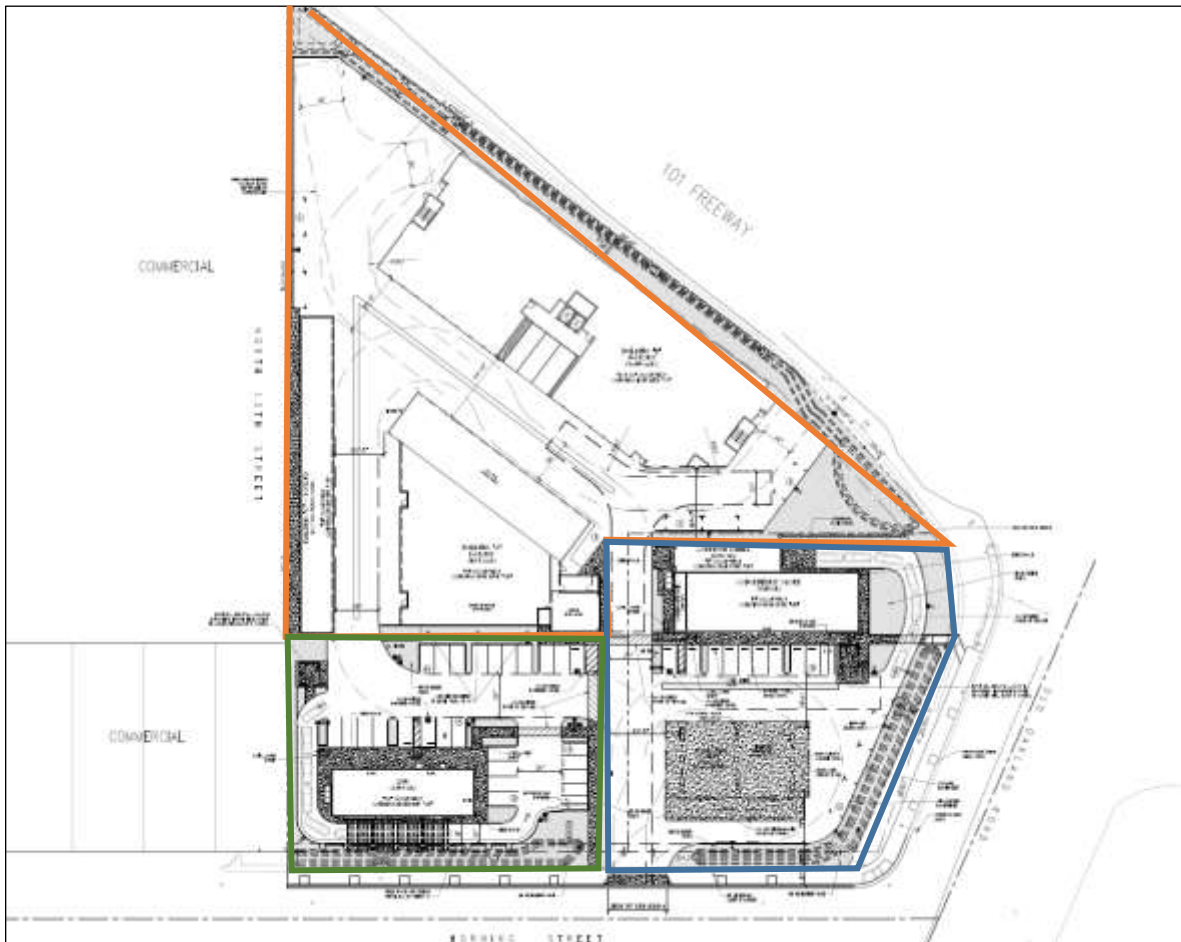
2. Adopt an Ordinance of the City of San José rezoning certain real property located at the Northwest corner of Horning Street and Oakland Road (645 Horning Street) from the LI Light Industrial Zoning District to the CIC(PD) Planned Development Zoning District to allow a ministorage facility, retail store, gasoline service station with six fuel dispensers and canopy, drive-through carwash, and a drive-through restaurant on an approximately 3.26-gross acre site.
3. Adopt a resolution approving the Tentative Map to subdivide one parcel into three parcels on an approximately 3.26-gross acre site.
4. Adopt a resolution approving a Planned Development Permit to allow the demolition of an existing warehouse structure and allow the construction of a new retail store (3,814 square feet), gasoline service station with six fuel dispensers and canopy (3,870 square feet), drive-through carwash (1,086 square feet), a restaurant (2,494 square feet) with drive-through and late-night use to 2:00 a.m., and mini-storage buildings (total of 92,116 square feet) on an approximately 3.26-gross acre site.

## PROJECT DATA

| GENERAL PLAN CONSISTENCY        |                                |  |                                   |
|---------------------------------|--------------------------------|--|-----------------------------------|
| <b>General Plan Designation</b> |                                | <b>Combined Industrial/Commercial</b>  |                                   |
|                                 |                                | <input checked="" type="checkbox"/> <b>Consistent</b> <input type="checkbox"/> <b>Inconsistent</b> |                                   |
| <b>Consistent Policies</b>      |                                | <b>LU-1.2, LU-4.4, LU-5.5, and VN-1.7</b>  |                                   |
| SURROUNDING USES                |                                |  |                                   |
|                                 | <b>General Plan Land Use</b>   | <b>Zoning</b>  | <b>Existing Use</b>               |
| <b>North</b>                    | Freeway                        | Freeway  | Highway 101 (Off-ramp)            |
| <b>South</b>                    | Combined Industrial/Commercial | LI Light Industrial  | Retail                            |
| <b>East</b>                     | Urban Residential              | A(PD) Planned Development (File No. PDC05-014)   | Multi-Family Residence            |
| <b>West</b>                     | Light Industrial               | LI Light Industrial  | Warehouse and light manufacturing |

## PROJECT DESCRIPTION

On August 29, 2016, a Planned Development Rezoning, Planned Development Permit and Tentative Map applications were filed to rezone the subject site from the LI Light Industrial to the CIC(PD) Planned Development Zoning District and to allow the demolition of an existing warehouse and car repair shop and redevelopment of the site with a mix of commercial and industrial uses. The proposed project includes three mini-storage buildings totaling approximately 92,116 square feet, a new gasoline service station with six fuel dispensers and canopy (3,871 square feet), a retail store (3,814 square feet) with an attached drive-through carwash. In addition, the proposed project would include a restaurant (2,494 square feet) with drive-through and late night use until 2:00am at the southwest portion of the site. The project would subdivide the one lot into three lots on the subject 3.26-gross acre site.



**Figure 1: Site Plan, Orange Outline- Mini-storage use, Blue Outline – Gas Station, Convenience Store, Carwash Use, and Green Outline- Drive-Through Restaurant (larger plan set attached to Staff Report)**



**Figure 2: Aerial of Subject Site**

**Site Location and Surrounding uses:**

The subject 3.26-gross acre site is located at the northwest corner of Horning Street and Oakland Road. The site was developed in 1950s with multiple industrial buildings totaling approximately 35,671 square feet, and the buildings are currently used for indoor storage and a car fabrication/repair shop with outdoor storage. The subject site is located at the edge of an existing industrial area: to the west and south is a mix of light manufacturing, storage and retail uses; to the north is the Oakland Road off-ramp from Interstate Highway 101; to the west is Oakland Road, a six-lane-major arterial, and across this street is an existing multi-family residential development.

**ANALYSIS**

This proposed Planned Development Rezoning was analyzed with respect to conformance with the Envision San José 2040 General Plan, Council Policy 6-10: Criteria for the Review of Drive-Through Uses, Council Policy 6-27: Evaluation of 24-Hour Uses, and CEQA.

**Envision San José 2040 General Plan Conformance**

The project has an Envision San José 2040 General Plan Land Use/Transportation Diagram designation of Combined Industrial/Commercial (CIC). This land use designation is intended for a wide variety of commercial, office, industrial developments, or a compatible mix of these uses. The proposed project would result in a mix of uses on the subject site, including mini-storage, gasoline service station, convenience store with attached drive-through carwash, and a restaurant with drive-through and late-night use. The proposed rezoning will allow both industrial and commercial uses to be located on the subject site and provide a buffer between existing residential and industrial uses in the area. The proposed site plan also includes design elements to improve connectivity and safety for both pedestrians and vehicles on the site.



|  |                                     |   |                       |
|--|-------------------------------------|---|-----------------------|
| LI: Light Industrial                   | CIC: Combined Industrial/Commercial | RN: Residential Neighborhood            | UR: Urban Residential |
| NCC: Neighborhood Community/Commercial | HI: Heavy Industrial                | OSPH: Open Space, Parkland, and Habitat |                       |

*Figure 3: General Plan Map of Project Site and Surroundings*



In addition to conforming to the General Plan Land Use/Transportation Diagram, the project conforms to the following General Plan policies as discussed below:

1. Land Use Policy LU-1.2: Encourage Walking. Create safe, attractive, and accessible pedestrian connections between developments and to adjacent public streets to minimize vehicular miles traveled.

*Analysis: Although the proposed project includes auto-oriented uses, such as two drive-throughs (restaurant and carwash), the proposed public improvements include a financial contribution towards a future pedestrian crosswalk at Oakland Road and Boardwalk Way. This would enhance pedestrian access on a long street corridor with limited crosswalks and connect nearby residential neighborhoods with commercial uses on the west side of Oakland Road.*

2. Land Use Policy LU-4.4: Allow limited industrial uses in commercially designated areas if such uses are of a scale, design, or intensity that creates less than significant negative impacts to surrounding uses.

*Analysis: The proposed project includes both commercial (gasoline service station and carwash, retail, restaurant) and light industrial (mini-storage) uses on the site. The site is adjacent to a freeway off-ramp, access and circulation are limited, and aesthetic improvements are challenging. The proposed mini-storage would occupy the least accessible portion of the subject site and complement the existing commercial/industrial uses on adjacent properties. Overall, the proposed project would create a buffer and appropriate transition between the freeway and industrial uses and existing residential neighborhoods in the area.*

3. Land Use Policy LU-5.5: Encourage pedestrian and vehicular connections between adjacent commercial properties with reciprocal-access easements to encourage safe, convenient, and direct pedestrian access and “one-stop” shopping. Encourage and facilitate shared parking arrangements through parking easements and cross-access between commercial properties to minimize parking areas and curb-cuts.

*Analysis: The proposed project includes a mix of commercial and industrial uses on one site. The proposed tentative map show reciprocal rights of ingress, egress, and parking between all proposed uses and parcels. A covenant of easement shall be conditioned in the Planned Development Permit to record the easements, prior to the issuance of a final map. With shared access and parking easements, the project would require only one standard curb-cut and driveway from Horning Street.*

4. Vibrant Neighborhood Policy VN-1.7: Use new development within neighborhoods to enhance the public realm, provide for direct and convenient pedestrian access, and visually connect to the surrounding neighborhood. As opportunities arise, improve existing development to meet these objectives as well.

*Analysis: The existing street frontages along Horning Street and Oakland Road have limited sidewalks and vegetation. The proposed development would include new sidewalks with enhanced landscaping, trees, and pedestrian access to proposed commercial uses. In addition to new sidewalks, the project would provide a financial contribution for a new pedestrian crosswalk on Oakland Road and Boardwalk Way that would provide residents in the existing residential neighborhoods with a safer and more direct pedestrian connection to the new commercial uses.*

## Conformance with-City Council Policy 6-10: Criteria for the Review of Drive-Through Uses

The proposed project includes two different drive-through uses on the subject site: a drive-through carwash associated with the retail store and gasoline station, and a second drive-through in conjunction with a proposed restaurant use. The project would conform to the following applicable drive-through policy criteria:

- a. No drive-through use shall be approved with ingress or egress driveways within 300 feet of a signalized intersection operating at a Level of Service D, E, or F unless a traffic analysis demonstrates, to the satisfaction of the Director of Public Works, that vehicles entering or leaving said use will not impair the efficiency or operation of the intersection.

*Analysis: The ingress and egress of the driveway is more than 300 feet vehicle path of travel from a signalized intersection.*

- b. The drive-through stacking lane shall be situated so that any overflow from the stacking lane shall not spill out onto public streets or major aisles of any parking lot. Overflow capacity shall be 50 percent of required stacking for overflow restricted to the parking lot and 100 percent of required stacking if the overflow is directed to the street.

*Analysis: The site plan demonstrates sufficient space to meet the requirements for eight cars to stack at the restaurant use and five cars to stack at the carwash use. Any potential overflow would not spill into the public right-of-way or major aisles of the parking lot.*

- c. No pedestrian crossing of the drive-through lane shall be allowed.

*Proposed pedestrian crossings do not conflict with drive-through lanes.*

- d. Drive-through speakers shall not be audible from adjacent residentially used, zoned, or General Planned properties. Drive-through speakers shall not be used when the drive-through lane abuts residentially used, zoned, or General Planned Property. Use of sound attenuation walls and landscaping shall be encouraged.

*Analysis: The project is not adjacent to a residential use, zoned or General Planned property. The project is proposing a significant amount of trees and landscaping along Horning Street and indoor seating for the proposed restaurant use to encourage pedestrian means of travel and use. The site is adjacent to other light industrial and commercial uses, a freeway off-ramp, and a major arterial street. Noise analysis was conducted as part of the review of the project and the noise report concluded that, based on existing noise in the vicinity of the project site, the project-generated average day-night noise levels will likely be at or below ambient noise levels in the majority of the project area. Therefore, the project is consistent with the intent of the Council policy to limit new potential noise impacts from the proposed project, and would not result in adverse impacts to any sensitive receptors or residential uses in the vicinity.*

- e. The drive-through stacking lane shall be separated physically from the user's parking lot and shall have a capacity of eight spaces for restaurants and five for self-service carwashes.

*Analysis: A minimum 500-foot separation is typically required between structures that include drive-through facilities. The proposed buildings for the carwash and restaurant are approximately 150 feet apart. However, the policy provides an exception for self-service carwash facilities that are in conjunction with a gasoline service station if it conforms to all the traffic criteria. As stated above, the project conforms to all traffic criteria with sufficient car stacking area, distance from signalized intersection, and no*

*pedestrian crossing in the drive-through lane. The circulation path and distance of the stacking area is sufficient separated to minimize circulation conflict between the two drive-through uses.*

The project is not consistent with the following criteria but meets the intent of the drive-through policy or has incorporated design elements to limit the potential conflicts or impacts.

- a. Primary ingress and egress to drive-through type use parking lots should be from at least a four-lane major street.

*Analysis: Primary ingress and egress to the subject site is provided from Horning Street, which is not a four-lane major street. The site is situated adjacent to Oakland Road, a major arterial street, but direct access is precluded by the design of the Highway 101 off-ramp. The subject site has sufficient space for internal circulation and queuing to limit potential impacts to the two-lane Horning Street.*

- b. Drive-through uses shall be located 200 feet or more from immediately adjacent or directly opposite residentially used, zoned, or General Planned properties.

*Analysis: The queueing area for the proposed drive-through carwash is approximately 130 feet from the property boundary of a residential use. However, in the noise study, it states that that most noise will be generated at the entrances and exit to the carwash tunnel because of the blowers and equipment use, and the openings for those tunnels are located more than 200 feet from the nearest residential property line. The noise study concluded that the given the existing noise levels in the vicinity of the project site, any project-generated average day-night noise levels to be at or below ambient noise levels in the majority of the project study area. Therefore, the project would meet the intent of providing adequate separation between the carwash and residential uses and limiting potential noise impacts to sensitive receptors.*

Therefore, the proposed project conforms substantially to the criteria of Council Policy 6-10 and meets the intent of the Policy by minimizing impacts to traffic and residential uses with appropriate site design.

### **Conformance with City Council Policy 6-27: Evaluation of 24-Hour Uses**

Any use operating after midnight and before 6:00 a.m. must conform to the criteria provided in Council Policy 6-27. The applicant is requesting extended hours of operation to 2:00 a.m. for the proposed drive-through restaurant use. The intent of the policy is to minimize potential impacts associated with late-night uses, including proximity to residential use, littering, loitering, noise, etc. The project conforms to the following Council Policy 6-10 applicable criteria:

- a. Area Use Compatibility: Twenty-four-hour uses should not be approved unless the facility can operate without detriment to nearby residential uses or the general welfare of the surrounding area.

*Analysis: The proposed use is a new restaurant within a larger mixed-use development that will include both commercial and industrial uses. As the site is separated from residential use by an arterial street and is adjacent to nearby commercial and industrial use and would redevelop an existing commercial site, the proposed use is compatible with the surrounding area.*

- b. Use Separation: Physical separation of incompatible uses is the best means to avoid potential problems. Generally, 24-hour uses should not be located within 300 feet (measured from the building entrance and "Designated Parking Area" and/or "Outdoor

Use Area" to the residential property line) from any property residentially zoned, planned, or used.

*Analysis: The proposed restaurant would be more than 300 feet from the nearest residential property line.*

- c. Outdoor Activities. Outdoor activities may be limited for 24-hour operations except in the Downtown Core Area.

*Analysis: There is no proposed outdoor activities.*

- d. Police Issues. Crime statistics and police safety issues which are directly related to uses operating between 12:00 midnight and 6:00 a.m. will be analyzed and considered in determining the appropriateness of 24-hour uses.

*Analysis: The site is not located in an area that the San José Police Department has labeled as high crime area (more than 20% of the city crime report average). The Planned Development Permit includes conditions to require that the project not create a nuisance and provide proper maintenance of the site. The site would replace an existing industrial/commercial space that is had limited lighting and activation with a new multi-tenant development with new lighting and improved pedestrian activation.*

- e. Noise. Use of sound attenuation walls and landscaping may be required at property lines in order to minimize noise emanating from the site. Special attention should be paid to the possibility of noise at late night hours such as car stereos, cars starting and conversations which may not be quantifiable, but can reasonably be expected to occur.

*Analysis: The proposed late night use for the drive-through restaurant is located more 300 feet from the closest residential use. The noise report stated at 20 feet the maximum dBA is 58 and with the separation of the propose use and Oakland Road, the restaurant is not anticipated to generate a noticeable amount of noise from the late night use.*

Given the location of the proposed drive-through and the provision of permit conditions to limit nuisances and require proper maintenance of the site, the project conforms to-Council Policy 6-27 for late-night uses.

### **Zoning Code Conformance**

The site is currently in the LI Light Industrial Zoning District with a Combined Industrial / Commercial General Plan land use designation. The CIC(PD) Planned Development Zoning District would facilitate a development with both commercial and industrial uses on the subject site. A conventional CIC Combined Industrial/Commercial Zoning District would not permit a mini-storage use. Given that the subject site is adjacent to existing light industrial uses and south of an existing freeway off-ramp, the types of uses that could utilize the northern portion of the site are limited. Therefore, a Planned Development Zoning District that allows a mini-storage use together with additional commercial uses to serve travelers as well as nearby residential neighborhoods is a good use of the subject site. The proposed PD rezoning would allow a complementary mix of CIC Combined Industrial-Commercial, LI Light Industrial, and CG Commercial General uses on the site and enable full utilization of the site despite significant access constraints. The project is required to have a 15-foot front setback and rear and side setback of five feet. The project is has a 15 foot-front setback, a 10-foot side setback, and 15-foot rear setback. The maximum allowed height is 60 feet and the project has a maximum height of approximately 42 feet. The combined uses require 56 vehicle parking spaces and the project provides 56 vehicles spaces.



## Planned Development Permit Findings

Chapter 20.100 of the San Jose Municipal Code establishes evaluation criteria for the issuance of a Planned Development Permit. These criteria are applied to the project based on the above-stated findings related to General Plan, Zoning and CEQA conformance and for the reasons stated below, and subject to the conditions set forth in the proposed permit. In order to make the Planned Development Permit findings pursuant to Section 20.100.720 of the San Jose Municipal Code and recommend approval to the City Council, Planning Commission must determine that:

1. The Planned Development Permit, as issued, is consistent with and furthers the policies of the General Plan;

*Analysis: As described above, the project is consistent with and furthers the policies of the General Plan in regards land use, pedestrian access and promoting a complimentary mix of commercial and industrial uses.*

2. The Planned Development Permit, as issued, conforms in all respects to the Planned Development Zoning of the property;

*Analysis: The Planned Development Permit conforms in all respects to the proposed CIC(PD) Planned Development Zoning of the property, as the propose uses are allowed, conform to the required 15-foot setback from Horning and 5-foot setback from the rear and side, and is below the maximum 60-foot height.*

3. The Planned Development Permit, as approved, is consistent with applicable City Council policies, or counterbalancing considerations justify the inconsistency;

*Analysis: As discussed above, the project is consistent with City Council Policy 6-10 in that the proposed project conforms to the intent of the drive-through policy to limit potential impacts from the proposed drive-through use on traffic circulation and adjacent uses. The project also conforms to the intent of Council Policy 6-27 for the evaluation of 24-hour uses in that operation of the proposed drive-through restaurant will be limited to 2:00 a.m. and the carwash would be limited to no later than 10:00 p.m., and the Planned Development Permit includes conditions to maintain adequate lighting and security at the subject site and otherwise limit the impact of the proposed use on nearby development.*

*As discussed below, the project is also in conformance with City Council Policy 6-30 Public Outreach. Staff received confirmation that the on-site sign was posted at the subject property in accordance with the City Council Policy 6-30. On July 25, 2017 a community meeting was held and approximately 12 members attended the meeting. Members of the public were able to review the projects and express their concerns about traffic, nuisance abatement, and the desire for a larger retail use. Staff and the applicant explained how access issues and other site constraints severely limit potential retail options. Staff and the applicant also explained how the proposed site plan had been designed to minimize traffic impacts in the area and address security and nuisance concerns.*

4. The interrelationship between the orientation, location, mass and scale of building volumes, and elevations of proposed buildings, structures and other uses on-site are appropriate, compatible and aesthetically harmonious;

*Analysis: Given the location of the proposed development, the proposed project creates a buffer between the industrial and freeway uses to the west and south and existing residential neighborhoods to the north and east. The orientation and location of buildings on the site and the complementary height, massing and scale of buildings within the proposed development is intended to help activate Horning Street and limit potential impacts on Oakland Road. Additionally, the proposed landscaping along the street frontages and within*

*the site as well as the trellis for the restaurant drive-through would provide some natural amenities within the existing industrial environment. The proposed buildings feature a variety of materials and colors that enhance the architectural design and provide visual interest. Therefore, the proposed project is compatible and aesthetically harmonious with surrounding development.*

5. The environmental impacts of the project, including, but not limited to aesthetics, air quality, noise, and transportation/traffic, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative effect on adjacent property or properties.

*Analysis: An Initial Study and Mitigated Negative Declaration was prepared for the project in compliance with the California Environmental Quality Act (CEQA) and the CEQA Guidelines. The proposed project impacts are discussed below. Based on a thorough review of the proposed project by all appropriate City departments, there are no non-CEQA related impacts anticipated for this project. The project is adjacent to non-sensitive uses (freeway off-ramp and light industrial/commercial uses). The site has been designed to allow all drive-through queueing on site and thus avoid traffic impacts on adjacent streets. A noise report analyzed the existing ambient noise and the noise generated by the project and given the separation and ambient noise, the project's noise would have a limited impact to nearby residential uses. The final design of the project includes the use of a proto-vest windshear II Dryer, a project condition has been included in the Planned Development Permit to ensure compliance with the zoning code noise requirement. The primary environmental issues that required mitigation measures are air quality, biological resources, and hazards and hazardous materials resource areas. The IS/MND includes mitigation measures that would reduce any potentially significant project impacts to a less-than-significant level.*

6. Pursuant to Section 20.80.460 of the San José Municipal Code the following criteria have been considered by the Director of Planning to determine whether the benefits of permitting the demolition of the existing building outweighs the impacts of demolition:
  - a. The failure to approve the permit would result in the creation or continued existence of a nuisance, blight or dangerous condition;
  - b. The failure to approve the permit would jeopardize public health, safety or welfare;
  - c. The approval of the permit should facilitate a project which is compatible with the surrounding neighborhood.
  - d. The approval of the permit should maintain the supply of existing housing stock in the City of San José;
  - e. Both inventoried and non-inventoried buildings, sites and districts of historical significance should be preserved to the maximum extent feasible;
  - f. Rehabilitation or reuse of the existing building would not be feasible; and
  - g. The demolition, removal or relocation of the building without an approved replacement building should not have an adverse impact on the surrounding neighborhood.

*Analysis: The proposed project will require the demolition of an existing warehouse building and other structures (car repair shop) on the subject site. Subsequent redevelopment will include the construction of new buildings and creation of a new access driveways from Horning Street and a new internal circulation pattern. The subject site will be completely redeveloped with a mix of new ministorage and commercial uses that furthers several General Plan Policies related to economic development and redevelopment of*

*existing sites. These positive changes outweigh the impact of the demolition of the existing structures.*

### **Tentative Map Findings**

In accordance with San José Municipal Code (SJMC) section 19.12.130, the City Council may approve the tentative map if the City Council cannot make any of the findings for denial in Government Code Section 66474 and the City Council has reviewed and considered the information relating to compliance of the project with the California Environmental Quality Act and determines the environmental review to be adequate. Additionally, the City Council may approve the project if the City Council does not make any of the findings for denial in San José Municipal Code Section 19.12.220.

1. The City Council finds that the proposed subdivision shown on the Vesting Tentative Map, subject to the conditions listed below and the requirements for project design and improvements is consistent with applicable General and Specific Plans of the City of San José, in that:

*Analysis: As discussed in detail above, the proposed project is consistent with the General Plan*

2. The City Council has considered the proposed subdivision shown on the Vesting Tentative Map, with the imposed conditions, to determine whether to make any of the findings set forth in subsections of Section 66474 of the Government Code of the State of California which states “A legislative body of a city or county shall deny approval of a tentative map, or a parcel map for which a tentative map was not required, if it makes any of the following findings:”
  - a. That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.
  - b. That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
  - c. That the site is not physically suitable for the type of development.
  - d. That the site is not physically suitable for the proposed density of development.
  - e. That the design of the subdivision or the proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
  - f. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
  - g. That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.

*Analysis: Based on review of the proposed subdivision, the City Council cannot not*

*make any such findings to deny the subject subdivision in that: 1) the proposed map/project is consistent with the General Plan as noted above; 2) the proposed design of the lots are consistent with the General Plan in that the lots are of adequate size to support developments; 3) the proposed site is physically suitable for the proposed development, additionally as three parcels that are being created are dependent upon each other for parking and access purposes a Covenants of Easement would be recorded against the property memorializing these easements and will require all parties to maintain these easements; 4) the proposed density is suitable for the proposed site based on the FAR allowance of the General Plan; 5) the proposed subdivision in this urban setting will not cause any environmental damage or substantially injure fish or other wildlife habitat; 6) the subdivision lots will not cause any public health issues; 7) the proposed subdivision will not conflict with any public easements, as the project is providing all necessary public easements, all explained in detail above and in the administrative record. Based on that review, the City Council does not make any such denial findings for the subject subdivision.*

### **CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)**

An Initial Study (IS) and Mitigated Negative Declaration (MND) were prepared by the Planning, Building and Code Enforcement for the subject Planned Development Rezoning, Planned Development Permit, and Tentative Map. The environmental review evaluated a rezoning from the LI Light Industrial Zoning District to the CIC(PD) Zoning District and Tentative Map to demolish size existing buildings, and remove all associated pavement, landscaping, and fencing; and to construct a mix of new commercial buildings including an approximately 3,814-square foot convenience store, six fueling stations (12 total fuel dispensers), an approximately 1,341-square foot automatic carwash, and approximately 2,494-square foot fast-food restaurant with a drive-through, and self-storage facility with three buildings totaling approximately 92,116 square feet on an approximate 3.26 gross acre site located along the at 645 Horning Street. The documents were circulated for public comments between August 24, 2017 to September 14, 2017 and three formal comments letters and/or emails were received from the public. Some of the concerns that were highlighted in the comment letters include: traffic, pedestrian accommodations, compatibility to the existing neighborhood, and overconcentration of the proposed uses. Environmental comments have been addressed by staff in a formal Responses to Comments document.

As stated in the IS/MND and associated noise report (appendix G of the IS/MND), the existing ambient noise (based on long-term noise monitoring) ranges from 71 to 74 dBA day-night noise level (DNL). Noise experienced at the short-term monitoring locations ST-01 through ST-03 was also predominately due to vehicular traffic on the local roadway network. Overall noise levels measured at the short-term environmental noise monitoring locations ranged from approximately 64 to 74 dBA Leq. The main noise generator in this site are roadway traffic noise and operations of the existing industrial uses. Based on the analysis presented, the project would add into this noise level. However, the project-related effects on the baseline ambient noise environment were calculated to result in a change of less than 1 dBA to approximately 2 dBA. In addition, while the project site is not immediate adjacent to any sensitive receptors, noise measure were also considered for these properties located across Oakland and Horning roadways. The project related effects on the baseline ambient noise environment at noise sensitive residential receptors were calculated to result in a change of less than 1 dBA. Therefore, the increase would be less than 3 or 5 dBA DNL and would not conflict with EC-1.2 and would result in a less-than-significant impact under CEQA.



The primary environmental issues that required mitigation measures are air quality, biological resources, and hazards and hazardous materials resource areas. The IS/MND includes mitigation measures that would reduce any potentially significant project impacts to a less-than-significant level. In addition to the mitigation measures, other permit conditions in regards to lighting requirements, nuisance, and maintenance of the site are included in the Planned Development Permit as conditions of approval to ensure all potential impacts have been addressed.

The entire IS/MND, Responses to Comments, and other related environmental documents are available on the Planning web site at: <http://sanjoseca.gov/index.aspx?NID=5675>.

## PUBLIC OUTREACH

A community meeting was held on July 25, 2017 and approximately 12 members of the public attended. There were comments about a desire for a larger commercial retailer, concern about neglect and increased loitering on the site and potential traffic impact. As discussed above, the site is limited in the type of commercial uses given the adjacency to an off-ramp and light industrial uses. The project would be providing better pedestrian access and activation to further improve the usage and surveillance of the site. The traffic analysis and design of the site is anticipated to utilize existing through-traffic during commute hours and the location of the driveway and site design would minimize the impact to the street network.

Staff informed the public of the proposed project in accordance with Council Policy 6-30. A notice of the public hearing was distributed to the owners and tenants of all properties located within 1,000 feet of the project site and posted on the City website. The staff report was also posted on the City's website prior to the hearing. Staff has been available to respond to questions from the public.

**Project Manager:** Tong (John) Tu

**Approved by:** 

Planning Official for Rosalynn Hughey,  
Acting Director of Planning, Building and Code Enforcement

**Date:** 4/4/18

### Attachments:

- A. Draft Development Standards
- B. Draft Planned Development Rezoning Ordinance
- C. Draft Planned Development Resolution
- D. Draft Tentative Map Resolution
- E. Draft Mitigation Monitoring Report Program
- F. Draft CEQA Resolution
- G. Reduced Plan Sets
- H. Public Correspondence

|   |  |
|---|--|
| <b>Owner:</b><br>Jim Rubnitz<br>17610 Blanchard Drive<br>Monte Sereno, CA 95030 | <b>Applicant:</b><br>Muthana Ibrahim<br>2221 Olympic Blvd, Suite 100<br>Walnut Creek, CA 94595 |
|---|--|

**General Development Standards\***  
**File No. PDC16-041 (Revised March 26, 2018)**  
**CIC(PD) Planned Development Zoning District**

*\*In any cases where the graphic plans and text may differ, this text takes precedence*

**ALLOWED USES**

---

- Permitted, Conditional, and Special Uses of the CIC Combined Industrial/Commercial, LI Light Industrial, and CG Commercial General Zoning Districts of Title 20 of the San José Municipal Code, as may be amended in the future. Conditional and Special Uses as identified in the CIC, LI, and CG Zoning District shall be subject to approval of a Planned Development Permit or Amendment by the City of San José Planning Director.

**DEVELOPMENT STANDARDS**

---

SETBACKS

Buildings shall meet the following minimum setback requirements:

| <b>Setback Line</b>             | <b>Setback Distance in feet</b> |
|---------------------------------|---------------------------------|
| Building to the front (Horning) | 15                              |
| Building to rear & side         | 5                               |

PARCEL SIZE

- 30,000 square feet minimum lot size

HEIGHT

- Maximum height of 60 feet and additional 10 feet for architectural projection

PARKING

- Parking spaces shall be provided per Title 20 of the San José Municipal Code, Section 20.90, as may be amended.
- Bicycle Parking shall be provided per Title 20 of the San José Municipal Code, Section 20.90, as may be amended.

PERFORMANCE STANDARDS

- Performance standards shall be per Section 20.40.600 & 20.50.300 of the San José Municipal Code, as may be amended.

ENVIRONMENTAL MITIGATION

- Implement the mitigation measures identified in the Initial Study (IS) and Mitigated Negative Declaration (MND) for the 645 Horning Street Gas Station, Food and Storage Project (File No. PDC16-041) and Mitigation Monitoring and Reporting Program, as may be amended.

- The following specific mitigation measures or equivalent mitigation measures to the satisfaction of the director of the Director of Planning, shall be included in development and uses on-site to reduce potentially significant effects to a less than significant level:

## 1. AIR QUALITY

1.1. **MM AIR-1.1:** The project shall ensure construction equipment be selected to minimize emissions to achieve a minimum fleet-wide average 77 percent reduction in particulate matter (PM<sub>2.5</sub>) exhaust emissions, compared to uncontrolled aggregate statewide emission rates for similar equipment. Such equipment selection shall include, but is not limited to, the following requirements:

- Mobile diesel-powered off-road equipment larger than 25 horsepower and operating on the site for more than two days continuously (or 20 hours in total) shall meet, at a minimum, one of the following:
  - Engines meeting United States EPA particulate matter emissions standards for Tier 4 engines or equivalent;
  - Tier 2 Engines equipped with CARB-certified Level 3 Diesel Particulate Filters;
  - Use of alternatively-fueled equipment (i.e., non-diesel) would meet this requirement; or
  - Other measures may be the use of added exhaust devices, or a combination of measures, provided that these measures are demonstrated to reduce community risk impacts to less than significant.

1.2. The project applicant shall prepare a construction operations plan that includes specifications of the equipment to be used during construction. The plan shall be submitted to the Supervising Environmental Planner of the City of San José Department of Planning, Building, and Code Enforcement prior to the issuance of any grading permit. The plan shall be accompanied by a letter signed by a qualified air quality specialist, verifying that the equipment included in the plan meets the standards set forth in this mitigation measure.

## 2. BIOLOGICAL RESOURCES

2.1. **MM BIO-1:** The project applicant shall schedule demolition and construction activities to avoid the nesting season. The nesting season for most birds, including most raptors in the San Francisco Bay area extends from February 1st through August 31st.

2.2. If it is not possible to schedule demolition and construction between September 1st and January 31st to avoid the nesting season, pre-construction surveys for nesting raptors and other migratory nesting birds shall be conducted by a qualified ornithologist to identify active nests that may be disturbed during project implementation on-site and within 250 feet of the site. Projects that commence demolition and/or construction activities between February 1st and April 30th, shall conduct a pre-construction survey for nesting birds no more than 14 days prior to initiation of construction, demolition activities, or tree removal. Between May 1st and August 31st, the pre-construction survey shall be conducted no more than 30 days prior to initiation of construction, demolition, or tree removal activities.

- 2.3. If an active nest is found in or close enough to the project area to be disturbed by construction activities, a qualified ornithologist, in consultation with the California Department of Fish and Wildlife, shall determine the extent of a construction-free buffer zone (typically 250 feet for raptors and 100 feet for other birds) around the nest, to ensure that raptor or migratory bird nests would not be disturbed during ground disturbing activities. The construction-free buffer zones shall be maintained until after the nesting season has ended and/or the ornithologist has determined that the nest is no longer active.
- 2.4. The ornithologist shall submit a report indicating the results of the survey and any designated buffer zones to the satisfaction of the Supervising Environmental Planner of the City of San José Department of Planning, Building and Code Enforcement prior to any grading, demolition, and/or building permit.

### 3. **HAZARDS AND HAZARDOUS MATERIALS.**

- 3.1. **MM HAZ-1:** Prior to the issuance of a demolition or grading permit, a Site Management Plan (SMP) shall be prepared by a qualified hazardous materials consultant to establish management practices for handling contaminated soil or other materials encountered during construction activities. Appropriate soil testing, characterization, storage, transportation, and disposal procedures shall be specified in the SMP. The sampling results shall be compared to appropriate risk-based screening levels in the SMP. The SMP shall identify potential health, safety, and environmental exposure considerations associated with redevelopment activities and shall identify appropriate mitigation measures.
- 3.2. The SMP shall be submitted to the Santa Clara County Department of Environmental Health (or equivalent agency) for review and approval. A copy of the approved SMP shall be submitted to the Supervising Environmental Planner of the City of San José Department of Planning, Building, and Code Enforcement and Municipal Compliance Officer of the City of San Jose Environmental Services Department for approval prior to the issuance of any grading permits. The SMP shall include, but is not limited to, the following:
  - A detailed discussion of the site background;
  - Proper mitigation as needed for demolition of existing structures;
  - Management of stockpiles, including sampling, disposal, and dust and runoff control including implementation of a stormwater pollution prevention program;
  - Management of underground structures encountered, including utilities and/or underground storage tanks;
  - Procedures to follow if evidence of an unknown historic release of hazardous materials (e.g., underground storage tanks, polychlorinated biphenyls [PCBs], asbestos containing materials, lead-based paint, etc.) is discovered during excavation or demolition activities.
  - A health and safety plan (HSP) for each contractor working at the site that addresses the safety and health hazards of each site operation phase, including the requirements and procedures for employee protection. The HSP shall outline



proper soil handling procedures and health and safety requirements to minimize work and public exposure to hazardous materials during construction.

**DRAFT**

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY OF SAN JOSE REZONING CERTAIN REAL PROPERTY OF APPROXIMATELY 3.26-GROSS ACRES SITUATED ON THE NORTHWEST CORNER OF HORNING STREET AND OAKLAND ROAD (645 HORNING STREET) FROM THE LI LIGHT INDUSTRIAL ZONING DISTRICT TO THE CIC(PD) PLANNED DEVELOPMENT ZONING DISTRICT**

**WHEREAS**, all rezoning proceedings required under the provisions of Chapter 20.120 of Title 20 of the San José Municipal Code have been duly had and taken with respect to the real property hereinafter described; and

**WHEREAS**, a Mitigated Negative Declaration was prepared in conformance with the California Environmental Quality Act of 1970 (CEQA), as amended, for the subject rezoning to CIC(PD) Planned Development Zoning District under File No. PDC16-041 (the "MND"); and

**WHEREAS**, the City Council of the City of San José is the decision-making body for the proposed subject rezoning to the CIC(PD) Planned Development Zoning District; and

**WHEREAS**, this Council of the City of San José has considered, approved and adopted said MND and related Mitigation Monitoring and Reporting Program under separate Council resolution prior to taking any approval actions on this project.

**NOW, THEREFORE**, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF SAN JOSE:

**SECTION 1.** The recitals above are incorporated herein.

**SECTION 2.** All that real property hereinafter described in this section, hereinafter referred to as "subject property," is hereby rezoned as CIC(PD) Planned Development Zoning District. The base district zoning of the subject property shall be the CIC Combined Industrial/Commercial Zoning District. The Planned Development zoning of the subject property shall be that development plan for the subject property entitled, "General Development Plan – File No. PDC16-041" last revised on March 22, 2018.

Said General Development Plan is on file in the office of the Director of Planning and is available for inspection by anyone interested therein, and said General Development Plan is by this reference adopted and incorporated herein the same as if it were fully set forth herein.

The subject property referred to in this section is all that real property situated in the County of Santa Clara, State of California, described in Exhibit "A" attached hereto and incorporated herein by this reference.

**SECTION 3.** The district map of the City is hereby amended accordingly.

**SECTION 4.** The land development approval that is the subject of City File No. PDC16-041 is subject to the operation of Part 2.75 of Chapter 15.12 of Title 15 of the San José Municipal Code. The applicant for or recipient of such land use approval hereby acknowledges receipt of notice that the issuance of a building permit to implement such land development approval may be suspended, conditioned or denied where the City Manager has determined that such action is necessary to remain within the aggregate operational capacity of the sanitary sewer system available to the City of San José or to meet the discharge standards of the sanitary sewer system imposed by the California Regional Water Quality Control Board for the San Francisco Bay Region.

PASSED FOR PUBLICATION of title this \_\_\_\_\_ day of \_\_\_\_\_, 2018 by the following vote:

AYES:

NOES:

ABSENT:

DISQUALIFIED:

\_\_\_\_\_  
SAM LICCARDO  
Mayor

ATTEST:

\_\_\_\_\_  
TONI J. TABER, CMC  
City Clerk

DRAFT



RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN JOSE APPROVING, SUBJECT TO CONDITIONS, A PLANNED DEVELOPMENT PERMIT TO ALLOW THE DEMOLITION OF AN EXISTING WAREHOUSE AND OTHER STRUCTURES (CAR REPAIR SHOP) AND ALLOW THE CONSTRUCTION OF A NEW RETAIL STORE (3,814 SQUARE FEET), GASOLINE STATION WITH SIX FUEL DISPENSERS AND CANOPY (3,870 SQUARE FEET), DRIVE-THROUGH CAR WASH (1,086 SQUARE FEET), A DRIVE-THROUGH RESTAURANT (2,494 SQUARE FEET) WITH LATE-NIGHT USE TO 2:00 A.M., AND MINI-STORAGE BUILDINGS (TOTAL OF 92,116 SQUARE FEET) ON AN APPROXIMATELY 3.26-GROSS ACRE SITE, LOCATED AT NORTHWEST CORNER OF HORNING STREET AND OAKLAND ROAD (645 HORNING STREET)**

**FILE NO. PD16-027**

**WHEREAS**, pursuant to the provisions of Chapter 20.100 of Title 20 of the San José Municipal Code, on August 29, 2016, an application (File No. PD16-027) was filed by the applicant, Muthana Ibrahim, on behalf of the owner, Jim Rubnitz, with the City of San José for a Planned Development Permit to allow the demolition of an existing warehouse and other structures (car repair shop) and allow the construction of a new retail store (3,814 square feet), gasoline station with six fuel dispensers and canopy (3,870 square feet), drive-through car wash (1,086 square feet), a drive-through restaurant (2,494 square feet) with late-night use to 2:00 a.m., and mini-storage buildings (total of 92,116 square feet) on an approximately 3.26-gross acre site, on that certain real property situated in the CIC(PD) Planned Development Zoning District and located at the northwest corner of Horning Street and Oakland Road (645 Horning Street, San José, which real property is sometimes referred to herein as the “subject property”); and

**WHEREAS**, the subject property is all that real property more particularly described in Exhibit "A," entitled “Legal Description,” which is attached hereto and made a part hereof by this reference as if fully set forth herein; and

**WHEREAS**, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, the Planning Commission conducted a hearing on said application on April 11, 2018, notice of which was duly given; and

**WHEREAS**, at said hearing, the Planning Commission gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

**WHEREAS**, at said hearing, the Planning Commission made a recommendation to the City Council respecting said matter based on the evidence and testimony; and

**WHEREAS**, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, this City Council conducted a hearing on said application, notice of which was duly given; and

**WHEREAS**, at said hearing, this City Council gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

**WHEREAS**, at said hearing this City Council received and considered the reports and recommendations of the City's Planning Commission and City's Director of Planning, Building and Code Enforcement; and

**WHEREAS**, at said hearing, this City Council received in evidence a development plan for the subject property entitled, "Gas Station, Convenience Store, Carwash & Mini Storage," dated revised on March 22, 2018, said plan is on file in the Department of Planning, Building and Code Enforcement and is available for inspection by anyone interested herein, and said plan is incorporated herein by this reference, the same as if it

were fully set forth herein; and

**WHEREAS**, said public hearing before the City Council was conducted in all respects as required by the San José Municipal Code and the rules of this City Council; and

**WHEREAS**, this City Council has heard and considered the testimony presented to it at the public hearing, and has further considered written materials submitted on behalf of the project applicant, City staff, and other interested parties;

**NOW, THEREFORE**, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SAN JOSE THAT:

After considering all of the evidence presented at the Public Hearing, the City Council finds that the following are the relevant facts regarding this proposed project:

1. **Site Description and Surrounding Uses.** The subject 3.26-gross acre site is located at the northwest corner of Horning Street and Oakland Road. The site was developed between the 1930s and 1950s with multiple industrial buildings totaling approximately 35,671 square feet, and the buildings are currently used for indoor storage and a car fabrication/repair shop with outdoor storage. The subject site is located at the edge of an existing industrial area: to the west and south is a mix of light manufacturing, storage and retail uses; to the north is the Oakland Road off-ramp from U.S. Highway 101; to the west is Oakland Road, a six-lane major arterial, and across this street is an existing multi-family residential development. Ingress-egress access to the site is from two driveways off of Horning Street.
2. **Project Description.** On August 29, 2016, a Planned Development Rezoning, Planned Development Permit and Tentative Map applications were filed to rezone the subject site from the LI Light Industrial to the CIC(PD) Planned Development Zoning District and to allow the demolition of an existing warehouse and car repair shop and redevelopment of the site with a mix of commercial and industrial uses. The proposed project includes three mini-storage buildings totaling approximately 92,116 square feet, a new gasoline service station with six fuel dispensers and canopy (3,871 square feet), a retail store (3,814 square feet) with an attached drive-through car wash. In addition, the proposed project would include a restaurant (2,494 square feet) with drive-through and late night use until 2:00am at the southwest portion of the site. The project would subdivide the one lot into three lots on the subject 3.26-gross acre site.

**3. General Plan Conformance.** The project has an Envision San José 2040 General Plan Land Use/Transportation Diagram designation of Combined Industrial/Commercial (CIC). This land use designation is intended for a wide variety of commercial, office, industrial developments, or a compatible mix of these uses. The proposed project would result in a mix of uses on the subject site, including mini-storage, gasoline service station, convenience store with attached drive-through car wash, and a restaurant with drive-through and late-night use. The proposed rezoning will allow both industrial and commercial uses to be located on the subject site and provide a buffer between existing residential and industrial uses in the area. The proposed site plan also includes design elements to improve connectivity and safety for both pedestrians and vehicles on the site.

1. Land Use Policy LU-1.2: Encourage Walking. Create safe, attractive, and accessible pedestrian connections between developments and to adjacent public streets to minimize vehicular miles traveled.

*Analysis: Although the proposed project includes auto-oriented uses, such as two drive-throughs (restaurant and car wash), the proposed public improvements include a financial contribution towards a future pedestrian crosswalk at Oakland Road and Boardwalk Way. This would enhance pedestrian access on a long street corridor with limited crosswalks and connect nearby residential neighborhoods with commercial uses on the west side of Oakland Road.*

2. Land Use Policy LU-4.4: : Allow limited industrial uses in commercially designated areas if such uses are of a scale, design, or intensity that creates less than significant negative impacts to surrounding uses.

*Analysis: The proposed project includes both commercial (gasoline service station and car wash, retail, and restaurant services) and light industrial (mini-storage) uses on the site. The site is adjacent to a freeway off-ramp, access and circulation are limited, and aesthetic improvements are challenging. The proposed mini-storage would occupy the least accessible portion of the subject site and complement the existing commercial/industrial uses on adjacent properties. Overall, the proposed project would create a buffer and appropriate transition between the freeway and industrial uses and existing residential neighborhoods in the area.*

3. Land Use Policy LU-5.5: Encourage pedestrian and vehicular connections between adjacent commercial properties with reciprocal-access easements to encourage safe, convenient, and direct pedestrian access and “one-stop” shopping. Encourage and facilitate shared parking arrangements through parking easements and cross-access between commercial properties to minimize parking areas and curb-cuts.

*Analysis: The proposed project includes a mix of commercial and industrial uses on one site. The proposed tentative map includes reciprocal rights of ingress, egress, and parking between all proposed uses and parcels. With shared access and parking easements, the project would require only one standard curb-cut and*

*driveway from Horning Street.*

4. Vibrant Neighborhood Policy VN-1.7: Use new development within neighborhoods to enhance the public realm, provide for direct and convenient pedestrian access, and visually connect to the surrounding neighborhood. As opportunities arise, improve existing development to meet these objectives as well.

*Analysis: The existing street frontages along Horning Street and Oakland Road have limited sidewalks and vegetation. The proposed development would include new sidewalks with enhanced landscaping, trees, and pedestrian access to proposed commercial uses. In addition to new sidewalks, the project would provide a financial contribution for a new pedestrian crosswalk on Oakland Road and Boardwalk Way that would provide residents in the existing residential neighborhoods with a safer and more direct pedestrian connection to the new commercial uses.*

#### **4. Conformance with City of San José City Council Drive-Through Policy**

The proposed project includes two different drive-through uses on the subject site: a drive-through carwash associated with the retail store and gasoline station, and a second drive-through in conjunction with a proposed restaurant use. The project would conform to the following applicable drive-through policy criteria:

- a. No drive-through use shall be approved with ingress or egress driveways within 300 feet of a signalized intersection operating at a Level of Service D, E, or F unless a traffic analysis demonstrates, to the satisfaction of the Director of Public Works, that vehicles entering or leaving said use will not impair the efficiency or operation of the intersection.

*Analysis: The ingress and egress of the driveway is more than 300 feet vehicle path of travel from a signalized intersection.*

- b. The drive-through stacking lane shall be situated so that any overflow from the stacking lane shall not spill out onto public streets or major aisles of any parking lot. Overflow capacity shall be 50 percent of required stacking for overflow restricted to the parking lot and 100 percent of required stacking if the overflow is directed to the street.

*Analysis: The site plan demonstrates sufficient space to meet the requirements for eight cars to stack at the restaurant use and five cars to stack at the carwash use. Any potential overflow would not spill into the public right-of-way or major aisles of the parking lot.*

- c. No pedestrian crossing of the drive-through lane shall be allowed.

*Analysis: Proposed pedestrian crossings do not conflict with drive-through lanes.*

- d. Drive-through speakers shall not be audible from adjacent residentially used, zoned, or General Planned properties. Drive-through speakers shall

not be used when the drive-through lane abuts residentially used, zoned, or General Planned Property. Use of sound attenuation walls and landscaping shall be encouraged.

*Analysis: The project is not adjacent to a residential use, zoned or General Planned property. The project is proposing a significant amount of trees and landscaping along Horning Street and indoor seating for the proposed restaurant use to encourage pedestrian means of travel and use. The site is adjacent to other light industrial and commercial uses, a freeway off-ramp, and a major arterial street. Noise analysis was conducted as part of the review of the project and the noise report concluded that, based on existing noise in the vicinity of the project site, the project-generated average day-night noise levels will likely be at or below ambient noise levels in the majority of the project area. Therefore, the project is consistent with the intent of the Council policy to limit new potential noise impacts from the proposed project, and would not result in adverse impacts to any sensitive receptors or residential uses in the vicinity.*

- e. The drive-through stacking lane shall be separated physically from the user's parking lot and shall have a capacity of eight spaces for restaurants and five for self-service carwashes.

*Analysis: A minimum 500-foot separation is typically required between structures that include drive-through facilities. The proposed buildings for the carwash and restaurant are approximately 150 feet apart. However, the policy provides an exception for self-service carwash facilities that are in conjunction with a gasoline service station if it conforms to all the traffic criteria. As stated above, the project conforms to all traffic criteria with sufficient car stacking area, distance from signalized intersection, and no pedestrian crossing in the drive-through lane. The circulation path and distance of the stacking area is sufficient separated to minimize circulation conflict between the two drive-through uses.*

The project is not consistent with the following criteria but meets the intent of the drive-through policy or has incorporated design elements to limit the potential conflicts or impacts.

- a. Primary ingress and egress to drive-through type use parking lots should be from at least a four-lane major street.

*Analysis: Primary ingress and egress to the subject site is provided from Horning Street, which is not a four-lane major street. The site is situated adjacent to Oakland Road, a major arterial street, but direct access is precluded by the design of the Highway 101 off-ramp. The subject site has sufficient space for internal circulation and queuing to limit potential impacts to the two-lane Horning Street.*



- b. Drive-through uses shall be located 200 feet or more from immediately adjacent or directly opposite residentially used, zoned, or General Planned properties.

*Analysis: The queueing area for the proposed drive-through carwash is approximately 130 feet from the property boundary of a residential use. However, in the noise study, it states that that most noise will be generated at the entrances and exit to the carwash tunnel because of the blowers and equipment use, and the openings for those tunnels are located more than 200 feet from the nearest residential property line. The noise study concluded that the given the existing noise levels in the vicinity of the project site, any project-generated average day-night noise levels to be at or below ambient noise levels in the majority of the project study area. Therefore, the project would meet the intent of providing adequate separation between the carwash and residential uses and limiting potential noise impacts to sensitive receptors.*

Therefore, the proposed project conforms substantially to the criteria of Council Policy 6-10 and meets the intent of the Policy by minimizing impacts to traffic and residential uses with appropriate site design.

#### **5. Conformance with City of San José City Council 24-Hour Use Policy.**

Any use operating after midnight and before 6:00 a.m. must conform to the criteria provided in Council Policy 6-27. The applicant is requesting extended hours of operation to 2:00 a.m. for the proposed drive-through restaurant use. The intent of the policy is to minimize potential impacts associated with late-night uses, including proximity to residential use, littering, loitering, noise, etc. The project conforms to the following Council Policy 6-10 applicable criteria:

- a. Area Use Compatibility: Twenty-four-hour uses should not be approved unless the facility can operate without detriment to nearby residential uses or the general welfare of the surrounding area.

*Analysis: The proposed use is a new restaurant within a larger mixed-use development that will include both commercial and industrial uses. As the site is separated from residential use by an arterial street and is adjacent to nearby commercial and industrial use and would redevelop an existing commercial site, the proposed use is compatible with the surrounding area.*

- b. Use Separation: Physical separation of incompatible uses is the best means to avoid potential problems. Generally, 24-hour uses should not be located within 300 feet (measured from the building entrance and "Designated Parking Area" and/or "Outdoor Use Area" to the residential property line) from any property residentially zoned, planned, or used.

*Analysis: The proposed restaurant would be more than 300 feet from the nearest residential property line.*

- c. Outdoor Activities. Outdoor activities may be limited for 24-hour operations except in the Downtown Core Area.

*Analysis: There is no proposed outdoor activities.*

- d. Police Issues. Crime statistics and police safety issues which are directly related to uses operating between 12:00 midnight and 6:00 a.m. will be analyzed and considered in determining the appropriateness of 24-hour uses.

*Analysis: The site is not located in an area that the San José Police Department has labeled as high crime area (more than 20% of the city crime report average). The Planned Development Permit includes conditions to require that the project not create a nuisance and provide proper maintenance of the site. The site would replace an existing industrial/commercial space that is had limited lighting and activation with a new multi-tenant development with new lighting and improved pedestrian activation.*

- e. Noise. Use of sound attenuation walls and landscaping may be required at property lines in order to minimize noise emanating from the site. Special attention should be paid to the possibility of noise at late night hours such as car stereos, cars starting and conversations which may not be quantifiable, but can reasonably be expected to occur.

*Analysis: The proposed late night use for the drive-through restaurant is located more 300 feet from the closest residential use. The noise report stated at 20 feet the maximum dBA is 58 and with the separation of the propose use and Oakland Road, the restaurant is not anticipated to generate a noticeable amount of noise from the late night use.*

Given the location of the proposed drive-through and the provision of permit conditions to limit nuisances and require proper maintenance of the site, the project conforms to Council Policy 6-27 for late-night uses.

- 6. Zoning and Planned Development Zoning Conformance.** The site is currently in the LI Light Industrial Zoning District with a Combined Industrial / Commercial General Plan land use designation. The CIC(PD) Planned Development Zoning District would facilitate a development with both commercial and industrial uses on the subject site. A conventional CIC Combined Industrial/Commercial Zoning District would not permit a mini-storage use. Given that the subject site is adjacent to existing light industrial uses and south of an existing freeway off-ramp, the types of uses that could utilize the northern portion of the site are limited. Therefore, a Planned Development Zoning District that allows a mini-storage use together with additional commercial uses to serve travelers as well as nearby residential neighborhoods is a good use of the subject site. The proposed PD rezoning would allow a complementary mix of CIC Combined Industrial-Commercial, LI Light

Industrial, and CG Commercial General uses on the site and enable full utilization of the site despite significant access constraints. The project is required to have a 15-foot front setback and rear and side setback of five feet. The project is has a 15 foot-front setback, a 10-foot side setback, and 15-foot rear setback. The maximum allowed height is 60 feet and the project has a maximum height of approximately 42 feet. The combined uses require 56 vehicle parking spaces and the project provides 56 vehicles spaces.

- 7. Environmental Review.** An Initial Study (IS) and Mitigated Negative Declaration (MND) were prepared by the Planning, Building and Code Enforcement for the subject Planned Development Rezoning, Planned Development Permit, and Tentative Map. The environmental review evaluated a rezoning from the LI Light Industrial Zoning District to the CIC(PD) Zoning District and Tentative Map to demolish size existing buildings, and remove all associated pavement, landscaping, and fencing; and to construct a mix of new commercial buildings including an approximately 3,814-square foot convenience store, six fueling stations (12 total fuel dispensers), an approximately 1,341-square foot automatic carwash, and approximately 2,494-square foot fast-food restaurant with a drive-through, and self-storage facility with three buildings totaling approximately 92,116 square feet on an approximate 3.26 gross acre site located along the at 645 Horning Street. The documents were circulated for public comments between August 24, 2017 to September 14, 2017 and three formal comments letters and/or emails were received from the public. Some of the concerns that were highlighted in the comment letters include: traffic, pedestrian accommodations, compatibility to the existing neighborhood, and overconcentration of the proposed uses. Environmental comments have been addressed by staff in a formal Responses to Comments document.

As stated in the IS/MND and associated noise report (appendix G of the IS/MND), the existing ambient noise (based on long-term noise monitoring) ranges from 71 to 74 dBA day-night noise level (DNL). Noise experienced at the short-term monitoring locations ST-01 through ST-03 was also predominately due to vehicular traffic on the local roadway network. Overall noise levels measured at the short-term environmental noise monitoring locations ranged from approximately 64 to 74 dBA Leq. The main noise generator in this site are roadway traffic noise and operations of the existing industrial uses. Based on the analysis presented, the project would add into this noise level. However, the project-related effects on the baseline ambient noise environment were calculated to result in a change of less than 1 dBA to approximately 2 dBA. In addition, while the project site is not immediate adjacent to any sensitive receptors, noise measure were also considered for these properties located across Oakland and Horning roadways. The project related effects on the baseline ambient noise environment at noise sensitive residential receptors were

calculated to result in a change of less than 1 dBA. Therefore, the increase would be less than 3 or 5 dBA DNL and would not conflict with EC-1.2 and would result in a less-than-significant impact under CEQA.

The primary environmental issues that required mitigation measures are air quality, biological resources, and hazards and hazardous materials resource areas. The IS/MND includes mitigation measures that would reduce any potentially significant project impacts to a less-than-significant level. In addition to the mitigation measures, other permit conditions in regards to lighting requirements, nuisance, and maintenance of the site are included in the Planned Development Permit as conditions of approval to ensure all potential impacts have been addressed.

**8. Planned Development Permit Findings:** Chapter 20.100 of the San José Municipal Code establishes evaluation criteria for the issuance of a Planned Development Permit. These criteria are applied to the project based on the above-stated findings related to General Plan, Zoning and CEQA conformance and for the reasons stated below, and subject to the conditions set forth in the proposed permit. In order to make the Planned Development Permit findings pursuant to Section 20.100.720 of the San José Municipal Code and recommend approval to the City Council, Planning Commission must determine that:

1. The Planned Development Permit, as issued, is consistent with and furthers the policies of the General Plan;

*Analysis: As described above, the project is consistent with and furthers the policies of the General Plan in regards land use, pedestrian access and promoting a complimentary mix of commercial and industrial uses.*

2. The Planned Development Permit, as issued, conforms in all respects to the Planned Development Zoning of the property;

*Analysis: The Planned Development Permit conforms in all respects to the proposed CIC(PD) Planned Development Zoning of the property, as the propose uses are allowed, conform to the required 15-foot setback from Horning and 5-foot setback from the rear and side, and is below the maximum 60-foot height.*

3. The Planned Development Permit, as approved, is consistent with applicable City Council policies, or counterbalancing considerations justify the inconsistency;

*Analysis: As discussed above, the project is consistent with City Council Policy 6-10 in that the proposed project conforms to the intent of the drive-through policy to limit potential impacts from the proposed drive-through use on traffic circulation and adjacent uses. The project also conforms to the intent of Council Policy 6-27 for the evaluation of 24-hour uses in that operation of the proposed drive-through restaurant will be limited to 2:00 a.m. and the carwash would be*

*limited to no later than 10:00 p.m., and the Planned Development Permit includes conditions to maintain adequate lighting and security at the subject site and otherwise limit the impact of the proposed use on nearby development.*

*As discussed below, the project is also in conformance with City Council Policy 6-30 Public Outreach. Staff received confirmation that the on-site sign was posted at the subject property in accordance with the City Council Policy 6-30. On July 25, 2017 a community meeting was held and approximately 12 members attended the meeting. Members of the public were able to review the projects and express their concerns about traffic, nuisance abatement, and the desire for a larger retail use. Staff and the applicant explained how access issues and other site constraints severely limit potential retail options. Staff and the applicant also explained how the proposed site plan had been designed to minimize traffic impacts in the area and address security and nuisance concerns.*

4. The interrelationship between the orientation, location, mass and scale of building volumes, and elevations of proposed buildings, structures and other uses on-site are appropriate, compatible and aesthetically harmonious;

*Analysis: Given the location of the proposed development, the proposed project creates a buffer between the industrial and freeway uses to the west and south and existing residential neighborhoods to the north and east. The orientation and location of buildings on the site and the complementary height, massing and scale of buildings within the proposed development is intended to help activate Horning Street and limit potential impacts on Oakland Road. Additionally, the proposed landscaping along the street frontages and within the site as well as the trellis for the restaurant drive-through would provide some natural amenities within the existing industrial environment. The proposed buildings feature a variety of materials and colors that enhance the architectural design and provide visual interest. Therefore, the proposed project is compatible and aesthetically harmonious with surrounding development.*

5. The environmental impacts of the project, including, but not limited to aesthetics, air quality, noise, and transportation/traffic, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative effect on adjacent property or properties.

*Analysis: The IS/MND prepared for the project identified construction and/or operational impacts from the proposed project on air quality, biological resources, and hazards/hazardous wastes and materials. Implementation of mitigation measures included in the IS/MND and the Mitigation Monitoring and Report Program would reduce those impacts to less-than-significant levels. The project is adjacent to non-sensitive uses (freeway off-ramp and light industrial/commercial uses). The site has been designed to allow all drive-through queuing on site and thus avoid traffic impacts on adjacent streets. A*



*noise study conducted for the proposed project found that noise levels from the proposed car wash would exceed the City's zoning standard at the nearest residential property line. The final design of the project includes the use of a proto-vest windshear II Dryer, a project condition has been included in the Planned Development Permit to ensure compliance with the zoning code noise requirement.*

**9. Demolition Findings:** Pursuant to Section 20.80.460 of the San José Municipal Code the following criteria have been considered by the Director of Planning to determine whether the benefits of permitting the demolition of the existing building outweighs the impacts of demolition:

- a. The failure to approve the permit would result in the creation or continued existence of a nuisance, blight or dangerous condition;
- b. The failure to approve the permit would jeopardize public health, safety or welfare;
- c. The approval of the permit should facilitate a project which is compatible with the surrounding neighborhood.
- d. The approval of the permit should maintain the supply of existing housing stock in the City of San José;
- e. Both inventoried and non-inventoried buildings, sites and districts of historical significance should be preserved to the maximum extent feasible;
- f. Rehabilitation or reuse of the existing building would not be feasible; and
- g. The demolition, removal or relocation of the building without an approved replacement building should not have an adverse impact on the surrounding neighborhood.

*Analysis: The proposed project will require the demolition of an existing warehouse building and other structures (car repair shop) on the subject site. Subsequent redevelopment will include the construction of new buildings and creation of a new access driveways from Horning Street and a new internal circulation pattern. The subject site will be completely redeveloped with a mix of new ministorage and commercial uses that furthers several General Plan Policies related to economic development and redevelopment of existing sites. These positive changes outweigh the impact of the demolition of the existing structures. .*

In accordance with the findings set forth above, a Planned Development Permit to use the subject property for said purpose specified above and subject to each and all of the conditions hereinafter set forth is hereby **granted**. This City Council expressly declares that it would not have granted this Permit except upon and subject to each and all of said conditions, each and all of which conditions shall run with the land and be binding upon the owner and all subsequent owners of the subject property, and all persons who use the subject property for the use conditionally permitted hereby.

## CONDITIONS

1. **Acceptance of Permit.** Per Section 20.100.290(B) of Title 20 of the San José Municipal Code, should the permittee fail to file a timely and valid appeal of this Planned Development Permit within the applicable appeal period, such inaction by the permittee shall be deemed to constitute all of the following on behalf of the permittee:
  - a. Acceptance of the Planned Development Permit; and
  - b. Agreement by the permittee to be bound by, to comply with, and to do all things required of or by the permittee pursuant to all of the terms, provisions, and conditions of this Permit or other approval and the provisions of Title 20 of the San José Municipal Code applicable to such Permit.
2. **Permit Expiration.** The Planned Development Permit shall automatically expire two (2) years from and after the date of issuance hereof by the City Council, if within such time period, a Building Permit has not been obtained or the use, if no Building Permit is required, has not commenced, pursuant to and in accordance with the provision of this Permit. The date of issuance is the date this Permit is approved by the City Council. However, the Director of Planning may approve a Permit Adjustment/Amendment to extend the validity of this Permit in accordance with Title 20 of the San José Municipal Code. The Permit Adjustment/Amendment must be approved prior to the expiration of this Planned Development Permit.
3. **Building Permit/Certificate of Occupancy.** Procurement of a Building Permit and/or Certificate of Occupancy from the Building Official for the structures described or contemplated under this Planned Development Permit shall be deemed acceptance of all conditions specified in this permit and the permittee's agreement to fully comply with all of said conditions. No change in the character of occupancy or change to a different group of occupancies as described by the "Building Code" shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required under San José Municipal Code Section 24.02.610, and any such change in occupancy must comply with all other applicable local and state laws.
4. **Sewage Treatment Demand.** Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José-Santa Clara Regional Wastewater Facility represented by approved land uses in the area served by said Facility will cause the total sewage treatment demand to meet or exceed the capacity of San José-Santa Clara Regional Wastewater Facility to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Quality Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any



land use approval may be imposed by the approval authority.

5. **Conformance to Plans.** The development of the site shall conform to the approved Planned Development Permit plans entitled, "Gas Station Convenience Store, Carwash & Mini Storage," dated revised on March 22, 2018, on file with the Department of Planning, Building and Code Enforcement, as may be amended subject to City's approval, and to the San José Building Code (San José Municipal Code, Title 24), as amended. The plans are referred to herein as the "Approved Plan Set".
6. **Planned Development District Effectuated.** Once this Planned Development Permit is accepted, the use of territory not covered by the permit shall only be land uses consistent with the Planned Development Zoning District and only upon issuance of a Planned Development Permit for those uses. Issuance of this permit in no way negates the permittee's or property owner's obligation to fully and timely comply with each and every provision set forth in the Development Standards of Planned Development Zoning, File No. PDC16-041.
7. **Scope and Use Authorization of the Planned Development Permit.** This Planned Development Permit authorizes the demolition of an existing warehouse and car repair building structures and allow the construction of a new retail store (3,814 square feet), gasoline station fuel dispensers and canopy (3,870 square feet), drive-through carwash (1,086 square feet), a drive-through restaurant (2,494 square feet) with late-night use to 2:00 a.m., and mini-storage buildings (total of 92,116 square feet) on an approximately 3.26-gross acre site.
8. **Hours of Operation:** The restaurant drive-through shall be allowed to operate until 2:00 a.m. daily. The carwash facility shall not operate past 10:00 p.m. daily. These and all other uses shall conform to the municipal code 20.40.500, as amended, for late night use and hours of operation.
9. **Speaker Noise.** Drive-through speakers shall not be audible from adjacent residentially used, zoned, or General Planned properties
10. **Compliance with Local and State Laws.** The subject use shall be conducted in full compliance with all local and state laws. No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code. The Permit shall be subject to revocation if the subject use is conducted in such a manner as to cause a nuisance, as conditioned.
11. **Discretionary Review.** The Director of Planning, Building and Code Enforcement maintains the right of discretionary review of requests to alter or amend structures, conditions, or restrictions of this Permit incorporated by reference in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code.
12. **Nuisance.** This use shall be operated in a manner that does not create a public or private nuisance or that adversely affects the peace, health, safety, morals or welfare of persons residing or working in the surrounding area or be detrimental to public health, safety or general welfare. Any such nuisance shall be abated immediately

upon notice by the City.

13. **Anti-Litter.** The site and surrounding area shall be maintained free of litter, refuse, and debris. Cleaning shall include keeping all publicly used areas free of litter, trash, cigarette butts and garbage.
14. **Anti-Graffiti.** During construction, the permittee shall remove all graffiti from buildings, walls and other surfaces within 48 hours of defacement. Upon project completion and/or transfer of ownership, the property owner, and/or Maintenance District shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement.
15. **Loitering.** Loitering shall not be allowed in the public right-of-way adjacent to the subject site.
16. **Refuse.** All trash areas shall be effectively screened from view and covered and maintained in an orderly state to prevent water from entering the garbage container. Trash areas shall be maintained in a manner to discourage illegal dumping.
17. **Outdoor Storage.** No outdoor storage is allowed or permitted unless designated on the approved plan set.
18. **Covenant of Easement.** Prior to the issuance of the final map, the permittee shall receive a covenant of easement for the reciprocal rights for shared parking, ingress and egress.
19. **Sign Approval.** No signs are approved at this time. All proposed signs shall be subject to review and approval by the Director of Planning through a subsequent Permit Adjustment.
20. **Building and Property Maintenance.** The property owner or management company shall maintain the property in good visual and functional condition. This shall include, but not be limited to all exterior elements of the buildings such as paint, roof, paving, signs, lighting and landscaping.
21. **Colors and Materials.** All building colors and materials are to be those specified on the Approved Plan Set. Any change in building colors and materials shall require a Permit Adjustment.
22. **Building Division Clearance for Issuing Permits.** Prior to the issuance of any Building Permit, the following requirements must be met to the satisfaction of the Chief Building Official:
  - a. Construction Plans. The permit file number, PD16-027 shall be printed on all construction plans submitted to the Building Division.
  - b. Americans with Disabilities Act. The permittee shall provide appropriate access as required by the Americans with Disabilities Act (ADA), including paths of travel connecting all buildings on the site.

- c. **Emergency Address Card.** The permittee shall file an Emergency Address Card, Form 200-14, with the City of San José Police Department.
  - d. **Street Number Visibility.** Street numbers of the buildings shall be easily visible at all times, day and night.
  - e. **Construction Plan Conformance.** A project construction plan conformance review by the Planning Division is required. Planning Division review for project conformance will begin with the initial plan check submittal to the Building Division. Prior to any building permit issuance, building permit plans shall conform to the approved Planning development permits and applicable conditions.
- 23. Construction and Demolition Hours.** Construction, demolition, and grading activities shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday. This includes the staging of equipment and construction personnel. The construction hours shall be printed on all plans for the project used to construct the project. Interior construction activities that do not generate any audible noise impacts at residential properties are allowed on Saturdays between 9:00 a.m. and 5:00 p.m.
- 24. Demolition of Structures.** Subsequent to permit approval, demolition of existing structures may:
- a. No demolition permits may be issued prior to the submittal of foundation or structural building permits.
- 25. Landscaping.** Planting and irrigation are to be provided as indicated on the approved plans. Landscaped areas shall be maintained and watered and all dead plant material is to be removed and replaced. Permanent irrigation is to be installed in accordance with Part 4 of Chapter 15.10 of Title 15 of the San José Municipal Code, Water Efficient Landscape Standards for New and Rehabilitated Landscaping and the City of San José Landscape and Irrigation Guidelines.
- 26. Landscaping Maintenance.** The permittee shall maintain on-site landscaping areas and landscaping areas along the public right-of-way areas/streets to the satisfaction of the Director of Public Works.
- 27. Irrigation Standards.** The permittee shall install an adequately sized irrigation distribution system with automatic controllers in all areas to be landscaped that conforms to the Zonal Irrigation Plan in the Approved Plan Set and is consistent with the City of San José Landscape and Irrigation Guidelines. The design of the system shall be approved and stamped by a California Registered Landscape Architect prior to Certificate of Occupancy.
- 28. Certification.** Pursuant to San José Municipal Code, Section 15.10.486, certificates of substantial completion for landscape and irrigation installation shall be completed by licensed or certified professionals and provided to the Department of Planning, Building and Code Enforcement prior to approval of the final inspection of the project.
- 29. Street Cleaning and Dust Control.** During construction, permittee shall damp sweep

the public and private streets within and adjoining the project site each working day sufficient to remove all visible debris and soil. On-site areas visible to the public from the public right-of-way shall be cleaned of debris, rubbish, and trash at least once a week. While the project is under construction, permittee shall implement effective dust control measures to prevent dust and other airborne matter from leaving the site.

30. **Recycling.** Scrap construction and demolition material should be recycled. Integrated Waste Management staff can provide assistance on how to recycle construction and demolition debris from the project, including information on available haulers and processors.
31. **Lighting.** All exterior lighting shall be as shown on the approved plans. On-site, exterior, unroofed lighting shall conform to the Outdoor Lighting Policy. Lighting shall be designed, controlled and maintained so that no light source is visible from outside of the property.
32. **Fencing.** Fence height and materials shall be as shown on the approved plans. Changes to the approved fencing shall require review by the Director of Planning, Building, and Code Enforcement.
33. **Mechanical Equipment.** The location of mechanical equipment (AC Units) shall be located as shown on the approved plans and shall be screened from view.
34. **Utilities.** All new on-site telephone, electrical, and other overhead service facilities shall be placed underground.
35. **Public Works Clearance for Building Permit(s) or Map Approval:** Prior to the approval of the Tract or Parcel Map (if applicable) by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the permittee shall be required to have satisfied all of the following Public Works conditions. The permittee is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits. Standard review timelines and submittal instructions for Public Works permits may be found at the following: <http://www.sanjoseca.gov/index.aspx?nid=2246>.
  - a. **Construction Agreement:** The public improvements conditioned as part of this permit require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.
  - b. **Transportation:** A Traffic Impact Analysis was performed on November 10, 2017 by Department of Public Works for this project based on 145 AM and 142 PM peak hour trips. The analysis concluded that the subject project will be in conformance with the City of San José Transportation Level of Service Policy (Council Policy 5-3) and a determination for a negative declaration, with implementation of the following project conditions, can be made with respect to traffic impacts.

- i. This project is located adjacent to the US-101/Old Oakland interchange and may be subject to the City's US-101/Old Oakland/Mabury Transportation Development Policy. The US-101/Old Oakland/Mabury Transportation Development Policy requires new residential and commercial developments that generate vehicular trips at either of the Policy Interchanges to pay a Traffic Impact Fee (TIF) towards the upgrade of the US-101/Old Oakland Interchange and construction of the US-101/Mabury Interchange. The 2018 TIF is \$37,857 for each new project peak hour trip that travels through either the US-101/Old Oakland or US-101/Mabury Interchanges. This fee is subject to an annual escalation on January 1st per the Engineering News-Record Construction Cost Index for San Francisco.
  - ii. Permittee shall provide a \$150,000 contribution towards the construction of a signal controlled pedestrian crosswalk at Old Oakland Road/Boardwalk Way.
  - iii. Construct City standard sidewalks along project frontage on Old Oakland Road and Horning Street.
  - iv. Construct a 32-foot wide City standard driveway along Horning Street project frontage.
- c. Grading/Geology:**
- i. A grading permit is required prior to the issuance of a Public Works Clearance.
  - ii. All on-site storm drainage conveyance facilities and earth retaining structures 4 feet in height or greater (top of wall to bottom of footing) or is being surcharged (slope of 3:1 or greater abutting the wall) shall be reviewed and approved under Public Works grading and drainage permit prior to the issuance of Public Works Clearance. The drainage plan should include all underground pipes, building drains, area drains and inlets. The project shall provide storm drainage calculations that adhere to the 2013 California Plumbing Code or submit a stamped and signed alternate engineered design for Public Works discretionary approval and should be designed to convey a 10-year storm event.
  - iii. If the project proposes to haul more than 10,000 cubic yards of cut/fill to or from the project site, a haul route permit is required. Prior to issuance of a grading permit, contact the Department of Transportation at (408) 535-3850 for more information concerning the requirements for obtaining this permit.
  - iv. Because this project involves a land disturbance of one or more acres, the applicant is required to submit a Notice of Intent to the State Water Resources Control Board and to prepare a Storm Water Pollution Prevention Plan (SWPPP) for controlling storm water discharges associated with construction activity. Copies of these documents must be submitted to the City Project Engineer prior to issuance of a grading permit.



- v. The Project site is within the State of California Seismic Hazard Zone. A geotechnical investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance. The investigation should be consistent with the guidelines published by the State of California (CGS Special Publication 117A) and the Southern California Earthquake Center (SCEC, 1999). A recommended depth of 50 feet should be explored and evaluated in the investigation.
- d. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of Best Management Practices (BMPs) which includes site design measures, source controls and numerically-sized Low Impact Development (LID) stormwater treatment measures to minimize stormwater pollutant discharges.
  - i. The project's Stormwater Control Plan and numeric sizing calculations have been reviewed and this project will be in conformance with City Policy 6-29.
  - ii. Final inspection and maintenance information on the post-construction treatment control measures must be submitted prior to issuance of a Public Works Clearance.
- e. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
- f. **Park land Dedication Ordinance.** This development is subject to the requirements of either the requirements of the City's Park Impact Ordinance (Chapter 14.25 of Title 14 of the San José Municipal Code) or the Parkland Dedication Ordinance (Chapter 19.38 of Title 19 of the San José Municipal Code,) for the dedication of land and/or payment of fees in-lieu of dedication of land for public park and/or recreational purposes under the formula contained within the parkland dedication ordinance and the associated Fees and Credit Resolutions.
- g. **Undergrounding:** The In Lieu Undergrounding Fee shall be paid to the City for all frontage adjacent to Horning Street prior to issuance of a Public Works Clearance. 100 percent of the base fee in place at the time of payment will be due. Currently, the 2018 base fee is \$485 per linear foot of frontage and is subject to change every January 31st based on the Engineering News Record's City Average Cost Index for the previous year. The project will be required to pay the current rate in effect at the time the Public Works Clearance is issued (based on 2018 rate, the fee is approximately \$230,055).
- h. **Street Improvements:**
  - i. Permittee shall be responsible to remove and replace curb, gutter, and sidewalk damaged during construction of the proposed project.

- ii. The ultimate curb to curb width for Horning Street is 40 feet. Reconstruct the curb, gutter, and sidewalk along Horning Street project frontage to conform to the Horning Street ultimate curb to curb width.
  - iii. Construct bioretention facilities at back of walk along Horning Street project frontage.
  - iv. Construct 10-foot wide sidewalk with tree wells along Horning Street and Old Oakland Road project frontages.
  - v. Irrevocable offer of dedication of up to 23 feet along Old Oakland Road will be required to conform to the US-101/Old Oakland Road plan line.
  - vi. Install City standard handicap ramp at the northwest corner of Horning Street and Old Oakland Road.
  - vii. Construct 32-foot wide City standard driveway on Horning Street project frontage.
  - viii. Permittee shall provide a \$150,000 contribution towards the construction of a signal controlled pedestrian crosswalk at Old Oakland Road/Boardwalk Way.
  - ix. Repair, overlay, or reconstruction of asphalt pavement may be required. The existing pavement will be evaluated with the street improvement plans and any necessary pavement restoration will be included as part of the final street improvement plans.
- i. **Electrical:**
- i. Existing electroliers along the project frontage will be evaluated at the public improvement stage and any street lighting requirements will be included on the public improvement plans.
  - ii. Provide clearance for electrical equipment from driveways, and relocate driveway or electrolier. The minimum clearance from driveways is 10' in commercial areas.
  - iii. Provide clearance for electroliers from overhead utilities and request clearance from utility companies. Clearance from electrolier(s) must provide a minimum of 10 feet from high voltage lines; 3 feet from secondary voltage lines; and 1 foot from communication lines.
- j. **Street Trees:** The locations of the street trees shall be determined at the street improvement stage. Contact the City Arborist at (408) 794-1901 for the designated street tree. Install street trees within public right-of-way along entire project street frontage per City standards; refer to the current "Guidelines for Planning, Design, and Construction of City Streetscape Projects". Street trees shall be installed in cut-outs at the back of curb. Obtain a DOT street tree planting permit for any proposed street tree plantings. Street trees shown on this permit are conceptual only.



- k. **Referrals:** This project shall be referred to the California Department of Transportation (Caltrans).
36. **Stormwater Peak Flow Control Measures:** The project is located in a non-Hydrmodification Management area and is not required to comply with the City's Post-Construction Hydrmodification Management Policy (Council Policy 8-14).
37. **Flood: Zone D,** The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood Zone D is an unstudied area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for Zone D.
38. **Conformance to Mitigation Monitoring and Reporting Program.** This project shall conform to all applicable requirements of the Mitigation Monitoring and Reporting Program (MMRP) approved for this development by City Council Resolution No. \_\_\_\_\_.

a. **AIR QUALITY**

**MM AIR-1.1:** The project shall ensure construction equipment be selected to minimize emissions to achieve a minimum fleet-wide average 77 percent reduction in particulate matter (PM<sub>2.5</sub>) exhaust emissions, compared to uncontrolled aggregate statewide emission rates for similar equipment. Such equipment selection shall include, but is not limited to, the following requirements:

- i. Mobile diesel-powered off-road equipment larger than 25 horsepower and operating on the site for more than two days continuously (or 20 hours in total) shall meet, at a minimum, one of the following:
- 1) Engines meeting United States EPA particulate matter emissions standards for Tier 4 engines or equivalent;
  - 2) Tier 2 Engines equipped with CARB-certified Level 3 Diesel Particulate Filters;
  - 3) Use of alternatively-fueled equipment (i.e., non-diesel) would meet this requirement; or
  - 4) Other measures may be the use of added exhaust devices, or a combination of measures, provided that these measures are demonstrated to reduce community risk impacts to less than significant.
- ii. The project applicant shall prepare a construction operations plan that includes specifications of the equipment to be used during construction. The plan shall be submitted to the Supervising Environmental Planner of the City of San José Department of Planning, Building, and Code Enforcement prior to the issuance of any grading permit. The plan shall be accompanied by a letter signed by a qualified air quality specialist, verifying that the equipment included in the plan meets the standards set forth in this mitigation measure.

**b. BIOLOGICAL RESOURCES**

**MM BIO-1:** The project applicant shall schedule demolition and construction activities to avoid the nesting season. The nesting season for most birds, including most raptors in the San Francisco Bay area extends from February 1st through August 31<sup>st</sup> (inclusive).

If it is not possible to schedule demolition and construction between September 1st and January 31st (inclusive) to avoid the nesting season, pre-construction surveys for nesting raptors and other migratory nesting birds shall be conducted by a qualified ornithologist to identify active nests that may be disturbed during project implementation on-site and within 250 feet of the site. Projects that commence demolition and/or construction activities between February 1st and April 30<sup>th</sup> (inclusive) shall conduct a pre-construction survey for nesting birds no more than 14 days prior to initiation of construction, demolition activities, or tree removal. Between May 1st and August 31<sup>st</sup> (inclusive), the pre-construction survey shall be conducted no more than 30 days prior to initiation of construction, demolition, or tree removal activities.

- c. If an active nest is found in or close enough to the project area to be disturbed by construction activities, a qualified ornithologist, in consultation with the California Department of Fish and Wildlife, shall determine the extent of a construction-free buffer zone (typically 250 feet for raptors and 100 feet for other birds) around the nest, to ensure that raptor or migratory bird nests would not be disturbed during ground disturbing activities. The construction-free buffer zones shall be maintained until after the nesting season has ended and/or the ornithologist has determined that the nest is no longer active.
- d. The ornithologist shall submit a report indicating the results of the survey and any designated buffer zones to the satisfaction of the Supervising Environmental Planner of the City of San José Department of Planning, Building and Code Enforcement prior to any grading, demolition, and/or building permit.

**e. HAZARDS AND HAZARDOUS MATERIALS.**

**MM HAZ-1:** Prior to the issuance of a demolition or grading permit, a Site Management Plan (SMP) shall be prepared by a qualified hazardous materials consultant to establish management practices for handling contaminated soil or other materials encountered during construction activities. Appropriate soil testing, characterization, storage, transportation, and disposal procedures shall be specified in the SMP. The sampling results shall be compared to appropriate risk-based screening levels in the SMP. The SMP shall identify potential health, safety, and environmental exposure considerations associated with redevelopment activities and shall identify appropriate mitigation measures.

The SMP shall be submitted to the Santa Clara County Department of Environmental Health (or equivalent agency) for review and approval. A copy of

the approved SMP shall be submitted to the Supervising Environmental Planner of the City of San José Department of Planning, Building, and Code Enforcement and Municipal Compliance Officer of the City of San José Environmental Services Department for approval prior to the issuance of any grading permits. The SMP shall include, but is not limited to, the following:

- i. A detailed discussion of the site background;
- ii. Proper mitigation as needed for demolition of existing structures;
- iii. Management of stockpiles, including sampling, disposal, and dust and runoff control including implementation of a stormwater pollution prevention program;
- iv. Management of underground structures encountered, including utilities and/or underground storage tanks;
- v. Procedures to follow if evidence of an unknown historic release of hazardous materials (e.g., underground storage tanks, polychlorinated biphenyls [PCBs], asbestos containing materials, lead-based paint, etc.) is discovered during excavation or demolition activities.
- vi. A health and safety plan (HSP) for each contractor working at the site that addresses the safety and health hazards of each site operation phase, including the requirements and procedures for employee protection. The HSP shall outline proper soil handling procedures and health and safety requirements to minimize work and public exposure to hazardous materials during construction.

### **39. Standard Environmental Permit Conditions**

#### **a. AIR QUALITY.**

The following measures shall be implemented during all phases of construction to control dust and exhaust at the project site:

- i. Water active construction areas at least twice daily or as often as needed to control dust emissions.
- ii. Cover trucks hauling soil, sand, and other loose materials and/or ensure that all trucks hauling such materials maintain at least two feet of freeboard.
- iii. Visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- iv. Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
- v. Roadways, driveways, and sidewalks to be paved shall be completed as soon as possible.

- vi. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
- vii. Replant vegetation in disturbed areas as quickly as possible.
- viii. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- ix. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations). Clear signage shall be provided for construction workers at all access points.
- x. Construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. Equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- xi. Post a publicly visible sign with the telephone number and person to contact regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.

**b. BIOLOGICAL RESOURCES.**

Tree Replacement. The removed trees would be replaced according to tree replacement ratios required by the City, as provided in Table 3.4-1 below.

| <b>Table 3.4-1: Tree Replacement Ratios</b>  |                                   |                   |                |  |
|--|-----------------------------------|-------------------|----------------|--|
| <b>Diameter of Tree to be Removed</b>  | <b>Type of Tree to be Removed</b> |                   |                | <b>Minimum Size of Each Replacement Tree</b> |
|  | <b>Native</b>                     | <b>Non-Native</b> | <b>Orchard</b> |  |
| 18 inches or more  | 5:1                               | 4:1               | 3:1            | 24-inch box                                  |
| 12 - 18 inches   | 3:1                               | 2:1               | none           | 24-inch box                                  |
| Less than 12 inches  | 1:1                               | 1:1               | none           | 15-gal. container                            |
| x:x = tree replacement to tree loss ratio<br>Note: Trees greater than or equal to 18-inch circumference shall not be removed unless a Tree Removal Permit, or equivalent, has been approved for the removal of such trees. |                                   |                   |                |  |

If the project cannot replace according to the Table 3.4-1 above, one or more of the following measures will be implemented, to the satisfaction of the City's Environmental Principal Planner, at the development permit stage:

- i. The size of a 15-gallon replacement tree can be increased to 24-inch box and count as two replacement trees.
- ii. Replacement tree plantings may be accommodated at an alternative site(s). An alternative site may include local parks or schools, or an adjacent property where such plantings may be utilized for screening purposes. However, any alternatively proposed site would be pursuant to agreement with the Director of the Department of Planning, Building and Code Enforcement.

Habitat Plan. The project applicant would be required to submit the Santa Clara Valley Habitat Plan Coverage Screening Form to the Supervising Environmental Planner of the City of San José Department of Planning, Building, and Code Enforcement (PBCE) for approval and payment of the nitrogen deposition fee prior to the issuance of a grading permit.

c. **CULTURAL RESOURCES.**

Structure of Merit. The following Standard Permit Conditions to address the loss of these historic resources that add to the historic fabric of the City of San José Historic Resources Inventory are required.

- i. *Documentation.* The documentation is to be prepared by a qualified consultant meeting the professional qualification standards of the Secretary of the Interior's Standard and Guidelines for Archeology and Historic Preservation. Submitted Department of Parks and Recreation, Primary Record (DPR A) and Building, Structure, and Object (DPR 523B) forms shall include the following:
  - 1) The bound and electronic copy of the Historic Report and/or DPR forms for the structures/site
  - 2) Non-HABS Archival Photo-Documentation:
  - 3) Cover sheet-The documentation shall include a cover sheet identifying the following:
    - a) Photographer, address of building, common or historic building name, date of construction, date of photographs and description of photographs.
    - b) Camera- A 35mm camera.
    - c) Lenses- May include normal focus length, wide angle and telephoto (no soft focus).
    - d) Filters-Photographer's choice. Use of a polar screen is encouraged.
    - e) Film-Must use black and white film; tri-X, Plus-X, or T-Max film is recommended.
    - f) View-Perspective view-front and other elevations. All photographs shall be composed to give primary consideration to the architectural

and/or engineering features of the structure with aesthetic considerations necessary, but secondary.

- g) Lighting-Sunlight is usually preferred for exteriors, especially of the front facade. Light overcast days, however, may provide more satisfactory lighting for some structures. A flash may be needed to cast light into porch areas or overhangs.
  - h) Technical-All areas of the photograph must be in sharp focus
- ii. *Submission of Photo-Documentation.* Evidence that the documentation, including the original prints and negatives, has been submitted to History San José [History San José, 1650 Senter Road, San José, CA 95112-2599, (408) 287-2290], shall be submitted to the Historic Preservation Officer. Digital photos may be provided as a supplement to, but not in place of, the above photo-documentation. The above shall be accompanied by a transmittal stating that the documentation is submitted in fulfillment of standard measures for the loss of the Structure of Merit, which shall be named and the address stated.
  - iii. *Relocation.* Prior to issuance of Public Works clearance, the structure(s) shall be advertised for relocation. The project applicant shall provide evidence that the structure has been retained and advertised for relocation by placing an advertisement in a newspaper of general circulation, posting on a website, and on-site posting for 30 days.
  - iv. *Salvage.* If relocation is not successful, prior to issuance of Public Works Clearance, the structure and site shall be retained and advertised for salvage by placing an advertisement in a newspaper of general circulation, posting on a website, and on-site posting for 30 days.

Prehistoric/Historic Resources. In the event that any prehistoric or historic resources are encountered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped, the Supervising Environmental Planner and Historic Preservation Officer of the Department of Planning, Building and Code Enforcement shall be notified, and a qualified archaeologist will examine the find and make appropriate recommendations prior to the issuance of a building. Recommendations could include collection, recordation, and analysis of any significant cultural materials. A report of findings documenting any data recovery during monitoring shall be submitted to the Supervising Environmental Planner and Historic Preservation Officer of the Department of Planning, Building and Code Enforcement prior to issuance of building permits.

Human Remains. If any human remains are found during any field investigations, grading, or other construction activities, all provisions of California Health and Safety Code Sections 7054 and 7050.5 and Public Resources Code Sections 5097.9 through 5097.99, as amended per Assembly Bill 2641, shall be followed. In the event of the discovery of human remains during construction, there shall be



no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The project applicant shall immediately notify the Supervising Environmental Planner of the City of San José Department of Planning, Building, and Code Enforcement and the qualified archaeologist, who will then notify the Santa Clara County Coroner. The Coroner will make a determination as to whether the remains are Native American.

If the remains are believed to be Native American, the Coroner will contact the Native American Heritage Commission (NAHC) within 24 hours. The NAHC will then designate a Most Likely Descendant (MLD). The MLD will inspect the remains and make a recommendation on the treatment of the remains and associated artifacts.

If one of the following conditions occurs, the landowner or his authorized representative shall work with the Coroner to reinter the Native American human remains and associated grave goods with appropriate dignity in a location not subject to further subsurface disturbance:

- i. The NAHC is unable to identify a MLD or the MLD failed to make a recommendation within 24 hours after being notified by the NAHC.
- ii. The MLD identified fails to make a recommendation; or
- iii. The landowner or his authorized representative rejects the recommendation of the MLD, and the mediation by the NAHC fails to provide measures acceptable to the landowner.

Paleontological Resources. If vertebrate fossils are discovered during construction, the Director of Planning, Building, and Code Enforcement shall be notified and all work on the site will stop immediately until a qualified professional paleontologist can assess the nature and importance of the find and recommend appropriate treatment. Treatment may include preparation and recovery of fossil materials so that they can be housed in an appropriate museum or university collection and may also include preparation of a report for publication describing the finds. The project proponent will be responsible for implementing the recommendations of the paleontological monitor, and a final report documenting the implementation of the treatment program shall be provided to the Supervising Environmental Planner and Historic Preservation Officer of the Department of Planning, Building and Code Enforcement.

d. GEOLOGY AND SOIL.

To avoid or minimize potential damage from seismic shaking, the project would be built using standard engineering and seismic safety design techniques. Building design and construction at the site will be completed in conformance with the recommendations of a design-level geotechnical investigation. The structural designs for the proposed development will account for repeatable horizontal ground accelerations. The report shall be reviewed and approved of by the City of



San José's Building Division as part of the building permit review and issuance process. The buildings shall meet the requirements of applicable Building and Fire Codes, including the 2016 California Building Code Chapter 16, Section 1613, as adopted or updated by the City. The project shall be designed to withstand soil hazards identified on the site and the project shall be designed to reduce the risk to life or property on site and off site to the extent feasible and in compliance with the Building Code.

The project shall be constructed in accordance with the standard engineering practices in the California Building Code, as adopted by the City of San José. In addition, the City of San José Department of Public Works requires a grading permit to be obtained prior to the issuance of a Public Works Clearance. These standard practices, including the measures outlined below, would ensure that future buildings on the site are designed properly to account for soils-related hazards on the site and to prevent soil erosion.

- i. The project shall conform to the recommendations of a project-specific geotechnical report, including design considerations for proposed foundations.
- ii. The project shall prepare and implement an Erosion Control Plan in conformance with the requirements of the Department of Public Works.

**e. HAZARDS AND HAZARDOUS MATERIALS.**

Based on BAAQMD and Cal/OSHA rules and regulations, the following conditions are required to limit impacts to construction workers and others from ACMs.

- i. In conformance with State and local laws, a visual inspection/pre-demolition survey, and possible sampling, shall be conducted prior to the demolition of on-site building to determine the presence of asbestos-containing materials and/or lead-based paint.
- ii. During demolition activities, all building materials containing lead-based paint shall be removed in accordance with Cal/OSHA Lead in Construction Standard, Title 8, California Code Regulations 1532.1, including employee training, employee air monitoring, and dust control. Any debris or soil containing lead-based paint or coatings would be disposed of at landfills that meet acceptance criteria for the waste being disposed.
- iii. All potentially friable ACMs shall be removed in accordance with NESHAP guidelines prior to building demolition or renovation that may disturb the materials. All demolition activities will be undertaken in accordance with Cal/OSHA standards contained in Title 8 of CCR, Section 1529, to protect workers from asbestos exposure.
- iv. A registered asbestos abatement contractor shall be retained to remove and dispose of ACMs identified in the asbestos survey performed for the site in accordance with the standards stated above.

- v. Materials containing more than one percent asbestos are also subject to BAAQMD regulations. Removal of materials containing more than one percent asbestos shall be completed in accordance with BAAQMD requirements and notifications.

Based on Cal/OSHA rules and regulations, the following conditions are required to limit impacts to construction workers and others lead-based paint.

- vi. To identify and quantify building materials containing lead-based paint, a building survey, including sampling and testing, shall be completed prior to the commencement of demolition activities.
- vii. During demolition activities, all building materials containing lead-based paint shall be removed in accordance with Cal/OSHA Lead in Construction Standard, Title 8, CCR 1532.1, including employee training, employee air monitoring and dust control.
- viii. Any debris or soil containing lead-based paint or coatings shall be disposed of at landfills that meet acceptance criteria for the waste being disposed.

f. **HYDROLOGY AND WATER QUALITY.**

The following project-specific measures, based on RWQCB BMPs, have been included in the project to reduce construction and development-related water quality impacts.

- i. Burlap bags filled with drain rock shall be installed around storm drains to route sediment and other debris away from the drains.
- ii. Earthmoving or other dust-producing activities shall be suspended during periods of high winds.
- iii. All exposed or disturbed soil surfaces shall be watered at least twice daily to control dust as necessary.
- iv. Stockpiles of soil or other materials that can be blown by the wind shall be watered or covered.
- v. All trucks hauling soil, sand, and other loose materials shall be required to cover all trucks or maintain at least two feet of freeboard.
- vi. All paved access roads, parking areas, staging areas and residential streets adjacent to the construction sites shall be swept daily (with water sweepers).
- vii. Vegetation in disturbed areas shall be replanted as quickly as possible.
- viii. All unpaved entrances to the site shall be filled with rock to knock mud from truck tires prior to entering City streets. A tire wash system may also be employed at the request of the City.
- ix. The project applicant shall comply with the City of San José Grading

Ordinance, including implementing erosion and dust control during site preparation and with the City of San José Zoning Ordinance requirements for keeping adjacent streets free of dirt and mud during construction.

- x. A Storm Water Permit will be administered by the State Water Resources Control Board (SWRCB). Prior to construction grading for the proposed land uses, the project proponent will file an NOI to comply with the General Permit and prepare a SWPPP which addresses measures that would be included in the project to minimize and control construction and post-construction runoff. Measures will include, but are not limited to, the aforementioned RWQCB Best Management Practices.
- xi. The SWPPP shall be posted at the project site and will be updated to reflect current site conditions.
- xii. When construction is complete, a Notice of Termination (NOT) for the General Permit for Construction shall be filed with the SWRCB. The NOT shall document that all elements of the SWPPP have been executed, construction materials and waste have been properly disposed of, and a post-construction stormwater management plan is in place as described in the SWPPP for the site.

**g. NOISE.**

Construction-Related Noise. Noise minimization measures includes, but is not limited to, the following:

- i. Construction activities shall be limited to the hours between 7:00 am and 7:00 pm, Monday through Friday, unless permission is granted with a development permit or other planning approval. No construction activities are permitted on the weekends at sites within 500 feet of a residence.
- ii. Construct solid plywood fences around ground level construction sites adjacent to operational businesses, residences, or other noise-sensitive land uses.
- iii. Equip all internal combustion engine-driven equipment with intake and exhaust mufflers that are in good condition and appropriate for the equipment.
- iv. Unnecessary idling of internal combustion engines shall be strictly prohibited.
- v. Locate stationary noise-generating equipment such as air compressors or portable power generators as far as possible from sensitive receptors. Construct temporary noise barriers to screen stationary noise-generating equipment when located near adjoining sensitive land uses.
- vi. Utilize "quiet" air compressors and other stationary noise sources where technology exists.
- vii. Control noise from construction workers' radios to a point where they are not audible at existing residences bordering the project site.

- viii. Notify all adjacent business, residences, and other noise-sensitive land uses of the construction schedule, in writing, and provide a written schedule of “noisy” construction activities to the adjacent land uses and nearby residences.
- ix. If complaints are received or excessive noise levels cannot be reduced using the measures above, a temporary noise control blanket barrier shall be erected along surrounding building facades that face the construction sites.
- x. Designate a "disturbance coordinator" who shall be responsible for responding to any complaints about construction noise. The disturbance coordinator shall determine the cause of the noise complaint (e.g., bad muffler, etc.) and shall require that reasonable measures be implemented to correct the problem. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include it in the notice sent to neighbors regarding the construction schedule.
- xi. Construction will be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday for any on-site or off-site work within 500 feet of any residential unit. Construction outside of these hours may be approved through a development permit based on a site-specific “construction noise mitigation plan” and a finding by the Director of Planning, Building and Code Enforcement that the construction noise mitigation plan is adequate to prevent noise disturbance of affected residential uses.

**Prior of Building Permits:** Prior to construction, during the design phase of the building, an acoustical study will be required to demonstrate to the City’s Chief Building Official that noise emissions from the car wash and fast-food restaurant speakers would conform to the City’s requirements. The purpose of the acoustical study is to ensure that appropriate noise reducing equipment (Proto-Vest Windshear II Dryer with incorporated Proto-Vest silencer and sound attenuating speakers, or equivalent) is included in the final design as currently proposed. Completion of this study would be required prior to issuance of a building permit.

**41. Revocation, Suspension, Modification.** This Planned Development Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council, as applicable, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing in accordance with Part 2 of Chapter 20.100 of Title 20 of the San José Municipal Code it finds:

- a. A violation of any conditions of the Planned Development Permit was not abated, corrected or rectified within the time specified on the notice of violation; or
- b. A violation of any City ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation; or
- c. The use as presently conducted creates a nuisance.

In accordance with the findings set forth above, a permit to use the subject property for said purpose specified above is hereby **approved**.

**EFFECTIVE DATE**

The effective date of this Permit (File No. PD16-027) shall be the effective date of the Planned Development Rezoning Ordinance for File No. PDC16-041 approved for publication on \_\_\_\_\_, 2018 (the "Planned Development Rezoning Ordinance") and shall be no earlier than the effective date of said Planned Development Rezoning Ordinance.

ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_, 2018, by the following vote:

AYES:

NOES:

ABSENT:

DISQUALIFIED:

\_\_\_\_\_  
SAM LICCARDO  
Mayor

ATTEST:

\_\_\_\_\_  
TONI J. TABER, CMC  
City Clerk

**NOTICE TO PARTIES**

*The time within which judicial review must be sought to review this decision is governed by the provisions of the California Code of Civil Procedure Section 1094.6.*

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN JOSE APPROVING A VESTING TENTATIVE MAP, SUBJECT TO CONDITIONS, TO SUBDIVIDE ONE PARCEL INTO THREE PARCELS ON AN APPROXIMATELY 3.26-GROSS ACRE SITE, ON THE NORTHWEST CORNER OF HORNING STREET AND OAKLAND ROAD (645 HORNING STREET)**

**FILE NO. PT16-037**

**WHEREAS**, pursuant to the provisions of Chapter 20.100 of Title 20 of the San José Municipal Code, on August 29, 2016, a concurrent application (File No. PT16-037) by Muthana Ibrahim, the applicant, was filed with the City of San José for a Vesting Tentative Map to subdivide one parcel into three parcels on an approximately 3.26-gross acre site, on that certain real property situated in the CIC(PD) Planned Development Zoning District (File No. PDC16-041) and located on the northwest corner of Horning Street and Oakland Road (645 Horning Street, San José, which real property is sometimes referred to herein as the “subject property”); and

**WHEREAS**, the subject property is all that real property more particularly described in Exhibit "A", entitled “Legal Description,” which is attached hereto and made a part hereof by this reference as if fully set forth herein; and

**WHEREAS**, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, the Planning Commission conducted a hearing on said concurrent applications on April 11, 2018, notice of which was duly given; and

**WHEREAS**, at said hearing, the Planning Commission gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

**WHEREAS**, at said hearing, the Planning Commission made a recommendation to the



City Council respecting said matter based on the evidence and testimony; and

**WHEREAS**, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, this City Council conducted a hearing on said application, notice of which was duly given; and

**WHEREAS**, at said hearing, this City Council gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

**WHEREAS**, at said hearing this City Council received and considered the reports and recommendations of the Planning Commission and the City's Director of Planning, Building and Code Enforcement; and

**WHEREAS**, at said hearing, this City Council received in evidence a development plan for the subject property entitled "Gas Station, Convenience Store, Carwash & Mini Storage," dated revised March 19, 2018, said plan is on file in the Department of Planning, Building and Code Enforcement and is available for inspection by anyone interested herein, and said development plan is incorporated herein by this reference, the same as if it were fully set forth herein; and

**WHEREAS**, said public hearing before the City Council was conducted in all respects as required by the San José Municipal Code and the rules of this City Council.

**NOW, THEREFORE**, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SAN JOSE THAT:

After considering all of the evidence presented at the Public Hearing, the City Council finds that the following are the relevant facts regarding this proposed project:

1. **Site Description and Surrounding Uses.** The subject 3.26-gross acre site is located at the northwest corner of Horning Street and Oakland Road. The site was developed

in 1950s with multiple industrial buildings totaling approximately 35,671 square feet, and the buildings are currently used for indoor storage and a car fabrication/repair shop with outdoor storage. The subject site is located at the edge of an existing industrial area: to the west and south is a mix of light manufacturing, storage and retail uses; to the north is the Oakland Road off-ramp from Interstate Highway 101; to the west is Oakland Road, a six-lane major arterial, and across this street is an existing multi-family residential development.

2. **Project Description.** The proposed project is a Vesting Tentative Map to subdivide one parcel into three parcels on an approximately 3.26-gross acre site
3. **General Plan Conformance.** The project has an Envision San José 2040 General Plan Land Use/Transportation Diagram designation of Combined Industrial/Commercial (CIC). This land use designation is intended for a wide variety of commercial, office, industrial developments, or a compatible mix of these uses. The proposed project would result in a mix of uses on the subject site, including mini-storage, gasoline service station, convenience store with attached drive-through car wash, and a restaurant with drive-through and late-night use. The proposed tentative map will allow both industrial and commercial uses to be located on the subject site and provide a buffer between existing residential and industrial uses in the area. The proposed site plan also includes design elements to improve connectivity and safety for both pedestrians and vehicles on the site:

- a. Land Use Policy LU-1.2: Encourage Walking. Create safe, attractive, and accessible pedestrian connections between developments and to adjacent public streets to minimize vehicular miles traveled.

*Analysis: Although the proposed project includes auto-oriented uses, such as two drive-throughs (restaurant and carwash), the proposed public improvements include a financial contribution towards a future pedestrian crosswalk at Oakland Road and Boardwalk Way. This would enhance pedestrian access on a long street corridor with limited crosswalks and connect nearby residential neighborhoods with commercial uses on the west side of Oakland Road.*

- b. Land Use Policy LU-4.4: ; Allow limited industrial uses in commercially designated areas if such uses are of a scale, design, or intensity that creates less than significant negative impacts to surrounding uses.

*Analysis: The proposed project includes both commercial (gasoline service station and carwash, retail, restaurant) and light industrial (mini-storage) uses on the site. The site is adjacent to a freeway off-ramp, access and circulation are limited, and aesthetic improvements are challenging. The proposed mini-storage would occupy the least accessible portion of the subject site and complement the existing commercial/industrial uses on adjacent properties. Overall, the proposed project would create a buffer and appropriate transition between the freeway and industrial uses and existing residential neighborhoods in the area.*

- c. Land Use Policy LU-5.5: Encourage pedestrian and vehicular connections between adjacent commercial properties with reciprocal-access easements to encourage safe, convenient, and direct pedestrian access and “one-stop” shopping. Encourage and facilitate shared parking arrangements through parking easements and cross-access between commercial properties to minimize parking areas and curb-cuts.

*Analysis: The proposed project includes a mix of commercial and industrial uses on one site. The proposed tentative map show reciprocal rights of ingress, egress, and parking between all proposed uses and parcels. A covenant of easement shall be conditioned in the Planned Development Permit to record the easements, prior to the issuance of a final map. With shared access and parking easements, the project would require only one standard curb-cut and driveway from Horning Street.*

- d. Vibrant Neighborhood Policy VN-1.7: Use new development within neighborhoods to enhance the public realm, provide for direct and convenient pedestrian access, and visually connect to the surrounding neighborhood. As opportunities arise, improve existing development to meet these objectives as well.

*Analysis: The existing street frontages along Horning Street and Oakland Road have limited sidewalks and vegetation. The proposed development would include new sidewalks with enhanced landscaping, trees, and pedestrian access to proposed commercial uses. In addition to new sidewalks, the project would provide a financial contribution for a new pedestrian crosswalk on Oakland Road and Boardwalk Way that would provide residents in the existing residential neighborhoods with a safer and more direct pedestrian connection to the new commercial uses.*

4. **Zoning Ordinance Compliance.** The site is currently in the LI Light Industrial Zoning District with a Combined Industrial / Commercial General Plan land use designation. The CIC(PD) Planned Development Zoning District would facilitate a development with both commercial and industrial uses on the subject site. A conventional CIC Combined Industrial/Commercial Zoning District would not permit a mini-storage use. Given that the subject site is adjacent to existing light industrial uses and south of an existing freeway off-ramp, the types of uses that could utilize the northern portion of the site are limited. Therefore, a Planned Development Zoning District that allows a mini-storage use together with additional commercial uses to serve travelers as well as nearby residential neighborhoods is a good use of the subject site. The proposed PD rezoning would allow a complementary mix of CIC Combined Industrial-Commercial, LI Light Industrial, and CG Commercial General uses on the site and enable full utilization of the site despite significant access constraints. The project is required to have a 15-foot front setback and rear and side setback of five feet. The project is has a 15 foot-front setback, a 10-foot side setback, and 15-foot rear setback. The maximum allowed height is 60 feet and the project has a maximum height of approximately 42 feet. The combined uses require 56 vehicle parking spaces and the project provides 56 vehicles spaces.

5. **Environmental Review.** An Initial Study (IS) and Mitigated Negative Declaration (MND) were prepared by the Planning, Building and Code Enforcement for the subject Planned Development Rezoning, Planned Development Permit, and Tentative Map. The environmental review evaluated a rezoning from the LI Light Industrial Zoning District to the CIC(PD) Zoning District and Tentative Map to demolish size existing buildings, and remove all associated pavement, landscaping, and fencing; and to construct a mix of new commercial buildings including an approximately 3,814-square foot convenience store, six fueling stations (12 total fuel dispensers), an approximately 1,341-square foot automatic carwash, and approximately 2,494-square foot fast-food restaurant with a drive-through, and self-storage facility with three buildings totaling approximately 92,116 square feet on an approximate 3.26 gross acre site located along the at 645 Horning Street. The documents were circulated for public comments between August 24, 2017 to September 14, 2017 and three formal comments letters and/or emails were received from the public. Some of the concerns that were highlighted in the comment letters include: traffic, pedestrian accommodations, compatibility to the existing neighborhood, and overconcentration of the proposed uses. Environmental comments have been addressed by staff in a formal Responses to Comments document.

As stated in the IS/MND and associated noise report (appendix G of the IS/MND), the existing ambient noise (based on long-term noise monitoring) ranges from 71 to 74 dBA day-night noise level (DNL). Noise experienced at the short-term monitoring locations ST-01 through ST-03 was also predominately due to vehicular traffic on the local roadway network. Overall noise levels measured at the short-term environmental noise monitoring locations ranged from approximately 64 to 74 dBA Leq. The main noise generator in this site are roadway traffic noise and operations of the existing industrial uses. Based on the analysis presented, the project would add into this noise level. However, the project-related effects on the baseline ambient noise environment were calculated to result in a change of less than 1 dBA to approximately 2 dBA. In addition, while the project site is not immediate adjacent to any sensitive receptors, noise measure were also considered for these properties located across Oakland and Horning roadways. The project related effects on the baseline ambient noise environment at noise sensitive residential receptors were calculated to result in a change of less than 1 dBA. Therefore, the increase would be less than 3 or 5 dBA DNL and would not conflict with EC-1.2 and would result in a less-than-significant impact under CEQA.

The primary environmental issues that required mitigation measures are air quality, biological resources, and hazards and hazardous materials resource areas. The IS/MND includes mitigation measures that would reduce any potentially significant project impacts to a less-than-significant level. In addition to the mitigation measures, other permit conditions in regards to lighting requirements, nuisance, and maintenance of the site are included in the Planned Development Permit as conditions of approval to ensure all potential impacts have been addressed.

## FINDINGS

The City Council concludes and finds, based on the analysis of the above facts, that:

1. **Conformance with the Subdivision Ordinance and the Subdivision Map Act.** In accordance with San José Municipal Code (SJMC) section 19.12.130, the City Council may approve the tentative map if the City Council cannot make any of the findings for denial in Government Code Section 66474 and the City Council has reviewed and considered the information relating to compliance of the project with the California Environmental Quality Act and determines the environmental review to be adequate. Additionally, the City Council may approve the project if the City Council does not make any of the findings for denial in San José Municipal Code Section 19.12.220.

a. The City Council finds that the proposed subdivision shown on the Vesting Tentative Map, subject to the conditions listed below and the requirements for project design and improvements is consistent with applicable General and Specific Plans of the City of San José, in that:

*Analysis: As discussed in detail above, the proposed project is consistent with the General Plan.*

b. The City Council has considered the proposed subdivision shown on the Vesting Tentative Map, with the imposed conditions, to determine whether to make any of the findings set forth in subsections of Section 66474 of the Government Code of the State of California which states "A legislative body of a city or county shall deny approval of a tentative map, or a parcel map for which a tentative map was not required, if it makes any of the following findings:"

- i. That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.
- ii. That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
- iii. That the site is not physically suitable for the type of development.
- iv. That the site is not physically suitable for the proposed density of development.
- v. That the design of the subdivision or the proposed improvements is likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- vi. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- vii. That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access



through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.

*Analysis: Based on review of the proposed subdivision, the City Council cannot not make any such findings to deny the subject subdivision in that: 1) the proposed map/project is consistent with the General Plan as noted above; 2) the proposed design of the lots are consistent with the General Plan in that the lots are of adequate size to support developments; 3) the proposed site is physically suitable for the proposed development, additionally as three parcels that are being created are dependent upon each other for parking and access purposes a Covenants of Easement would be recorded against the property memorializing these easements and will require all parties to maintain these easements; 4) the proposed density is suitable for the proposed site based on the FAR allowance of the General Plan; 5) the proposed subdivision in this urban setting will not cause any environmental damage or substantially injure fish or other wildlife habitat; 6) the subdivision lots will not cause any public health issues; 7) the proposed subdivision will not conflict with any public easements, as the project is providing all necessary public easements, all explained in detail above and in the administrative record. Based on that review, the City Council does not make any such denial findings for the subject subdivision.*

In accordance with the findings set forth above, a Vesting Tentative Map to use the subject property for said purpose specified above and subject to each and all of the conditions hereinafter set forth is hereby **approved**. This City Council expressly declares that it would not have granted this permit and determination except upon and subject to each and all of said conditions, each and all of which conditions shall run with the land and be binding upon the owner and all subsequent owners of the subject property, and all persons who use the subject property for the use permitted hereby.

#### **APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:**

1. **Acceptance of Vesting Tentative Map.** Per Section 19.12.230, should the Subdivider fail to file a timely and valid appeal of this Vesting Tentative Map within the applicable appeal period, such inaction by the Subdivider shall be deemed to constitute all of the following on behalf of the Subdivider:



- a. Acceptance of the Vesting Tentative Map by the Subdivider; and
  - b. Agreement by the Subdivider to be bound by, to comply with, and to do all things required of or by the Subdivider pursuant to all of the terms, provisions, and conditions of this permit or other approval and the provisions of Title 19 applicable to such Vesting Tentative Map.
2. **Expiration of Vesting Tentative Map.** This Vesting Tentative Map shall automatically expire 48 months from and after the date of issuance hereof by the Director of Planning of the City of San José. The date of issuance is the date this Vesting Tentative Map is approved by the City Council.
3. **Development Rights - Vesting on Approval of Vesting Tentative Map.**
- a. Per San José Municipal Code Section 19.13.070, the approval or conditional approval of a vesting tentative map shall confer a vested right to proceed with development in substantial compliance with the ordinances, policies, and standards described in Government Code Section 66474.2. However, if Section 66474.2 of the Government Code is repealed, the approval or conditional approval of a vesting tentative map shall confer a vested right to proceed with development in substantial compliance with the ordinances, policies, and standards in effect at the time the vesting tentative map is approved or conditionally approved.
  - b. Notwithstanding subsection 3.a., above, any permit, including a building permit, approval, extension, or entitlement may be made conditional or denied if any of the following are determined:
    - i. A failure to do so would place the residents of the subdivision or the immediate community, or both, in a condition dangerous to their health or safety, or both.
    - ii. The condition or denial is required, in order to comply with state or federal law.
  - c. The rights referred to herein shall expire if a final map is not approved prior to the expiration of the vesting tentative map as provided in Section 19.13.060. If the final map is approved, these rights shall last for the following periods of time:
    - i. An initial time period of one year. Where several final maps are recorded on various phases of a project covered by a single vesting tentative map, this one-year initial time period shall begin for each phase when the final map for that phase is recorded. All of said final maps or parcel maps must be recorded within the time period set forth in Section 19.13.060 or the vesting tentative map approval shall expire for those parcels for which final maps or parcel maps are not timely recorded.
    - ii. The initial time period set forth in 3.c.i. shall be automatically extended by any time used for processing a complete application for a grading permit if such processing exceeds thirty days from the date a complete application is filed.
    - iii. A subdivider may apply to the director for a one-year extension at any time before

the initial time period set forth in 3.c.i expires. If the extension is denied, the subdivider may appeal that denial to the city council within fifteen (15) days.

- iv. If the subdivider submits a complete application for a building permit during the periods of time specified in 3.c.i. through 3.c.iii., above, the rights referred to herein shall continue until the expiration of that permit, or any extension of that permit.
4. **Conformance to Plans.** Development shall conform to this approved Vesting Tentative Map plans dated revised March 19, 2018 and to the San José Building Code (San José Municipal Code, Title 17, Chapter 17.04).
5. **Compliance with Subdivision Ordinance.** The final map shall comply with all of the requirements for final maps in Chapter 19.16 of the San José Municipal Code and shall show and contain all of the data required by San José Municipal Code Section 19.16.110.
6. **Conformance with Other Permits.** The subject Vesting Tentative Map conforms to and complies in all respects with the Planned Development Permit File No. PD16-027 on which such Vesting Tentative Map is based. Approval of said Vesting Tentative Map shall automatically expire with respect to any portion of the lands covered by such Vesting Tentative Map on which a Final Map or Tract Map has not yet been recorded if, prior to recordation of a Final Map or Tract Map thereon, the Planned Development Permit for such lands automatically expires or for any reason ceases to be operative.
7. **Improvements.** Pursuant to the Subdivision Agreement (hereinafter referred to as "Agreement"), the Subdivider shall, before approval and recording of the Final Map, improve or agree to improve all land within the subdivision and all land outside, but appurtenant to, the Subdivision shown on the Vesting Tentative Map for public or private streets, alleys, pedestrian ways and easements to the satisfaction of the Director of Public Works.
8. **Improvement Contract.** In the event subdivider has not completed the improvements required for his proposed subdivision at the time the final map is presented for approval, subdivider shall enter into a subdivision improvement agreement with the City of San José, in accordance with Section 19.32.130 of the San José Municipal Code, and provide the improvement security and insurance required therein.
9. **Public Use Easements.** Subdivider shall dedicate on the final map for public use easements for public utilities, emergency access, open space, streets, pedestrian ways, sanitary sewers, drainage, flood control channels, water systems, and parking in and upon all areas within the subdivision shown on the Vesting Tentative Map for the subdivision to be devoted to such purposes.
10. **Conveyance of Easements.** Subdivider shall convey or cause to be conveyed to the City of San José, easements in and upon all areas as shown on the Vesting Tentative Map outside the boundaries of, but appurtenant to, the subdivision. Should a separate

instrument be required for the conveyance of the easement(s), it shall be recorded prior to the recordation of the Final Map. Such easements so conveyed shall be shown on the Final Map, together with reference to the Book and Page in the Official Recorder of Santa Clara County, where each instrument conveying such easements is recorded.

11. **Covenant of Easement.** Prior to the issuance of the final map, the permittee shall receive a covenant of easement for the reciprocal rights for shared parking, ingress and egress.
12. **Demolition.** All structures that are on proposed property lines or within the required setback of a property line shown on the tentative map shall be approved for demolition prior to approval of the final map subdividing the parcel into three parcels.
13. **Final Map.** No Final Map or Tract Map shall be approved by City Council unless and until the appeal period for the development permit, City File No. PD16-027 has expired and all appeals have been exhausted.
14. **Sewage Treatment Demand.** Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the subdivider for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José-Santa Clara Regional Wastewater Facility represented by approved land uses in the area served by said Plant would cause the total sewage treatment demand to meet or exceed the capacity of San José-Santa Clara Regional Wastewater Facility to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approval authority.
15. **Sewage Fees:** In accordance with City Ordinance, all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable to the Department of Public Works prior to Public Works clearance.
16. **Compliance with Local and State Laws.** The subject use shall be conducted in full compliance with all local and state laws. No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code. The Vesting Tentative Map shall be subject to revocation if the subject use is conducted in such a manner as to cause a nuisance.
17. **Parkland Dedication Ordinance.** This development is subject to the requirements of either the requirements of the City's Park Impact Ordinance (Chapter 14.25 of Title 14 of the San José Municipal Code) or the Parkland Dedication Ordinance (Chapter 19.38 of Title 19 of the San José Municipal Code,) for the dedication of land and/or payment of fees in-lieu of dedication of land for public park and/or recreational

purposes under the formula contained within the parkland dedication ordinance and the associated Fees and Credit Resolutions.

**18. Conformance to Mitigation Monitoring and Reporting Program.** This Project shall conform to all applicable requirements of the Mitigation Monitoring and Reporting Program (MMRP) approved for this development by City Council Resolution No. \_\_\_\_\_.

**19. Public Works Clearance for Building Permit(s) or Map Approval:** Prior to the approval of the Tract by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the applicant will be required to have satisfied all of the following Public Works conditions as described in the Planned Development Permit (PD16-027).

**20. Revocation, Suspension, Modification.** This Vesting Tentative Map is subject to revocation, suspension or modification for violation of any of its provisions or condition.

In accordance with the findings set forth above, a Vesting Tentative Map Permit to use the subject property for said purpose specified above is hereby **approved**.

#### **EFFECTIVE DATE**

The effective date of this Vesting Tentative Map shall be the same effective date of the Planned Development Zoning Ordinance for File No. PDC16-041 adopted on \_\_\_\_\_, 2018 (the "Planned Development Zoning Ordinance") and shall be no earlier than the effective date of said Planned Development Zoning Ordinance.

APPROVED and issued this \_\_\_\_\_ day of \_\_\_\_\_, 2018, by the following vote:

AYES:

NOES:

ABSENT:

DISQUALIFIED:

---

SAM LICCARDO  
Mayor

ATTEST:

---

TONI J. TABER, CMC  
City Clerk

**NOTICE TO PARTIES**

*The time within which judicial review must be sought to review this decision is governed by the provisions of the California Code of Civil Procedure Section 1094.6.*

DRAFT

# **MITIGATION MONITORING AND REPORTING PROGRAM**

---

**645 Horning Street Gas Station, Food, & Storage Project**

**File Numbers: PDC16-041, PD16-027, PT16-037**

**September 2017**

---





## PREFACE

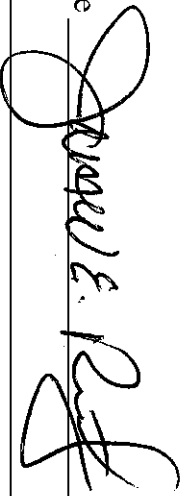
Section 21081.6 of the California Environmental Quality Act (CEQA) requires a Lead Agency to adopt a Mitigation Monitoring and Reporting Program whenever it approves a project for which measures have been required to mitigate or avoid significant effects on the environment. The purpose of the monitoring and reporting program is to ensure compliance with the mitigation measures during project implementation.

The Initial Study/Mitigated Negative Declaration prepared for the 645 Homing Gas Station, Food, and Storage Project concluded that the implementation of the project could result in significant effects on the environment and mitigation measures were incorporated into the proposed project or are required as a condition of project approval. This Mitigation Monitoring and Reporting Program addresses those measures in terms of how and when they will be implemented.

This document does *not* discuss those subjects for which the Initial Study/Mitigated Negative Declaration concluded that the impacts from implementation of the project would be less than significant.

I, Tim Rudolph the applicant, on the behalf of Heavensville, hereby agree to fully implement the Mitigation Measures described below which have been developed in conjunction with the preparation of an Initial Study/Mitigated Negative Declaration for my proposed project. I understand that these mitigation measures or substantially similar measures will be adopted as conditions of approval with my development permit request to avoid or significantly reduce potential environmental impacts to a less than significant level, where feasible.

Project Applicant's Signature



Date

2/28/13



| Adopted Mitigation Measures   | MONITORING AND REPORTING PROGRAM                                    |   |   |   |                                      |   |
|---|---|---|---|---|--------------------------------------|---|
|   | Documentation of Compliance<br>(Applicant/Proponent Responsibility) |   |   | Documentation of Compliance<br>(Lead Agency Responsibility)                                     |                                      |   |
|   | Responsibility for Implementation                                   | Method of Compliance or Mitigation Action   | Timing of Compliance  | Oversight Responsibility  | Actions/Reports                      | Monitoring Timing or Schedule   |
| <b>Air Quality</b>  |   |   |   |   |                                      |   |
| <p><b>Impact AIR-1:</b> Cancer risk from construction activities would exceed both the single-source and cumulative-source significance thresholds at the residence with the maximum impact, assuming an infant at the receptor site.</p>   |   |   |   |   |                                      |   |
| <p><b>MM AIR-1.1:</b> The project shall ensure construction equipment be selected to minimize emissions to achieve a minimum fleet-wide average 77 percent reduction in particulate matter (PM2.5) exhaust emissions, compared to uncontrolled aggregate statewide emission rates for similar equipment. Such equipment selection shall include, but is not limited to, the following requirements:</p> <ul style="list-style-type: none"> <li>• Mobile diesel-powered off-road equipment larger than 25 horsepower and operating on the site for more than two days continuously (or 20 hours in total) shall meet, at a minimum, one of the following:               <ul style="list-style-type: none"> <li>○ Engines meeting United States Environmental Protection Agency particulate matter emissions standards for Tier 4 engines or equivalent;</li> </ul> </li> </ul> | Project applicant and contractors.                                  | Submit a construction operations plan, including equipment specifications and verification that the equipment selected will meet the standard set forth in the mitigation measures AIR-1.1. | Prior to issuance of any grading, demolition, and/or building permit and during construction activities | Supervising Environmental Planner of the Department of Planning, Building, and Code Enforcement | Review construction operations plan. | Prior to issuance of grading, demolition, and/or building permit and during construction activities |

| Adopted Mitigation Measures   | MONITORING AND REPORTING PROGRAM                                    |   |                      |   |                 |                               |
|---|---|---|----------------------|---|-----------------|-------------------------------|
|   | Documentation of Compliance<br>(Applicant/Proponent Responsibility) |   |                      | Documentation of Compliance<br>(Lead Agency Responsibility) |                 |                               |
|   | Responsibility for Implementation                                   | Method of Compliance or Mitigation Action | Timing of Compliance | Oversight Responsibility                                    | Actions/Reports | Monitoring Timing or Schedule |
| <ul style="list-style-type: none"> <li>○ Tier 2 Engines equipped with California Air Resources Board-certified Level 3 Diesel Particulate Filters;<sup>1</sup></li> <li>○ Use of alternatively-fueled equipment (i.e., non-diesel) would meet this requirement; or</li> <li>○ Other measures may be the use of added exhaust devices, or a combination of measures, provided that these measures are demonstrated to reduce community risk impacts to less than significant.</li> <li>● The project applicant shall prepare a construction operations plan that includes specifications for equipment to be used during construction. The plan shall be submitted to the Supervising Environmental Planner of the City of San José Department of Planning, Building, and Code Enforcement prior to the issuance of any grading permit. The plan shall be accompanied by a letter signed by a qualified air quality specialist, verifying that the equipment included in the plan meets the standards set forth in this mitigation measure.</li> </ul> |   |   |                      |   |                 |                               |

<sup>1</sup> See <http://www.arb.ca.gov/diesel/verdev/vt/cvt.htm>.

| Adopted Mitigation Measures   | MONITORING AND REPORTING PROGRAM                                    |  |  |   |   |  |
|---|---|--|--|---|---|--|
|   | Documentation of Compliance<br>(Applicant/Proponent Responsibility) |  |  | Documentation of Compliance<br>(Lead Agency Responsibility)   |   |  |
|   | Responsibility for Implementation                                   | Method of Compliance or Mitigation Action  | Timing of Compliance   | Oversight Responsibility  | Actions/Reports   | Monitoring Timing or Schedule                                      |
| <b>Biological Resources</b>   |   |  |  |   |   |  |
| <b>Impact BIO-1:</b> Construction and demolition activities, including the removal of trees from the project site, could impact nesting migratory birds.  |   |  |  |   |   |  |
| <p><b>MM BIO-1.1:</b> The project applicant shall schedule demolition and construction activities to avoid the nesting season. The nesting season for most birds, including most raptors in the San Francisco Bay area extends from February 1st through August 31st.</p> <p>If it is not possible to schedule demolition and construction between September 1<sup>st</sup> and January 31<sup>st</sup> to avoid the nesting season, pre-construction surveys for nesting raptors and other migratory nesting birds shall be conducted by a qualified ornithologist to identify active nests that may be disturbed during project implementation on-site and within 250 feet of the site. Projects that commence demolition and/or construction activities between February 1st and April 30th, shall conduct a pre-construction survey for nesting birds no more than 14 days prior to initiation of construction, demolition activities, or tree removal. Between May 1st and August 31st, the pre-construction survey shall be conducted no more than 30 days prior to initiation of construction, demolition, or tree removal activities.</p> | Project applicant and contractors.                                  | <p>Avoidance of construction activities during nesting seasons</p> <p>If avoidance of construction activities during nesting seasons is not feasible, a pre-construction nesting bird survey shall be conducted by a qualified ornithologist and construction-free buffer zones shall be designated around any discovered nest.</p> <p>Following completion of the preconstruction</p> | Prior to issuance of grading, demolition, and/or building permits, as necessary. | Supervising Environmental Planner of the City of San José Department of Planning, Building, and Code Enforcement, CDFW. | <p>Confirm that demolition and construction activities are scheduled outside of the nesting season.</p> <p>Review the preconstruction survey report indicating the results of the survey and any designated buffer-zones.</p> | Prior to issuance of grading, demolition, and/or building permits. |

| Adopted Mitigation Measures   | MONITORING AND REPORTING PROGRAM                                    |   |                      |   |                 |                               |
|---|---|---|----------------------|---|-----------------|-------------------------------|
|   | Documentation of Compliance<br>(Applicant/Proponent Responsibility) |   |                      | Documentation of Compliance<br>(Lead Agency Responsibility) |                 |                               |
|   | Responsibility for Implementation                                   | Method of Compliance or Mitigation Action   | Timing of Compliance | Oversight Responsibility                                    | Actions/Reports | Monitoring Timing or Schedule |
| <p>If an active nest is found in or close enough to the project area to be disturbed by construction activities, a qualified ornithologist, in consultation with the California Department of Fish and Wildlife, shall determine the extent of a construction-free buffer zone (typically 250 feet for raptors and 100 feet for other birds) around the nest, to ensure that raptor or migratory bird nests would not be disturbed during ground disturbing activities. The construction-free buffer zones shall be maintained until after the nesting season has ended and/or the ornithologist has determined that the nest is no longer active.</p> <p>The ornithologist shall submit a report indicating the results of the survey and any designated buffer zones to the satisfaction of the Supervising Environmental Planner of the City of San José Department of Planning, Building and Code Enforcement prior to any grading, demolition, and/or building permit.</p> |   | <p>survey, the project applicant shall submit a report prepared by a qualified ornithologist to document the results of the survey and any designated construction-free buffer zones.</p> |                      |   |                 |                               |

| Adopted Mitigation Measures   | MONITORING AND REPORTING PROGRAM                                    |  |   |   |                               |   |
|---|---|--|---|---|-------------------------------|---|
|   | Documentation of Compliance<br>(Applicant/Proponent Responsibility) |  |   | Documentation of Compliance<br>(Lead Agency Responsibility)   |                               |   |
|   | Responsibility for Implementation                                   | Method of Compliance or Mitigation Action                      | Timing of Compliance  | Oversight Responsibility  | Actions/Reports               | Monitoring Timing or Schedule             |
| <b>Hazards and Hazardous Materials</b>  |   |  |   |   |                               |   |
| <b>Impact HAZ-1:</b> Hazardous materials contamination on the site, if discovered in soil or groundwater, could pose a risk to construction workers and others on or around the project site.   |   |  |   |   |                               |   |
| <p><b>MM HAZ-1.1:</b> Prior to the issuance of a demolition or grading permit, a Site Management Plan (SMP) shall be prepared by a qualified hazardous materials consultant to establish management practices for handling contaminated soil or other materials encountered during construction activities. Appropriate soil testing, characterization, storage, transportation, and disposal procedures shall be specified in the SMP. The sampling results shall be compared to appropriate risk-based screening levels in the SMP. The SMP shall identify potential health, safety, and environmental exposure considerations associated with redevelopment activities and shall identify appropriate mitigation measures.</p> <p>The SMP shall be submitted to the Santa Clara County Department of Environmental Health (or equivalent agency) for review and approval. A copy of the approved SMP shall be submitted to the Supervising Environmental Planner of the City of San José Department of Planning, Building, and Code Enforcement and Municipal Compliance Officer of the City of San Jose Environmental</p> | Project applicant and contractors.                                  | Preparation of the SMP and implementation of the SMP measures. | Prior to issuance of any grading permit; during construction. | Santa Clara County Department of Environmental Health or equivalent agency.<br><br>Supervising Environmental Planner of the Department of Planning, Building, and Code Enforcement, Environmental Services Department | Review and approve of the SMP | Prior to issuance of any grading permits. |



| Adopted Mitigation Measures  | MONITORING AND REPORTING PROGRAM                                    |   |                      |   |                 |                               |
|--|---|---|----------------------|---|-----------------|-------------------------------|
|  | Documentation of Compliance<br>(Applicant/Proponent Responsibility) |   |                      | Documentation of Compliance<br>(Lead Agency Responsibility) |                 |                               |
|  | Responsibility for Implementation                                   | Method of Compliance or Mitigation Action | Timing of Compliance | Oversight Responsibility                                    | Actions/Reports | Monitoring Timing or Schedule |
| <p>Services Department for approval prior to the issuance of any grading permits. The SMP shall include, but is not limited to, the following:</p> <ul style="list-style-type: none"> <li>• A detailed discussion of the site background;</li> <li>• Proper mitigation as needed for demolition of existing structures;</li> <li>• Management of stockpiles, including sampling, disposal, and dust and runoff control including implementation of a stormwater pollution prevention program;</li> <li>• Management of underground structures encountered, including utilities and/or underground storage tanks;</li> <li>• Procedures to follow if evidence of an unknown historic release of hazardous materials (e.g., underground storage tanks, polychlorinated biphenyls [PCBs], asbestos containing materials, lead-based paint, etc.) is discovered during excavation or demolition activities.</li> <li>• A health and safety plan (HSP) for each contractor working at the site that addresses the safety and health hazards of each site operation phase, including the requirements and</li> </ul> |   |   |                      |   |                 |                               |

| Adopted Mitigation Measures   | MONITORING AND REPORTING PROGRAM                                    |   |                      |   |                 |                               |
|---|---|---|----------------------|---|-----------------|-------------------------------|
|   | Documentation of Compliance<br>(Applicant/Proponent Responsibility) |   |                      | Documentation of Compliance<br>(Lead Agency Responsibility) |                 |                               |
|   | Responsibility for Implementation                                   | Method of Compliance or Mitigation Action | Timing of Compliance | Oversight Responsibility                                    | Actions/Reports | Monitoring Timing or Schedule |
| procedures for employee protection. The HSP shall outline proper soil handling procedures and health and safety requirements to minimize work and public exposure to hazardous materials during construction. |   |   |                      |   |                 |                               |

**Source:** City of San José. Initial Study/Mitigated Negative Declaration for 645 Horning Street Gas Station, Food, and Storage Project. August 2017.

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN JOSE ADOPTING THE 645 HORNING STREET GAS STATION, FOOD, AND STORAGE MITIGATED NEGATIVE DECLARATION, FOR WHICH AN INITIAL STUDY WAS PREPARED, ALL IN ACCORDANCE WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT, AS AMENDED, AND ADOPTING A RELATED MITIGATION MONITORING AND REPORTING PROGRAM**

**WHEREAS**, prior to the adoption of this Resolution, the Planning Director of the City of San José prepared an Initial Study and approved for circulation a Mitigated Negative Declaration for the 645 Horning Street Gas Station, Food, and Storage Project under Planning File Nos. PDC16-045, PD16-027, and PT16-037 (the “Initial Study/Mitigated Negative Declaration”), all in accordance with the requirements of the California Environmental Quality Act of 1970, together with state and local guidelines implementing said Act, all as amended to date (collectively “CEQA”); and

**WHEREAS**, the 645 Horning Street Gas Station, Food, and Storage Project (the “Project”) analyzed under the Initial Study/Mitigated Negative Declaration consists of a rezoning from the LI Light Industrial Zoning District to the CIC(PD) Zoning District and Tentative Map to demolish size existing buildings, and remove all associated pavement, landscaping, and fencing; and to construct a mix of new commercial buildings including an approximately 3,814-square foot convenience store, six fueling stations (12 total fuel dispensers), an approximately 1,341-square foot automatic carwash, and approximately 2,494-square foot fast-food restaurant with a drive-through, and self-storage facility with three buildings totaling approximately 92,116 square feet on an approximate 3.26 gross acre site located along the at 645 Horning Street, which is situated on the north side of Horning Street at the intersection of Oakland Road, in the City of San José (Assessor’s Parcel Number 235-18-001), San José, California; and

**WHEREAS**, the Initial Study/Mitigated Negative Declaration concluded that implementation of the Project could result in certain significant effects on the environment and identified mitigation measures that would reduce each of those significant effects to a less-than-significant level; and

**WHEREAS**, in connection with the approval of a project involving the preparation of an initial study/mitigated negative declaration that identifies one or more significant environmental effects, CEQA requires the decision making body of the lead agency to incorporate feasible mitigation measures that would reduce those significant environmental effects to a less-than-significant level; and

**WHEREAS**, whenever a lead agency approves a project requiring the implementation of measures to mitigate or avoid significant effects on the environment, CEQA also requires a lead agency to adopt a mitigation monitoring and reporting program to ensure compliance with the mitigation measures during project implementation, and such a mitigation monitoring and reporting program has been prepared for the Project for consideration by the decision-maker of the City of San José as lead agency for the Project (the “Mitigation Monitoring and Reporting Program”); and

**WHEREAS**, the City of San José is the lead agency on the Project, and the City Council is the decision-making body for the proposed approval to undertake the Project; and

**WHEREAS**, the City Council has reviewed and considered the Initial Study/Mitigated Negative Declaration and related Mitigation Monitoring and Reporting Program for the Project and intends to take actions on the Project in compliance with CEQA and state and local guidelines implementing CEQA; and

**WHEREAS**, the Initial Study/Mitigated Negative Declaration and related Mitigation Monitoring and Reporting Program for the Project are on file in the Office of the Director of Planning, located at 200 East Santa Clara Street, 3rd Floor Tower, San José, California, 95113, are available for inspection by any interested person at that location and are, by this reference, incorporated into this Resolution as if fully set forth herein;

**NOW, THEREFORE**, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SAN JOSE:

**THAT THE CITY COUNCIL** does hereby make the following findings: (1) it has independently reviewed and analyzed the Initial Study/Mitigated Negative Declaration and other information in the record and has considered the information contained therein, prior to acting upon or approving the Project, (2) the Initial Study/Mitigated Negative Declaration prepared for the Project has been completed in compliance with CEQA and is consistent with state and local guidelines implementing CEQA, and (3) the Initial Study/ Mitigated Negative Declaration represents the independent judgment and analysis of the City of San José, as lead agency for the Project. The City Council designates the Director of Planning at the Director's Office at 200 East Santa Clara Street, 3rd Floor Tower, San José, California, 95113, as the custodian of documents and records of proceedings on which this decision is based.

**THAT THE CITY COUNCIL** does hereby find that based upon the entire record of proceedings before it and all information received that there is no substantial evidence that the Project will have a significant effect on the environment and does hereby adopt the Mitigated Negative Declaration and related Mitigation Monitoring and Reporting Program prepared for the Project (Planning File Nos. PDC16-041, PD16-027, PT16-037). The Mitigation Monitoring and Reporting Program for the Project is attached hereto as Exhibit "A" and fully incorporated herein. The Initial Study/ Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program are: (1) on file in the

Office of the Director of Planning, located at 200 East Santa Clara Street, 3rd Floor Tower, San José, California, 95113 and (2) available for inspection by any interested person.

ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2017, by the following vote:

AYES:

NOES:

ABSENT:

DISQUALIFIED:

\_\_\_\_\_  
SAM LICCARDO  
Mayor

ATTEST:

\_\_\_\_\_  
TONI J. TABER, CMC  
City Clerk



# GAS STATION, CONVENIENCE STORE, CARWASH & MINI STORAGE

645 HORNING STREET  
SAN JOSE, CALIFORNIA

PROJECT FILE NO. : PDC16-041

## DRAWING INDEX

|        |                                      |
|--------|--------------------------------------|
| 1      | TITLE SHEET                          |
| 2      | LAND USE PLAN                        |
| 2.1    | DEVELOPMENT STANDARDS                |
| 3      | CONCEPTUAL SITE PLAN                 |
| 1 OF 4 | COVER SHEET                          |
| 2 OF 4 | CONCEPTUAL DEMOLITION PLAN           |
| 3 OF 4 | RECORD OF SURVEY                     |
| 4 OF 4 | CONCEPTUAL SITE PLAN                 |
| 5 OF 4 | CONCEPTUAL GRADING AND DRAINAGE PLAN |
| 6 OF 4 | CONCEPTUAL GRADING AND DRAINAGE PLAN |
| 7 OF 4 | CONCEPTUAL GRADING AND DRAINAGE PLAN |
| 8 OF 4 | CONCEPTUAL STORMWATER CONTROL PLAN   |
| 9 OF 4 | CONCEPTUAL BIORETENTION DMS SHEETS   |
| 8      | BUILDING AND SITE PHOTOS             |
| 10     | CONCEPTUAL LANDSCAPE PLAN            |

## PROJECT DESCRIPTION

**PROPOSED USES:**  
 • GAS STATION, CONVENIENCE STORE, DRIVE-THRU CARWASH, QSR, AND MINI STORAGE

**PROJECT DEMOLITION:**  
 • REMOVE EXISTING AUTO SERVICE BUILDINGS (40,554 S.F.)

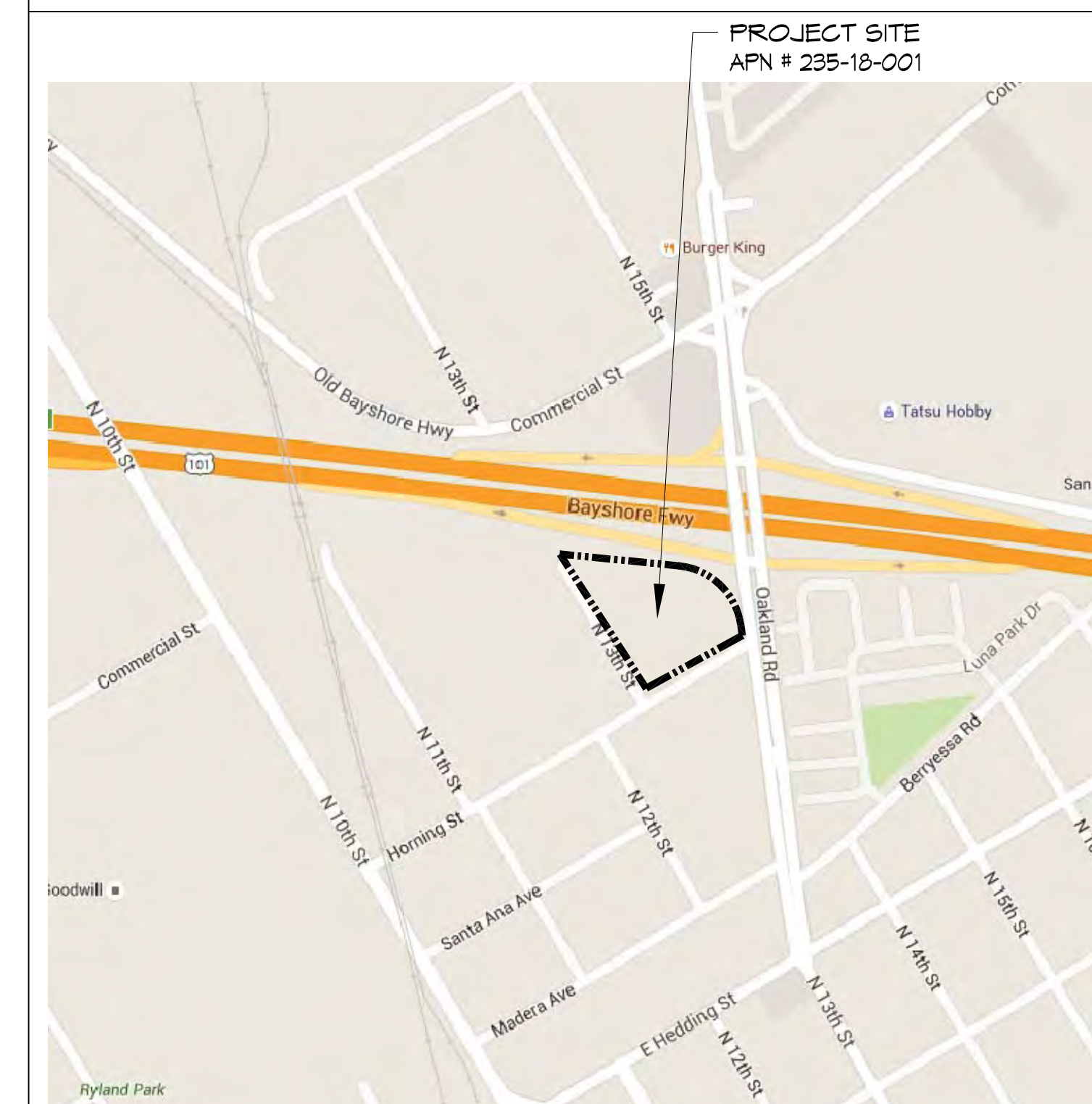
**NEW CONSTRUCTION:**  
 • CONSTRUCT A 3,814 S.F. CONVENIENCE STORE W/ ATTACHED 1,086 S.F. SELF-SERVE CARWASH TUNNEL W/ 255 S.F. CARWASH EQUIP. ROOM  
 • CONSTRUCT A 3,810 S.F. FUELING CANOPY WITH 6 FUELING DISPENSERS AND (2) 20K UNDERGROUND STORAGE TANKS  
 • CONSTRUCT A 2,494 S.F. QUICK SERVICE RESTAURANT WITH A DRIVE THRU  
 • CONSTRUCT A 16,219 S.F. (4 STORY) MINI STORAGE BUILDING  
 • CONSTRUCT A 11,811 S.F. (1 STORY) MINI STORAGE BUILDING  
 • CONSTRUCT A 3,800 S.F. (1 STORY) MINI STORAGE BUILDING

**NEW SITE IMPROVEMENTS:**  
 • NEW 32 FOOT WIDE DRIVEWAY ALONG HORNING STREET  
 • NEW ON-SITE PARKING STALLS  
 • NEW ACCESSIBLE PATH OF TRAVEL TO THE RIGHT-OF-WAY  
 • NEW MASONRY TRASH ENCLOSURES  
 • NEW SITE LIGHTING  
 • NEW LANDSCAPING  
 • NEW SLEEP SERVICE AIR/WATER AND VACUUM UNITS

## PROJECT DIRECTORY

|   |   |
|---|---|
| <b>ARCHITECT</b><br>M1 ARCHITECTS, INC.<br>2221 OLYMPIC BLVD, SUITE 100<br>WALNUT CREEK, CA 94595<br>TEL: (925) 287-1174<br>FAX: (925) 943-1581<br>CELL: (925) 878-9875<br>MR. MUTHANA IBRAHIM, ARCHITECT | <b>LANDSCAPE ARCHITECT</b><br>CIARDELLA ASSOCIATES<br>640 MENLO AVE, SUITE 10<br>MENLO PARK, CA 94025<br>TEL: (650) 326-6100<br>FAX: (650) 323-6106<br>CELL: -<br>MR. RICHARD CIARDELLA |
| <b>CIVIL ENGINEER</b><br>HANNA 4 BRUNETTI<br>1651 EGGLEBERRY STREET<br>GILROY, CA 95020<br>TEL: (408) 842-2173<br>FAX: (408) 842-3662   | <b>DEVELOPER</b><br>MR. JIM RUBENITZ<br>17610 BLANCHARD DRIVE<br>MONTE SERENO, CA 95030<br>TEL: (408) 813-6416  |

## LOCATION MAP



M1 Architects, Inc.  
 ARCHITECTURE  
 PLANNING  
 MANAGEMENT  
 DESIGN  
 2221 OLYMPIC BLVD.,  
 SUITE 100  
 WALNUT CREEK, CA  
 94595  
 925-287-1174 Tel  
 925-943-1581 Fax  
 925-878-9875 Cell  
 muthana@m1architect.com  
 www.m1architect.com

**GAS STATION, CONVENIENCE STORE,  
 CARWASH, QSR & MINI STORAGE  
 645 HORNING STREET  
 SAN JOSE, CA**

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M1 ARCHITECTS, INC. ANY REPRODUCTION, TRANSMISSION, DISTRIBUTION, OR DISSEMINATION OF ANY PART OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF M1 ARCHITECTS, INC. IS PROHIBITED.

- ISSUED FOR CONSTRUCTION  
 - ISSUED FOR PLAN CHECK  
 3-22-16 ISSUED FOR PLANNING

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

TITLE SHEET  
 PROJECT #: 15-6609  
 DRAWN: BB CHECKED: M1  
 SCALE: AS NOTED DATE: 6-16-16



S:\1-Projects\15-6609 645 Horning St San Jose\Jug\3\Planning\PD Rezoning\3-XX-18\15-6609-2 & 2.1-RZ.dwg modified by minuser2 at Mar 21, 2018 - 3:30pm



COMMERCIAL

NORTH 13TH STREET

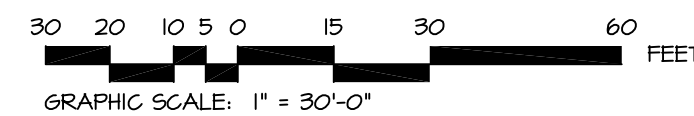
101 FREEWAY

COMMERCIAL

HORNING STREET

OLD OAKLAND ROAD

**1 LAND USE PLAN**  
SCALE: 1" = 30'-0"



### LAND USE PLAN LEGEND

- CIG (PD)
- TO BE DEDICATED, SEE CIVIL DWGS

**M I Architects**  
 M I Architects, Inc.  
 ARCHITECTURE  
 PLANNING  
 MANAGEMENT  
 DESIGN  
 2221 OLYMPIC BLVD.,  
 SUITE 100  
 WALNUT CREEK, CA  
 94595  
 925-287-1174 Tel  
 925-943-1501 Fax  
 925-878-9875 Cell  
 mihana@miarchitect.com  
 www.miarchitect.com

### LOCATION MAP

SCALE: 1" = 500'

PROJECT SITE  
APN # 235-18-001

**2**

SHEET OF

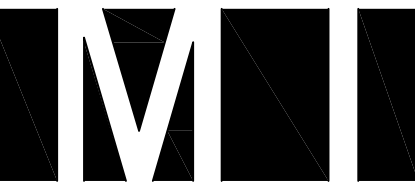
**GAS STATION, CONVENIENCE STORE,  
 CARWASH, QSR & MINI STORAGE  
 645 HORNING STREET  
 SAN JOSE, CA**

| NO.      | DATE | DESCRIPTION             |
|----------|------|-------------------------|
| -        |      | ISSUED FOR CONSTRUCTION |
| -        |      | ISSUED FOR PLAN CHECK   |
| 04-14-15 |      | ISSUED FOR PLANNING     |
| 1        |      |                         |
| 2        |      |                         |
| 3        |      |                         |
| 4        |      |                         |

LAND USE PLAN

PROJECT #: 15-6609  
 DRAWN: BM CHECKED: MI  
 SCALE: AS NOTED DATE: 04-01-15

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M I ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF M I ARCHITECTS, INC. IS PROHIBITED.



Architects

M | Architects, Inc.

ARCHITECTURE  
PLANNING  
MANAGEMENT  
DESIGN  
2221 OLYMPIC BLVD.,  
SUITE 100  
WALNUT CREEK, CA  
94595  
925-287-1174 Tel  
925-943-1501 Fax  
925-878-9875 Cell  
muthana@miarchitect.com  
www.miarchitect.com

**GAS STATION, CONVENIENCE STORE,  
CARWASH, QSR & MINI STORAGE  
645 HORNING STREET  
SAN JOSE, CA**

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF MI ARCHITECTS, INC. ANY REPRODUCTION, TRANSMISSION, DISSEMINATION, OR DISCLOSURE OF ANY INFORMATION CONTAINED HEREIN WITHOUT THE WRITTEN CONSENT OF MI ARCHITECTS, INC. IS PROHIBITED.

S:\1-Projects\15-6609 645 Horning St San Jose\Jwg\3\Planning\Pl Rezoning\3-XX-18\15-6609-2 & 2.1-REZ.dwg modified by mihuser2 at Mar 21, 2018 - 3:28pm

- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- 04-14-15 ISSUED FOR PLANNING

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

DEVELOPMENT STANDARDS

PROJECT #: 15-6609  
DRAWN: BM CHECKED: MI  
SCALE: AS NOTED DATE: 04-01-15



M I Architects

M I Architects, Inc.
ARCHITECTURE
PLANNING
MANAGEMENT
DESIGN
2221 OLYMPIC BLVD.,
SUITE 100
WALNUT CREEK, CA
94595
925-287-1174 Tel
925-943-1581 Fax
925-878-9875 Cell
muthana@miarchitect.com
www.miarchitect.com

SITE INFO

APN# 235-18-001
JURISDICTION: CITY OF SAN JOSE, CA
CURRENT ZONING: (L) LIGHT INDUSTRIAL
LOT AREA: 3.26 ACRES
SETBACKS (BUILDING AND/OR PARKING & CIRCULATION):
FRONT (OAKLAND RD.): 15 FEET
CORNER SIDE (HORNING ST.): 15 FEET
REAR: 0 FEET
SIDE: 0 FEET
PARKING REQUIREMENTS:
CONVENIENCE STORE - 1 SPACE PER 200 SF. x 0.85
3,814 SF. x 0.85 = 3,242 / 200 = 17 SPACES
GAS STATION
1 SPACE PER AIR/WATER = 1 SPACE
1 SPACE FOR INFORMATION STOP = 1 SPACE
(OVERLAP W/ FOOD MART)
1 SPACE VACUUM = 1 SPACE
CARNASH
VEHICLE STACKING FOR (5) CARS
GSR - 1 STALL / 2.5 SEATS
40 / 2.5 = 16 SPACES
MINI-STORAGE
91,990 / 5,000 = 18 SPACES
1 SPACE FOR MANAGER
PARKING PROVIDED: 56 SPACES
PARKING REQUIRED: 56 SPACES
STANDARD PARKING STALLS (9'x18'): 20 SPACES
COMPACT PARKING STALLS (8'x18'): 5 SPACES
VAN ACCESSIBLE PARKING STALL (11'x18'): 1 SPACE
ACCESSIBLE PARKING STALL (14'x18'): 2 SPACES
PARALLEL PARKING STALL (9'x22'): 8 SPACES
FUEL CANOPY POSITIONS: 12 SPACES
MOTORCYCLE PARKING: 4 SPACES

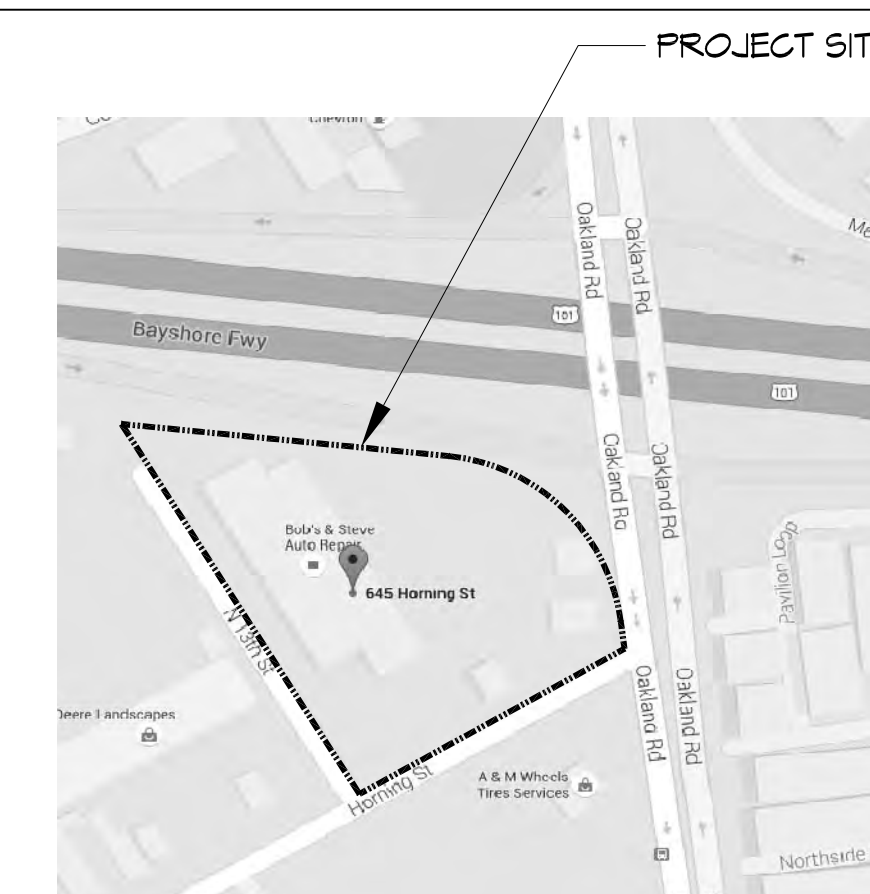
SITE INFO TABLE

Table with 2 columns: BUILDING and PROPOSED. Rows include CONVENIENCE STORE (3,814 SF.), FUELING CANOPY (3,870 SF.), CARNASH & EQUIP (1,341 SF.), GSR (2,494 SF.), BUILDING "A" MINI STORAGE (11,871 SF.), BUILDING "B" MINI STORAGE (17,993 SF.), BUILDING "C" MINI STORAGE (3,800 SF.), TOTAL PROPOSED BUILDING (45,103 SF.), PERCENTAGE OF PROPOSED COVERAGE (31.82%), OPEN SPACE (68.18%).

SITE PLAN LEGEND

- NEW LANDSCAPING, SEE SHT. 10
BIO PLANTER, SEE SHT. 5, 6, 7, 8 & 9
NEW CONCRETE PAVING
EXISTING TO REMAIN
EXISTING CURB TO REMAIN
NEW CONCRETE CURB

VICINITY MAP



GAS STATION, CONVENIENCE STORE,
CARNASH, GSR & MINI STORAGE
645 HORNING STREET
SAN JOSE, CA

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M I ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF M I ARCHITECTS, INC. IS PROHIBITED.

- ISSUED FOR CONSTRUCTION
ISSUED FOR PLAN CHECK
3-22-18 ISSUED FOR PLANNING

Table with 3 columns: NO., DATE, DESCRIPTION. Includes rows for CONCEPTUAL SITE PLAN.

PROJECT #: 15-6609
DRAWN: BM CHECKED: MI
SCALE: AS NOTED DATE: 04-01-18

COMMERCIAL

NORTH 13TH STREET

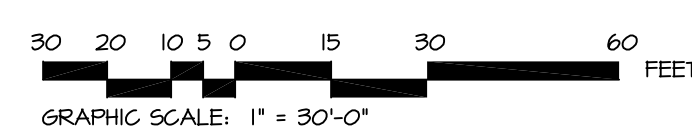
COMMERCIAL

HORNING STREET

101 FREEWAY

OLD OAKLAND ROAD

1 CONCEPTUAL SITE PLAN
SCALE: 1" = 30'-0"





**CITY STANDARD GRADING & DRAINAGE NOTES:**

Note: This drawing is approved subject to:

- All grading is subject to observation by the City. Permittee or representative shall notify the City of San Jose Department of Public Works Project Inspector at least 48 hours before start of any grading.  
The Project Inspector is \_\_\_\_\_ Voicemail No. (408) 975-\_\_\_\_\_
- Approval of this plan applies only to (A) the excavation, placement, and compaction of natural earth materials, (B) the installation of on-site (i.e. private property) storm water conveyance and treatment facilities that are outside of the 5-foot Building envelope, and (C) the installation of retaining structures. This approval does not confer any rights of entry to either public property or the private property of others. Approval of this plan also does not constitute approval of any improvements with the exception of those listed above. Proposed improvements, with the exception of those listed above, are subject to review and approval by the responsible authorities and all other required permits shall be obtained.
- Unless otherwise noted on the plan, any depiction of a retaining structure on this plan shall not constitute approval for construction of the retaining structure unless a separate structural review, by the Department of Public Works is completed and approved
- It shall be the responsibility of the Permittee or agent to identify, locate and protect all underground facilities.
- The permittee or agent shall maintain the streets, sidewalks and all other public rights-of-way in a clean, safe and usable condition. All spills of soil, rock or construction debris shall be removed from the publicly owned property during construction and upon completion of the project. All adjacent property, private or public shall be maintained in a clean, safe and usable condition.
- All grading shall be performed in such a manner as to comply with the standards established by the Air Quality Management District for airborne particulates.
- This project has been designed to comply with the Flood Hazard Area Regulations as stated in Chapter 17.08 of the San Jose Municipal Code.
- All known well locations on the site have been included and such wells shall be maintained or abandoned according to current regulations administered by the Santa Clara Valley Water District. Call (408) 265-2600 Extension 2660 to arrange for District observation of all well abandonments.
- In the event that Human Remains and/or Cultural Materials are found, all project-related construction should cease within a 100-foot radius. The contractor shall, pursuant to section 7050.5 of the Health and Safety code, and section 5097.94 of the Public Resources Code of the State of California, notify the Santa Clara County Coroner immediately.
- This plan does not approve the removal of trees. Appropriate tree removal permits and methods of tree preservation should be obtained from the City's Planning Department and the City Arborist.
- For non-residential projects, any non-hazardous export resulting from project related excavation or land clearing shall be 100% reused and recycled per California Green Building Standards Code section 5.408.
- Civil Engineer Information and Statements:  
A. The Civil Engineer for this project is: (Name and Address) \_\_\_\_\_  
B. This Rough Grading Plan has been prepared under the direction of a licensed engineer and designed based on the recommendations of the referenced project Geotechnical Report.  
C. The stormwater conveyance system has been designed in accordance with the appropriate Building and Plumbing Codes or has been proven to be designed with adequate capacity through signed and sealed hydraulic calculations.
- Soils Engineer Information and Requirements:  
A. The Soil Engineer for this project is: (Name and Address) \_\_\_\_\_  
B. The Geotechnical Report for this project is: \_\_\_\_\_  
C. All grading work shall conform to the recommendations of the project Geotechnical Report and/or the project Soil Engineer.  
D. All grading work shall be observed and approved by the Soil Engineer. The Soil Engineer shall be notified at least 48 hours before beginning any grading. Unobserved and/or unapproved grading work shall be removed and replaced under observation.
- A post construction "Final" Report is required by the Director of Public Works from a Civil Engineer retained by the owner to observe the construction stating:  
A. "That the construction conforms to the lines and grades on the approved plans;" or  
B. "that all significant changes were reviewed and approved in advance by the Department of Public Works" and the Civil Engineer shall submit a "Record Drawing" plan.
- A post construction "Final" Report is required by the Director of Public Works from a Soil Engineer, and also from an Engineering Geologist if the project is in a Geologic Hazard Zone, stating:  
A. "that the anticipated conditions and materials and actual site conditions and materials were compatible," and supply supporting data; or  
B. "that the design was modified to meet the new conditions and was reviewed and approved in advance by the Department of Public Works;" and provide supporting data for these statements.
- According to the City's Waste Water Ordinance, the use of potable (piped or hydrant) water for building or construction purposes including consolidation of backfill or dust control is prohibited.  
Reclaimed water is available is available at multiple locations across the City. To certify for a recuded water meter, please call Lyle Frohman at (408) 794-6805.  
An application for an Exception Permit to approve use of hydrant water can be considered in the PW Development Services Office. Fax-back service is provided for this permit application - contact (408) 535-7802.
- A Haul Route Permit is required for all projects moving more than 10,000 C.Y. of earth. This Grading Permit is invalid without the Haul Route Permit. Haul Route Permits should be obtained from the City's Transportation Department.
- Grading will not be allowed between October 1st and April 30th of any year without Erosion Control plans and measures approved by the Director of Public Works. Stormwater pollution prevention measures in accordance with City specifications and with the document "Clean Bay Blueprint" shall be implemented throughout the year to the satisfaction of the Director of Public Works.
- A post construction "as-built" plan is required by the Director of Public Works from a Civil or Soils Engineer retained by the owner to provide the final horizontal and vertical locations of the improvements approved with this plan such as subdrains, on-site storm water conveyance and treatment systems, and on-site retaining structures.

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS OF THESE PLANS ARE BASED ON THE CENTERLINE OF HORNING STREET AS FOUND MONUMENTED AND AS SOUTH 60°09'47" WEST ON THE RIGHT OF WAY RECORD MAP R-40.4, SAID MAP BEING ON FILE WITH THE CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS)

**NOTE:**

WHERE THE FIRM OF HANNA - BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

**NOTE TO CONTRACTOR**

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES IN THE AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID. IF THIS PROJECT HAS EXCESS DIRT THAT WILL BE OFF-HAULED TO A SITE WITHIN GILROY'S CITY LIMITS, AN ADDITIONAL PERMIT IS REQUIRED.

|   |       |
|---|-------|
| <b>EARTH WORK QUANTITIES</b>  |       |
| CUT: 5,554 CY   | _____ |
| FILL: 7,916 CY  | _____ |
| EXPORT: 2,361   | _____ |
| IMPORT: 0 CY  | _____ |
| NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE. |       |

**BIOTREATMENT SOIL REQUIREMENTS**

PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

**GEOTECHNICAL ENGINEER OF RECORD**

THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL REPORT.

PREPARED BY (COMPANY NAME) \_\_\_\_\_ DATE OF REPORT \_\_\_\_\_  
BY G.E. # \_\_\_\_\_

**SOURCE OF WATER SUPPLY**

SAN JOSE WATER COMPANY

APPROVED FOR GRADING AND DRAINAGE ONLY  
DEPARTMENT OF PUBLIC WORKS  
CITY OF SAN JOSE, CALIFORNIA

Project Engineer \_\_\_\_\_ Date \_\_\_\_\_  
Senior Engineer \_\_\_\_\_ Date \_\_\_\_\_  
Permit Number \_\_\_\_\_ Expiration Date \_\_\_\_\_

**FLOODZONE STATEMENT**

COMMUNITY PANEL NUMBER: 06085C0232H  
MAP REVISED: MAY 18, 2009

PROJECT IS LOCATED IN ZONE D  
ZONE D  
AN AREA OF UNDETERMINED BUT POSSIBLE FLOOD HAZARDS

**BENCHMARK BASIS**

BENCHMARK ID: BM 827 (CITY OF SAN JOSE)  
ELEVATION: 57.41 FEET NGVD 29

DESCRIPTION:  
"I" IN FOUNDARY, TOP OF CATCH BASIN, SOUTHEASTERLY RETURN AT HEDDING AND NORTH 8TH STREETS  
TEMPORARY PROJECT BENCHMARK  
ELEVATION: 71.67 FEET  
DESCRIPTION:  
FOUND 3/4" IRON PIPE ALONG THE SOUTHEASTERLY PROPERTY LINE PROJECTED TO THE CENTERLINE OF HORNING STREET

# Conceptual Grading & Drainage Plans

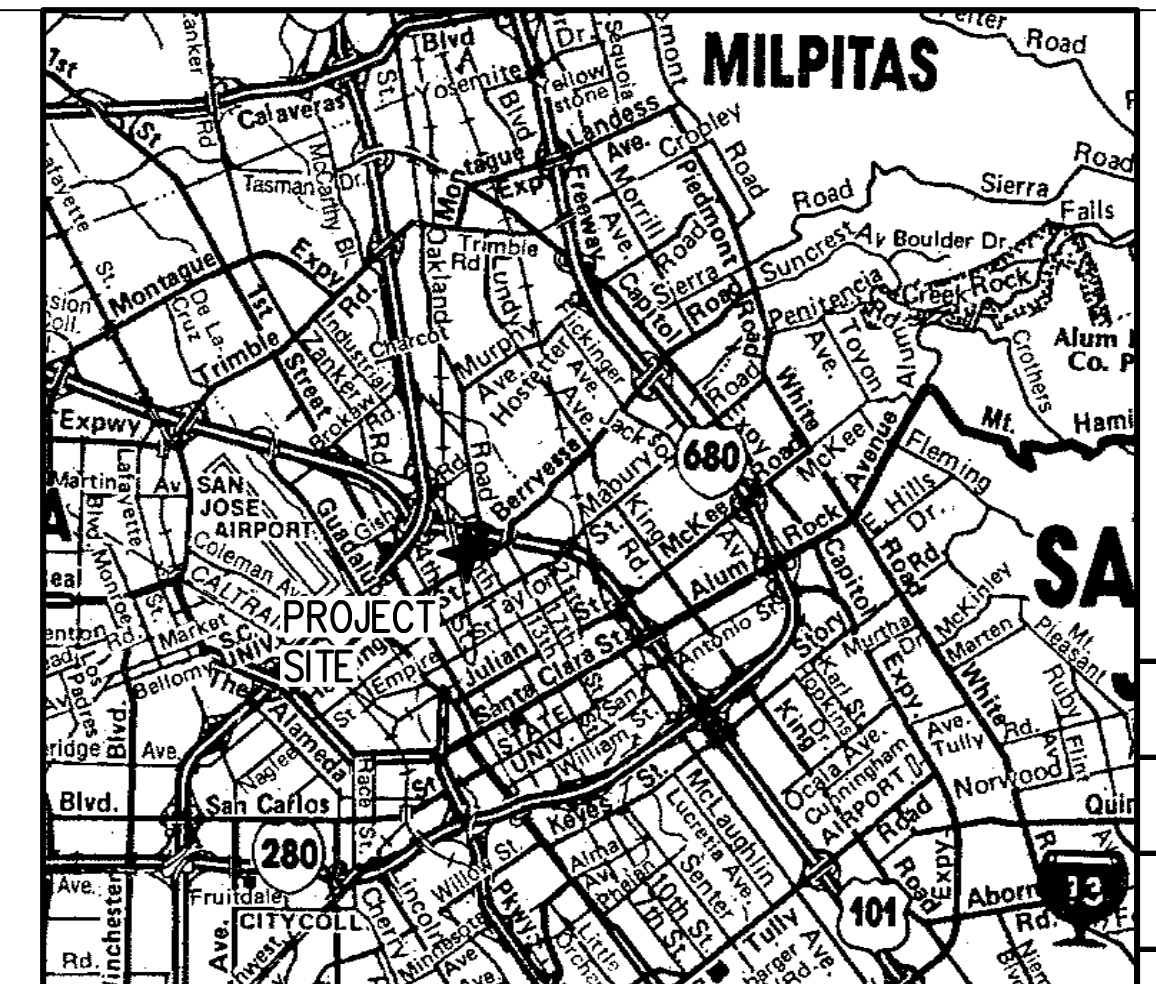
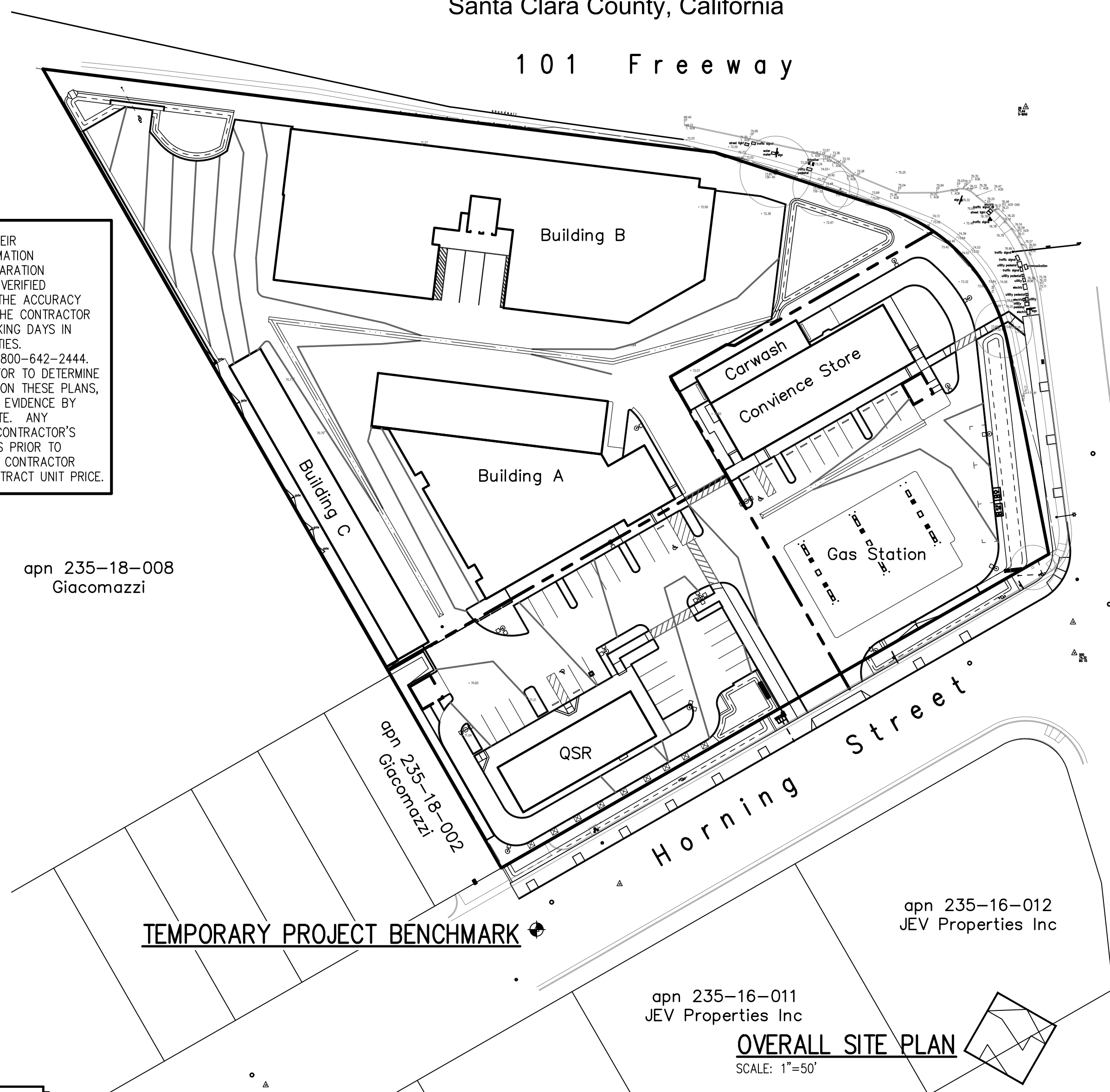
for

# Self-Storage Development, Gas Station & Convenience Store

in the

City of San Jose  
Santa Clara County, California

101 Freeway



VICINITY MAP  
NO SCALE

**LEGEND:**

| EXISTING | (Symbol Size May Vary)         | PROPOSED |
|----------|--------------------------------|----------|
| ---      | Property Boundary              | ---      |
| ---      | Lot Line                       | ---      |
| ---      | Curb & Gutter                  | ---      |
| ---      | Storm Drain                    | ---      |
| ---      | Swale                          | ---      |
| ---      | Cut / Fill Transition          | ---      |
| △        | City Standard Curb Inlet       | △        |
| □        | Field Inlet / Flat Grate Inlet | □        |
| ◎        | Area Drain                     | ◎        |
| ◎        | Storm Manhole                  | ◎        |
| →        | Direction of Surface Drainage  | →        |
| →        | Overland Release               | →        |
| →        | Contour                        | →        |
| →        | Limit of Grading               | →        |
| →        | Retaining Wall                 | →        |

**ABBREVIATION:**

|     |                        |      |                           |
|-----|------------------------|------|---------------------------|
| CI  | Curb Inlet             | PVC  | Poly Vinyl Chloride       |
| CLS | Center Line            | PUE  | Public Utility Easement   |
| CSS | Concrete Surface       | PVC  | Polyvinyl Chloride        |
| FF  | Finished Floor         | RCP  | Reinforced Concrete Pipe  |
| FL  | Flow Line              | RG   | Rough Grade               |
| GB  | Grade Break            | R/W  | Right-of-Way              |
| GS  | Garage Slab            | SD   | Storm Drain               |
| HM  | Hydromodification      | SDMH | Storm Drain Manhole       |
| IC  | Management Control     | TC   | Treatment Control Measure |
| HP  | High Point             | TCM  | Top of Depressed Curb     |
| LP  | Low Point              | TDC  | Top of Vertical Curb      |
| PSE | Property Line Easement | TV   | Top of Vertical Curb      |

**NOTES:**

- IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVACUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.  
IF HUMAN REMAINS ARE FOUND DURING CONSTRUCTION THERE SHALL BE NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE OR ANY NEARBY AREA REASONABLY SUSPECTED TO OVERLIE ADJACENT HUMAN REMAINS UNTIL THE CORONER OF SANTA CLARA COUNTY IS CONTACTED TO DETERMINE THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED. IF THE CORONER DETERMINES THE REMAINS TO BE NATIVE AMERICAN THE CORONER SHALL CONTACT THE NATIVE AMERICAN HERITAGE COMMISSION WITHIN 24 HOURS. THE NATIVE AMERICAN HERITAGE COMMISSION SHALL IDENTIFY THE PERSON OR PERSONS IT BELIEVES TO BE THE MOST LIKELY DESCENDENT (MLD) FROM THE DECEASED NATIVE AMERICAN. THE MLD MAY THEN MAKE RECOMMENDATION TO THE LANDOWNER OR THE PERSON RESPONSIBLE FOR THE EXCAVATION WORK, FOR MEANS OF TREATING OR DISPOSING OF, WITH APPROPRIATE DIGNITY, THE HUMAN REMAINS AND ASSOCIATED GRAVE GOODS AS PROVIDED IN PUBLIC RESOURCES CODE SECTION 5097.98. THE LANDOWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL REBURY THE NATIVE AMERICAN HUMAN REMAINS AND ASSOCIATED GRAVE GOODS WITH APPROPRIATE DIGNITY ON THE PROPERTY IN A LOCATION NOT SUBJECT TO FURTHER DISTURBANCE IF:  
a) THE NATIVE AMERICAN HERITAGE COMMISSION IS UNABLE TO IDENTIFY A MLD OR THE MLD FAILED TO MAKE A RECOMMENDATION WITHIN 24 HOURS AFTER BEING NOTIFIED BY THE COMMISSION.  
b) THE DESCENDENT IDENTIFIED FAILS TO MAKE A RECOMMENDATION; OR  
c) THE LANDOWNER OR HIS AUTHORIZED REPRESENTATIVE REJECTS THE RECOMMENDATION. OF THE DESCENDENT, AND THE MEDIATION BY THE NATIVE AMERICAN HERITAGE COMMISSION FAILS TO PROVIDE MEASURES ACCEPTABLE TO THE LANDOWNER. INCORPORATE THE FOLLOWING NOTE ON THE PROJECT PLANS. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.

**ARCHITECT**

M I ARCHITECTS, INC.  
2221 OLYMPIC BOULEVARD - SUITE 100  
WALNUT CREEK, CA 94595  
OFFICE: 925 287-1174  
FAX: 925 943-1581  
EMAIL: MUTHANA@MIARCHITECT.COM

**SHEET INDEX**

|     |                                   |
|-----|-----------------------------------|
| 1   | COVER SHEET                       |
| 2   | DEMOLITION PLAN                   |
| 3   | RECORD OF SURVEY - REFERENCE ONLY |
| 4   | SITE PLAN                         |
| 5-6 | GRADING & DRAINAGE PLAN           |
| 7   | DETAILS                           |
| 8-9 | STORMWATER CONTROL PLAN           |

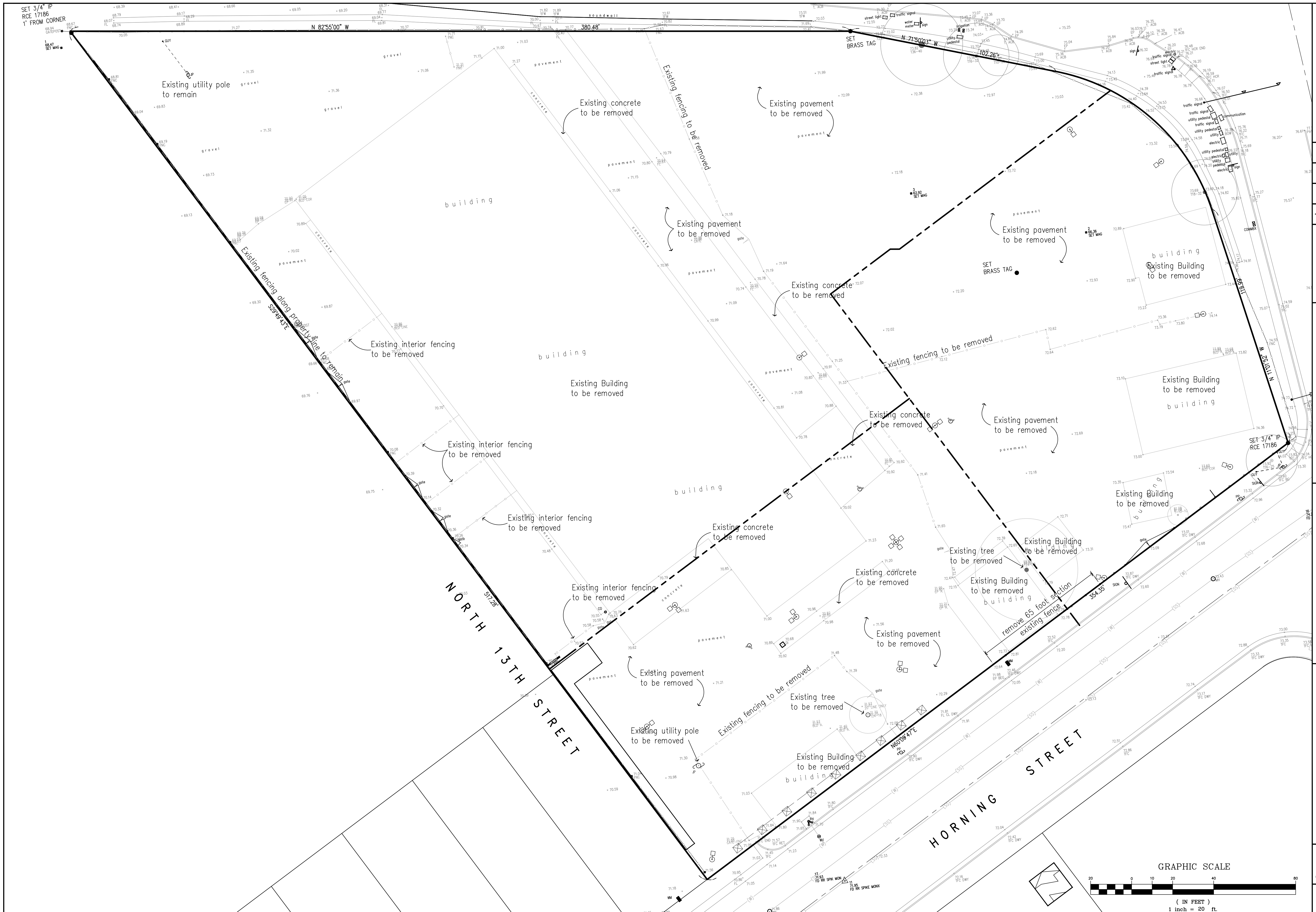
| NO. | DATE | BY | CSJ | REVISIONS |
|-----|------|----|-----|-----------|
|     |      |    |     |           |



JIM RUBNITZ  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

HANNA-BRUNETTI  
7651 EIGLEBURY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

| CONCEPTUAL GRADING & DRAINAGE PLAN | SELF-STORAGE DEVELOPMENT COVER SHEET |
|------------------------------------|--------------------------------------|
| SHEET                              | 1                                    |
| Of                                 | 9 SHEETS                             |
| PW PROJECT #                       | 3-22046                              |



REV. DATE JULY 2011

| REVISIONS | DATE | BY |
|-----------|------|----|
|           |      |    |
|           |      |    |
|           |      |    |
|           |      |    |
|           |      |    |

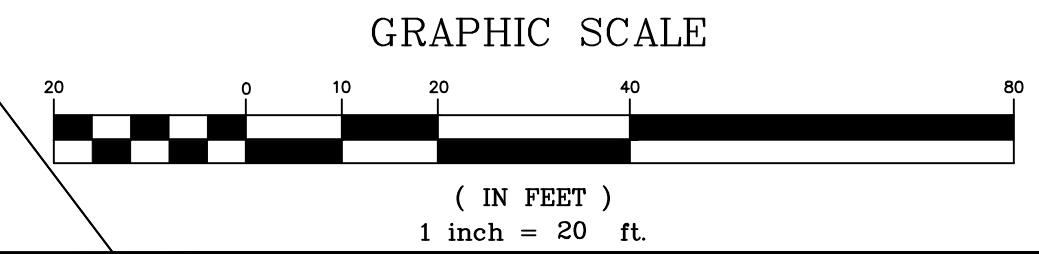


**JIM RUBNITZ**  
 17610 BLANCHARD DRIVE  
 MONTE SERENO, CA 95030

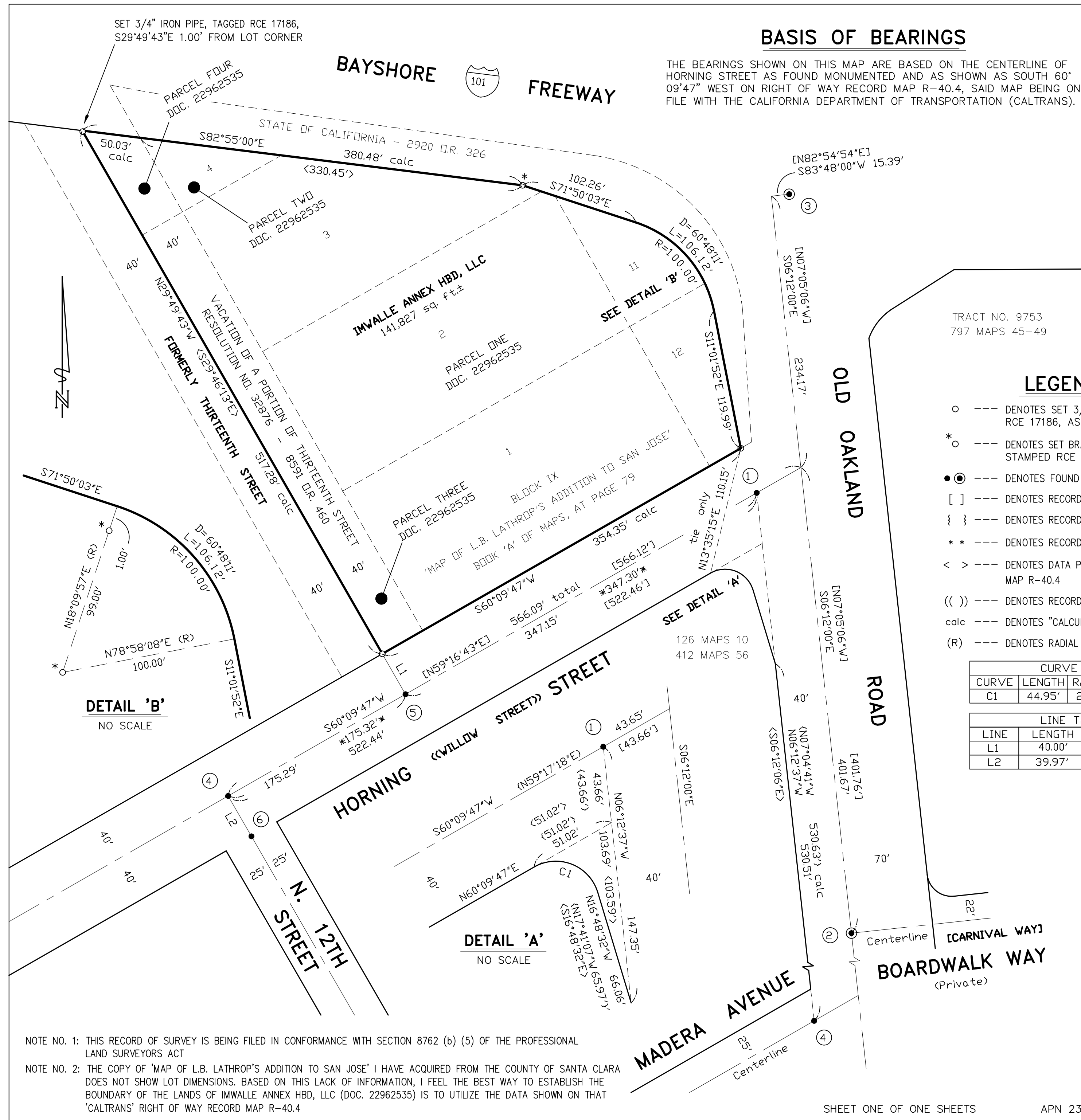
**HANNA-BRUNETTI**  
 7651 EIGLEBERRY STREET  
 GILROY, CA 95020  
 OFFICE: 408 842-2173  
 FAX: 408 842-3662  
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

**CONCEPTUAL  
 SELF-STORAGE DEVELOPMENT  
 DEMOLITION PLAN**

SHEET 2  
 Of 9 SHEETS  
 PW PROJECT # 3-22046







**BASIS OF BEARINGS**

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF HORNING STREET AS FOUND MONUMENTED AND AS SHOWN AS SOUTH 60° 09'47" WEST ON RIGHT OF WAY RECORD MAP R-40.4, SAID MAP BEING ON FILE WITH THE CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS).

**RECORD OF SURVEY**

IN THE INCORPORATED TERRITORY OF THE  
CITY OF SAN JOSE,  
COUNTY OF SANTA CLARA, STATE OF CALIFORNIA  
BEING LOTS 1 & 2 AND A PORTION OF  
LOTS 3, 4, 10, 11 & 12, BLOCK IX,  
'MAP OF L.B. LATHROP'S ADDITION TO SAN JOSE'  
BOOK 'A' OF MAPS, AT PAGE 79  
AND A PORTION OF THIRTEENTH STREET

AUGUST, 2015 SCALE 1" = 60'

HANNA & BRUNETTI - CIVIL ENGINEERS AND LAND SURVEYORS  
7651 EIGLEBERRY STREET - GILROY, CA. 95020 - 408 842-2173

TRACT NO. 9753  
797 MAPS 45-49

**LEGEND**

- --- DENOTES SET 3/4" IRON PIPE, TAGGED RCE 17186, AS NOTED
- \* ○ --- DENOTES SET BRASS TAG IN PAVEMENT, STAMPED RCE 17186
- --- DENOTES FOUND MONUMENTS AS NOTED
- [ ] --- DENOTES RECORD DATA PER 797 MAPS 45-49
- { } --- DENOTES RECORD DATA PER 412 MAPS 56
- \*\* --- DENOTES RECORD DATA PER 126 MAPS 10
- < > --- DENOTES DATA PER CALTRANS R.O.W. RECORD MAP R-40.4
- (( )) --- DENOTES RECORD DATA PER 'A' MAPS 79
- calc --- DENOTES "CALCULATED"
- (R) --- DENOTES RADIAL BEARING

| CURVE TABLE |        |        |            |
|-------------|--------|--------|------------|
| CURVE       | LENGTH | RADIUS | DELTA      |
| C1          | 44.95' | 25.00' | 103°01'41" |

| LINE TABLE |        |             |
|------------|--------|-------------|
| LINE       | LENGTH | BEARING     |
| L1         | 40.00' | S29°49'43"E |
| L2         | 39.97' | N29°58'15"W |

**FOUND MONUMENTS**

- ① 1" IRON PIPE, OPEN, SHOWN ON 412 MAPS 56
- ② 2.5" BRASS DISK, IN CASTING, STAMPED LS 5106, PER 797 MAPS 45-49
- ③ 2.5" BRASS DISK, IN CASTING, STAMPED 'DEPT OF TRANS', SHOWN ON 797 MAPS 45-49
- ④ 3/4" IRON PIPE, OPEN, SHOWN ON 412 MAPS 56 & 126 MAPS 10
- ⑤ 3/4" IRON PIPE, OPEN, SHOWN ON 126 MAPS 10, N29°49'43"W 0.14' FROM HORNING STREET CENTERLINE
- ⑥ 1" IRON PIPE, OPEN, SHOWN ON 797 MAPS 45-49



**ENGINEER'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF  
IMWALLE ANNEX HBD, LLC  
IN \_\_\_\_\_ AUGUST \_\_\_\_\_, 20\_15

ARNOLD R. BRUNETTI DATE  
R.C.E. 17186

**COUNTY SURVEYOR'S STATEMENT**

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYOR'S ACT THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

GWENDOLYN GEE, COUNTY SURVEYOR  
P.L.S. 6780

WILLIAM F. SLEPNIKOFF, DEPUTY COUNTY SURVEYOR  
P.L.S. 5701

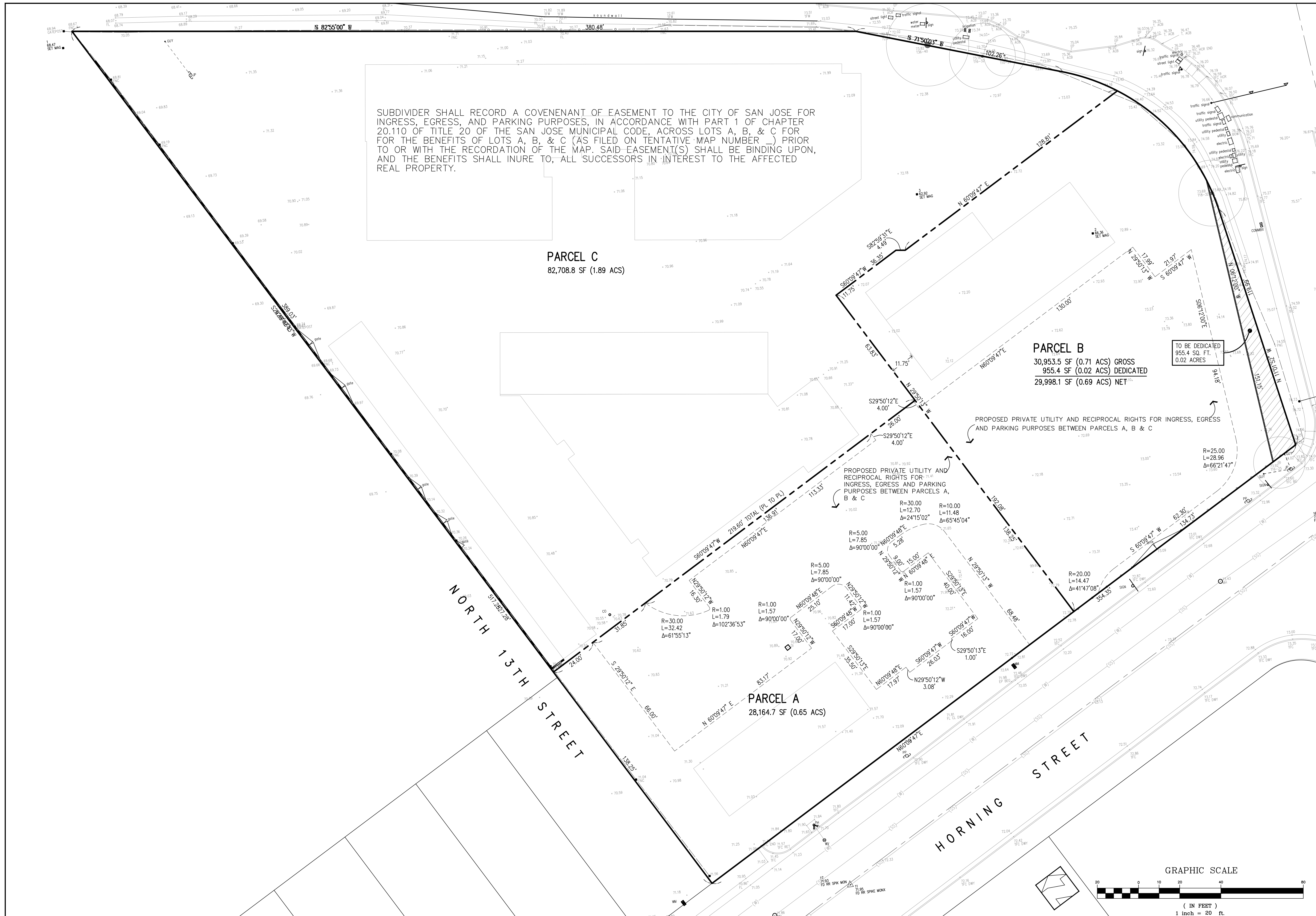
**RECORDER'S STATEMENT**

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
20\_\_\_\_ AT \_\_\_\_\_ M. IN BOOK \_\_\_\_\_  
OF MAPS AT PAGE \_\_\_\_\_  
AT THE REQUEST OF HANNA & BRUNETTI  
FILE NO. \_\_\_\_\_ FEE: \_\_\_\_\_  
REGINA ALCOMENDRAS, COUNTY RECORDER

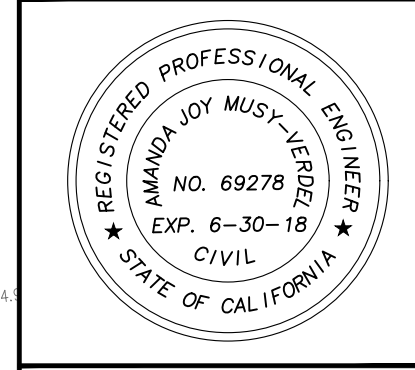
BY: \_\_\_\_\_  
DEPUTY

NOTE NO. 1: THIS RECORD OF SURVEY IS BEING FILED IN CONFORMANCE WITH SECTION 8762 (b) (5) OF THE PROFESSIONAL LAND SURVEYORS ACT  
NOTE NO. 2: THE COPY OF 'MAP OF L.B. LATHROP'S ADDITION TO SAN JOSE' I HAVE ACQUIRED FROM THE COUNTY OF SANTA CLARA DOES NOT SHOW LOT DIMENSIONS. BASED ON THIS LACK OF INFORMATION, I FEEL THE BEST WAY TO ESTABLISH THE BOUNDARY OF THE LANDS OF IMWALLE ANNEX HBD, LLC (DOC. 22962535) IS TO UTILIZE THE DATA SHOWN ON THAT 'CALTRANS' RIGHT OF WAY RECORD MAP R-40.4

|  |  |
|--|--|
| <p><b>JIM RUBNITZ</b><br/>17610 BLANCHARD DRIVE<br/>MONTE SERENO, CA 95030</p>             | <p><b>HANNA-BRUNETTI</b><br/>7651 EIGLEBERRY STREET<br/>GILROY, CA 95020<br/>OFFICE: 408 842-2173<br/>FAX: 408 842-3662<br/>EMAIL: ENGINEERING@HANNABRUNETTI.COM</p> |
| <p>CONCEPTUAL<br/>SELF-STORAGE DEVELOPMENT<br/>RECORD OF SURVEY<br/>FOR REFERENCE ONLY</p> | <p>SAN JOSE<br/>Project No: 15062<br/>Designed TM<br/>Checked AM<br/>Date: 7/19/18</p>   |
| <p>SHEET<br/>3<br/>Of 9 SHEETS</p>   | <p>PW PROJECT #<br/>3-22046</p>  |
|  | <p>HB JOB NO.: 15062</p>   |



| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |



**JIM RUBNITZ**  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

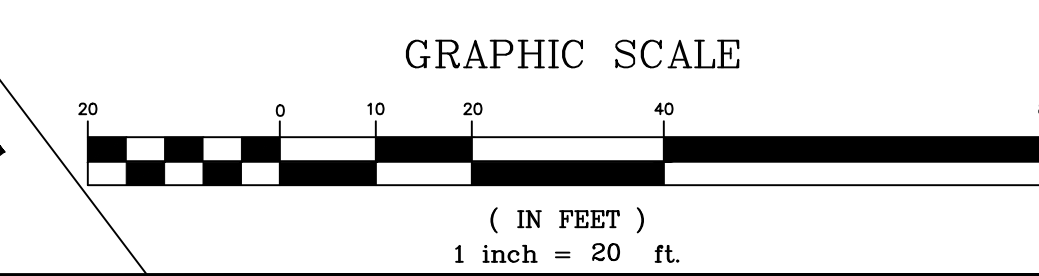
**HANNA-BRUNETTI**  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

**CONCEPTUAL  
SELF-STORAGE DEVELOPMENT  
SITE PLAN**

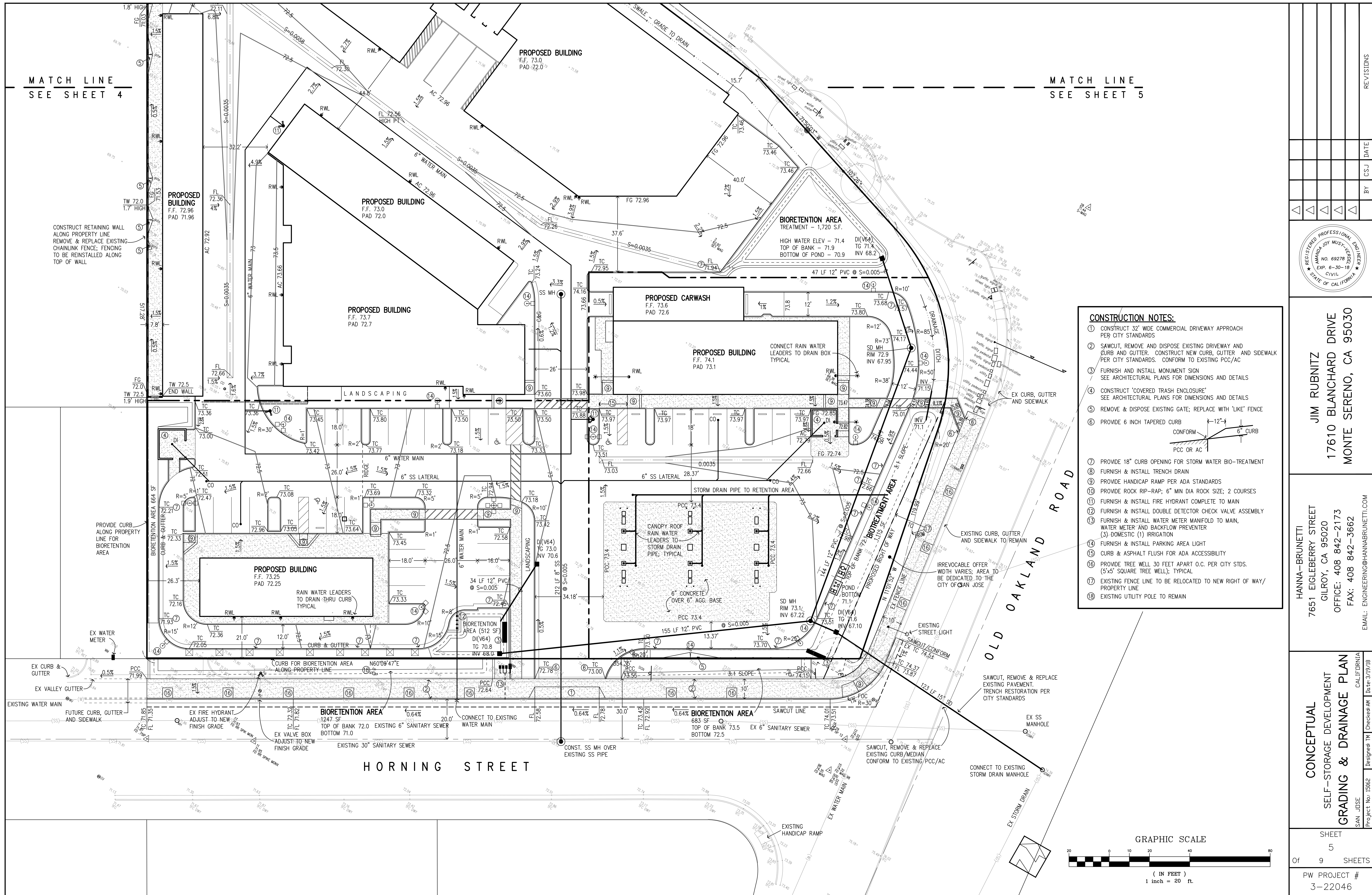
SAN JOSE CALIFORNIA  
Project No: 15062 Designed TM Checked AW Date: 7/19/18

SHEET  
4  
Of 9 SHEETS

PW PROJECT #  
3-22046



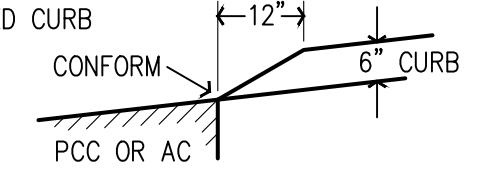




MATCH LINE  
SEE SHEET 4

MATCH LINE  
SEE SHEET 5

CONSTRUCT RETAINING WALL  
ALONG PROPERTY LINE  
REMOVE & REPLACE EXISTING  
CHAINLINK FENCE; FENCING  
TO BE REINSTALLED ALONG  
TOP OF WALL

- CONSTRUCTION NOTES:**
- CONSTRUCT 32' WIDE COMMERCIAL DRIVEWAY APPROACH PER CITY STANDARDS
  - SAWCUT, REMOVE AND DISPOSE EXISTING DRIVEWAY AND CURB AND GUTTER. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK PER CITY STANDARDS. CONFORM TO EXISTING PCC/AC
  - FURNISH AND INSTALL MONUMENT SIGN SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
  - CONSTRUCT 'COVERED TRASH ENCLOSURE' SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
  - REMOVE & DISPOSE EXISTING GATE; REPLACE WITH 'LIKE' FENCE
  - PROVIDE 6 INCH TAPERED CURB  

  - PROVIDE 18" CURB OPENING FOR STORM WATER BIO-TREATMENT
  - FURNISH & INSTALL TRENCH DRAIN
  - PROVIDE HANDICAP RAMP PER ADA STANDARDS
  - PROVIDE ROCK RIP-RAP; 6" MIN DIA ROCK SIZE; 2 COURSES
  - FURNISH & INSTALL FIRE HYDRANT COMPLETE TO MAIN
  - FURNISH & INSTALL DOUBLE DETECTOR CHECK VALVE ASSEMBLY
  - FURNISH & INSTALL WATER METER MANIFOLD TO MAIN, WATER METER AND BACKFLOW PREVENTER (3) DOMESTIC (1) IRRIGATION
  - FURNISH & INSTALL PARKING AREA LIGHT
  - CURB & ASPHALT FLUSH FOR ADA ACCESSIBILITY
  - PROVIDE TREE WELL 30 FEET APART O.C. PER CITY STDS. (5'x5' SQUARE TREE WELL); TYPICAL
  - EXISTING FENCE LINE TO BE RELOCATED TO NEW RIGHT OF WAY/ PROPERTY LINE
  - EXISTING UTILITY POLE TO REMAIN

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |

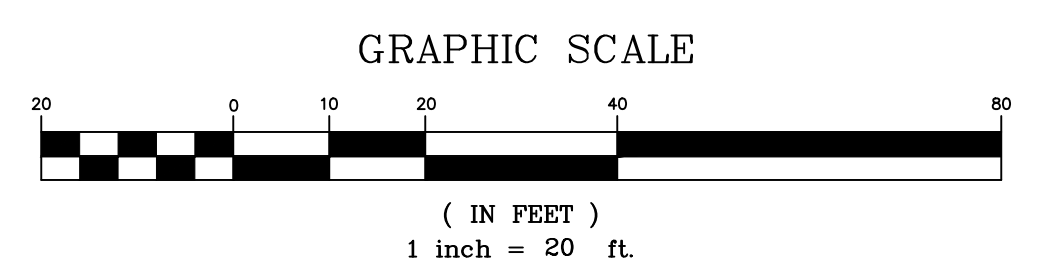


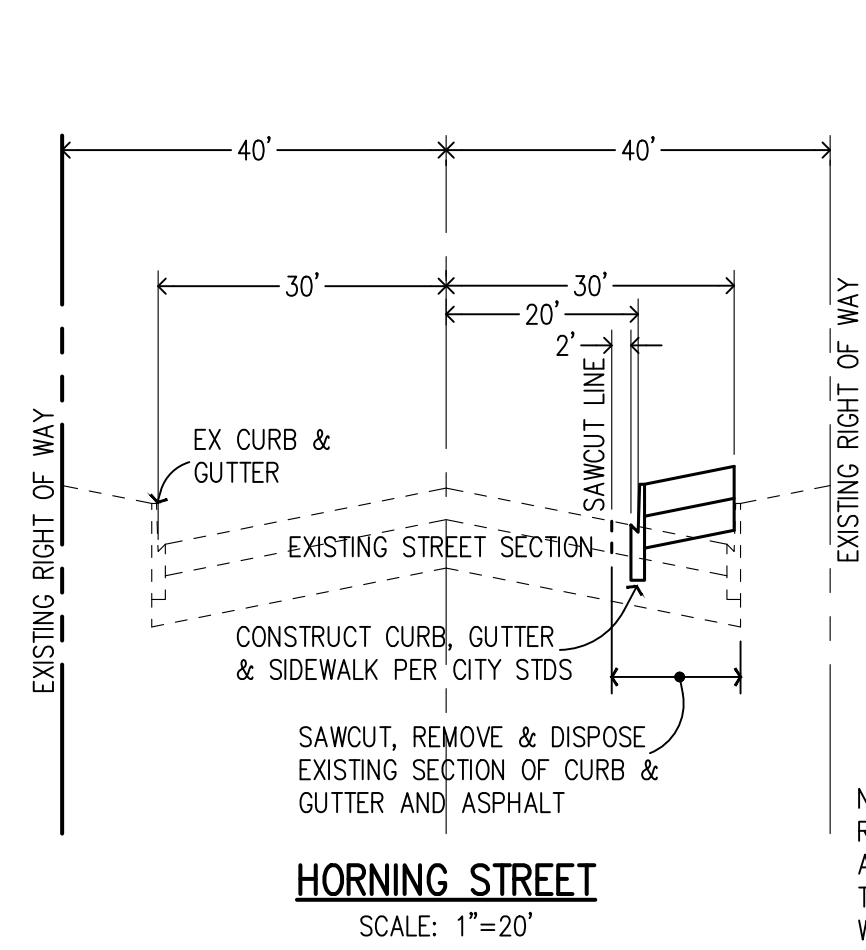
**JIM RUBNITZ**  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

HANNA-BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

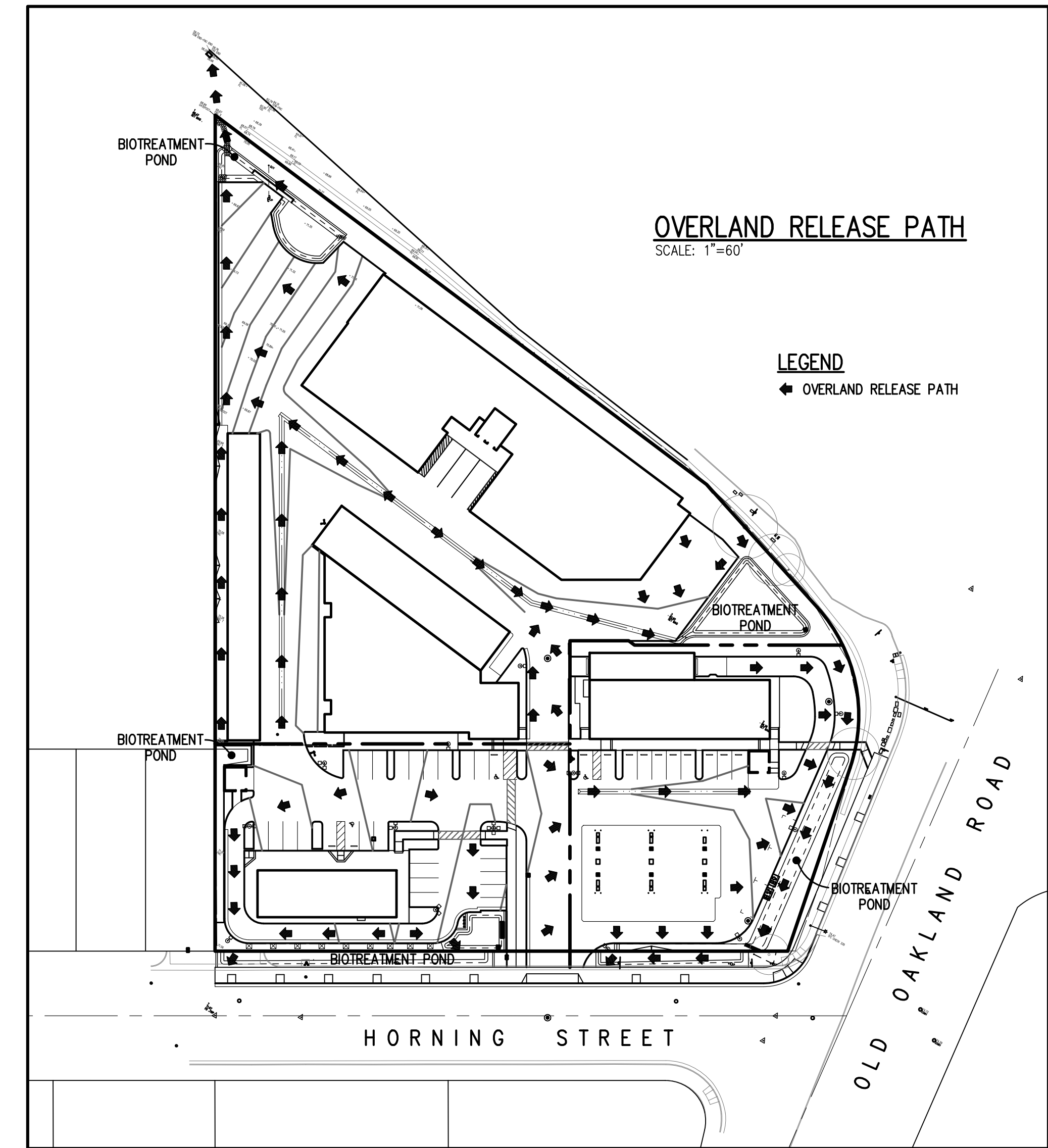
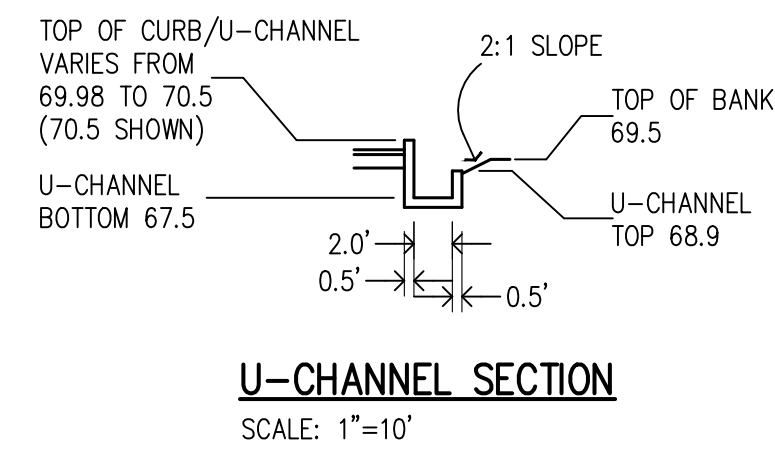
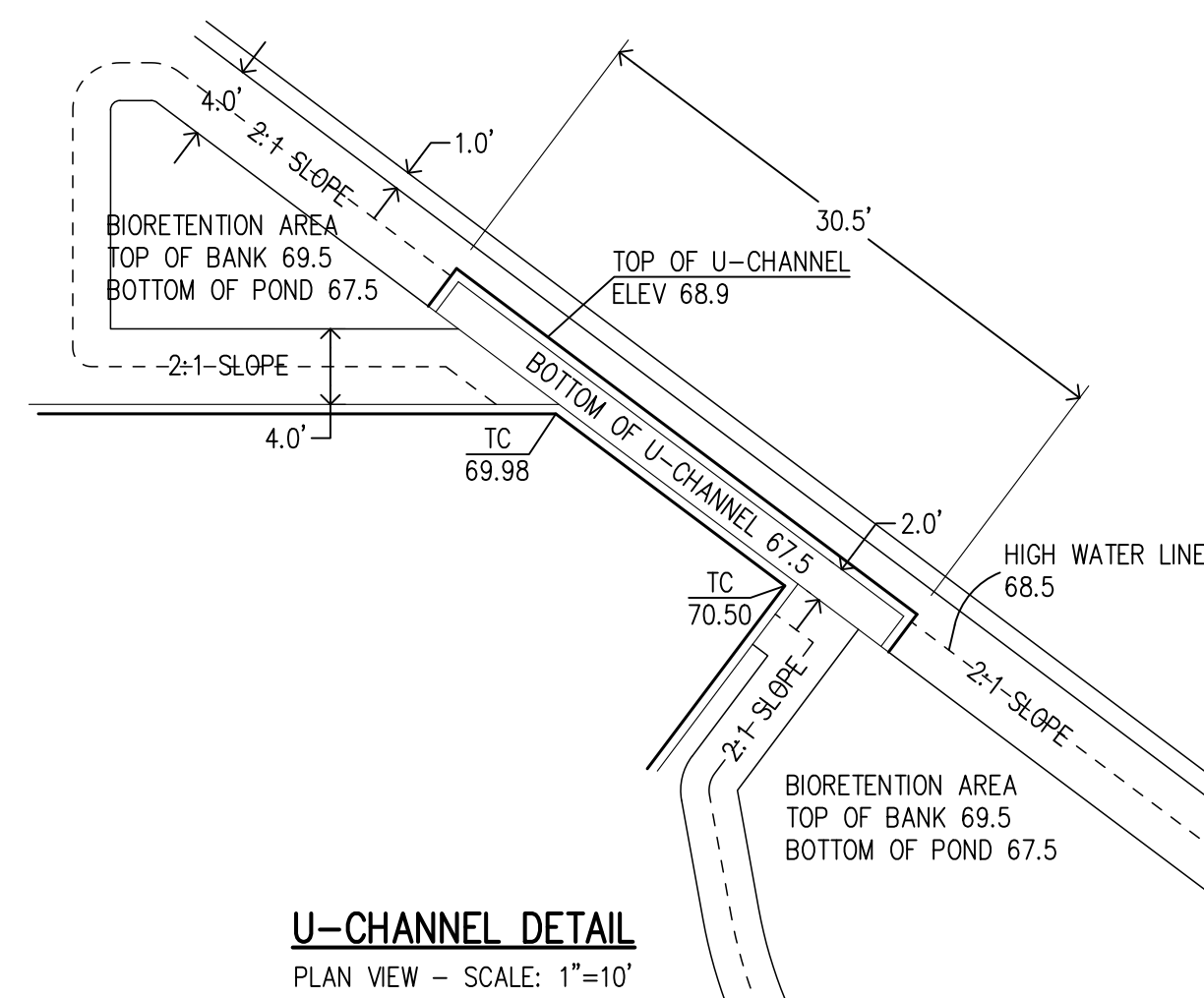
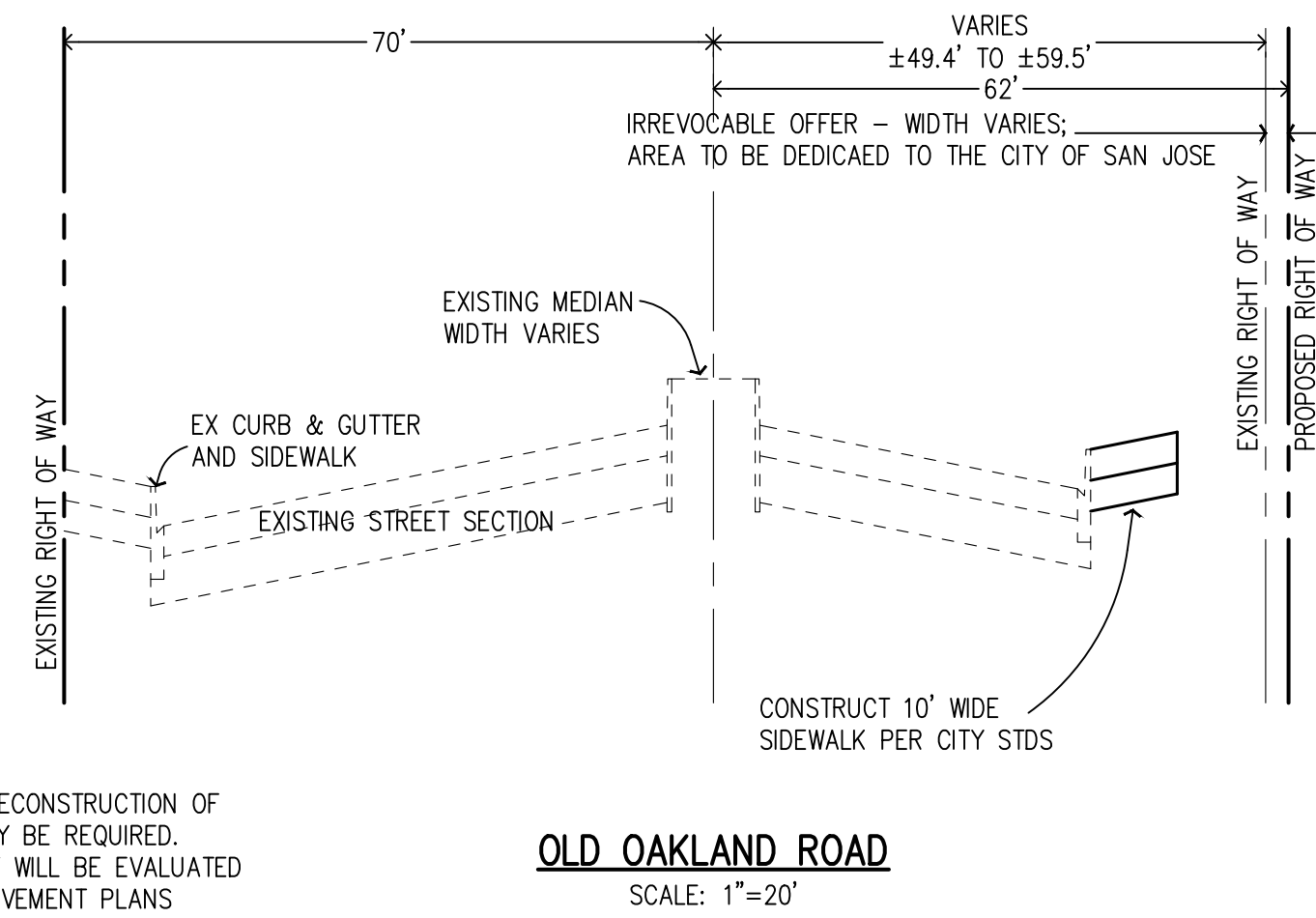
**CONCEPTUAL  
SELF-STORAGE DEVELOPMENT  
GRADING & DRAINAGE PLAN**

SHEET  
5  
Of 9 SHEETS  
PW PROJECT #  
3-22046





NOTE:  
REPAIR, OVERLAY, OR RECONSTRUCTION OF ASPHALT PAVEMENT MAY BE REQUIRED. THE EXISTING PAVEMENT WILL BE EVALUATED WITH THE STREET IMPROVEMENT PLANS



**LEGEND**  
◆ OVERLAND RELEASE PATH



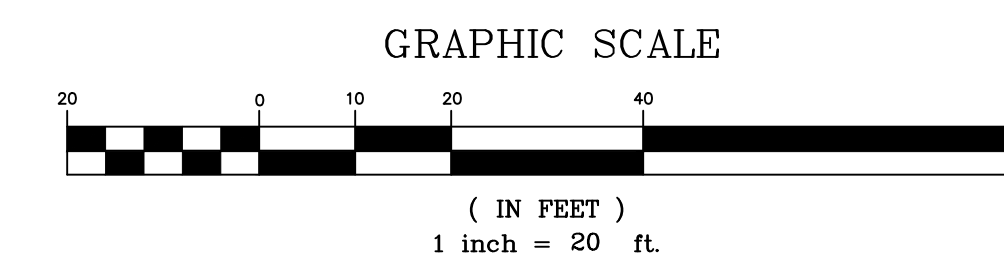
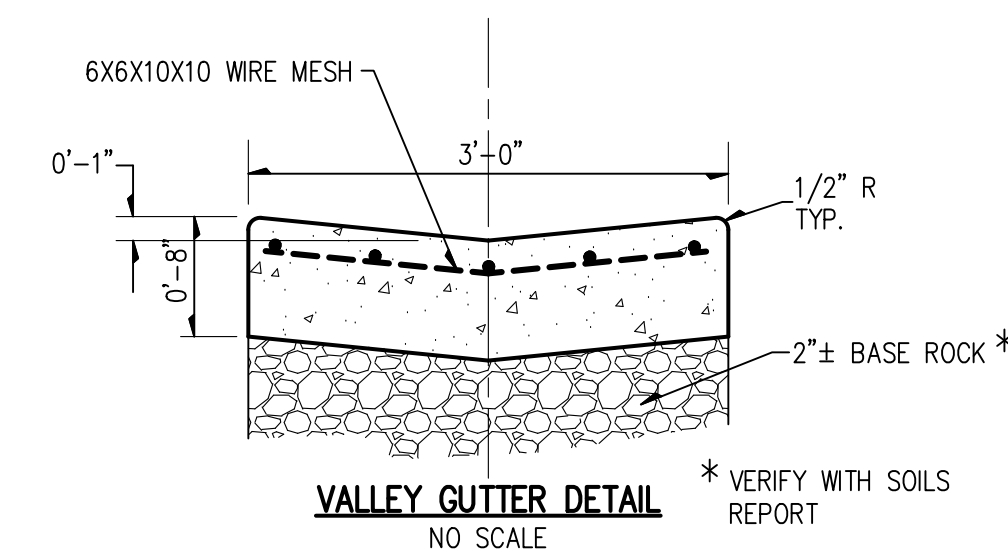
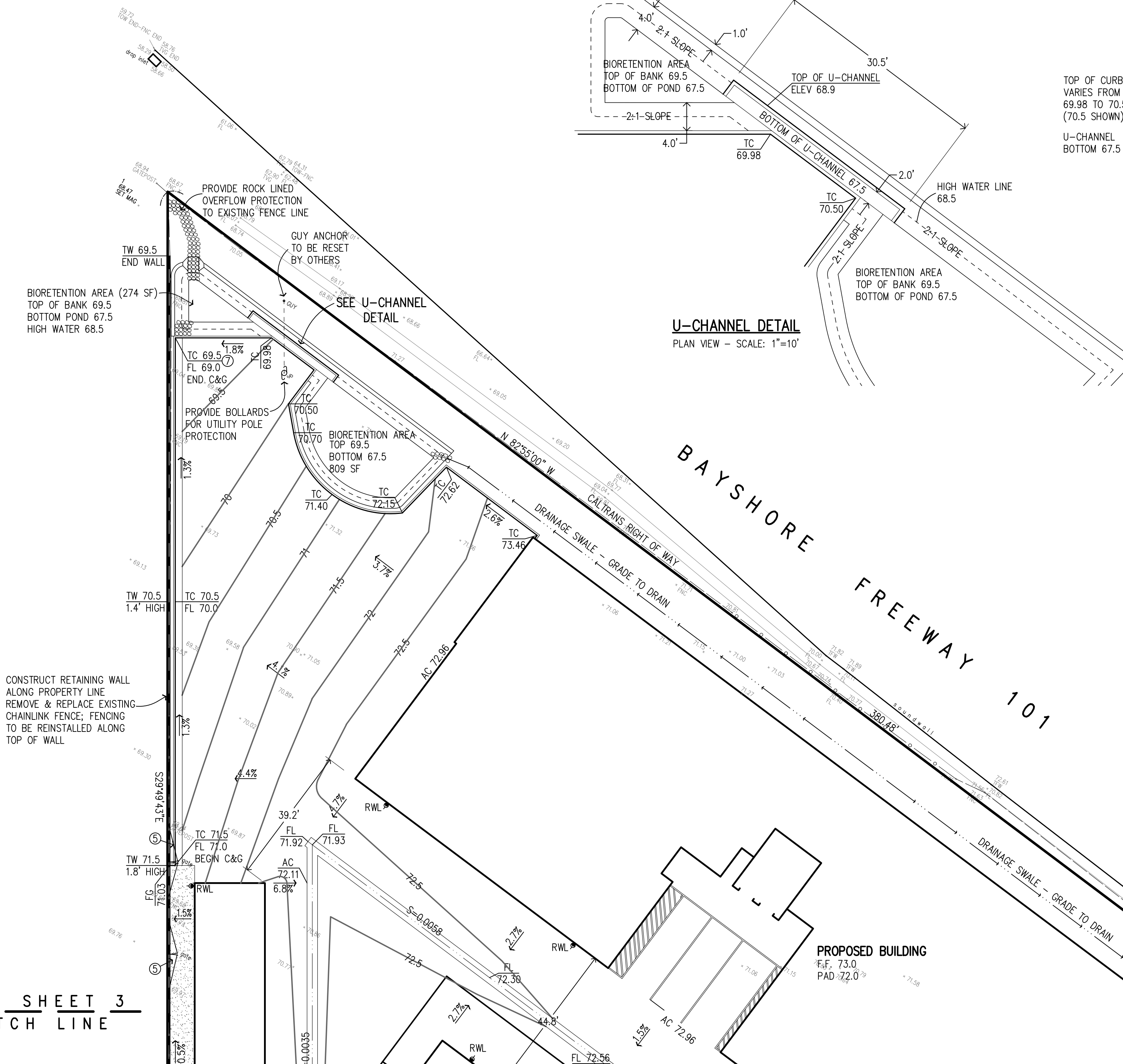
**JIM RUBNITZ**  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

HANNA-BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

**CONCEPTUAL SELF-STORAGE DEVELOPMENT GRADING & DRAINAGE PLAN**  
SAN JOSE CALIFORNIA  
Project No: 15062 | Designed: TM | Checked: AM | Date: 2/19/18

SHEET 6  
Of 9 SHEETS  
PW PROJECT # 3-22046

HB JOB NO.: 15062



**CONSTRUCTION NOTES:**

- 1 CONSTRUCT 32' WIDE COMMERCIAL DRIVEWAY APPROACH PER CITY STANDARDS
- 2 SAWCUT, REMOVE AND DISPOSE EXISTING DRIVEWAY AND CURB AND GUTTER. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK PER CITY STANDARDS. CONFORM TO EXISTING PCC/AC
- 3 FURNISH AND INSTALL MONUMENT SIGN SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
- 4 CONSTRUCT 'COVERED TRASH ENCLOSURE' SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
- 5 REMOVE & DISPOSE EXISTING GATE; REPLACE WITH 'LIKE' FENCE
- 6 PROVIDE 6 INCH TAPERED CURB CONFORM TO PCC OR AC
- 7 PROVIDE 18" CURB OPENING FOR STORM WATER BIO-TREATMENT
- 8 FURNISH & INSTALL TRENCH DRAIN
- 9 PROVIDE HANDICAP RAMP PER ADA STANDARDS
- 10 PROVIDE ROCK RIP-RAP; 6" MIN DIA ROCK SIZE; 2 COURSES
- 11 FURNISH & INSTALL FIRE HYDRANT COMPLETE TO MAIN
- 12 FURNISH & INSTALL DOUBLE DETECTOR CHECK VALVE ASSEMBLY
- 13 FURNISH & INSTALL WATER METER MANIFOLD TO MAIN, WATER METER AND BACKFLOW PREVENTER (3) DOMESTIC (1) IRRIGATION
- 14 FURNISH & INSTALL PARKING AREA LIGHT
- 15 CURB & ASPHALT FLUSH FOR ADA ACCESSIBILITY
- 16 PROVIDE TREE WELL 30 FEET APART O.C. PER CITY STDS. (5'x5' SQUARE TREE WELL); TYPICAL
- 17 EXISTING FENCE LINE TO BE RELOCATED TO NEW RIGHT OF WAY/PROPERTY LINE
- 18 EXISTING UTILITY POLE TO REMAIN

SEE SHEET 3  
MATCH LINE

SEE SHEET 4  
MATCH LINE



**MAINTENANCE TASK (ROUTINE MAINTENANCE OF FLOW-THRU PLANTERS)**

1. INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.
2. INSPECT PLANTER FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, THE SURFACE BIOTREATMENT SOIL SHOULD BE TILLED OR REPLACED WITH THE APPROVED SOIL MIX AND REPLANTED. USE THE CLEANOUT RISER TO CLEAR ANY UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.
3. CHECK FOR ERODED OR SETTLED BIOTREATMENT SOIL MEDIA. LEVEL SOIL WITH RAKE AND REMOVE/REPLANT VEGETATION AS NECESSARY.
4. MAINTAIN THE VEGETATION AND IRRIGATION SYSTEM. PRUNE AND WEED TO KEEP FLOW-THROUGH PLANTER NEAT AND ORDERLY IN APPEARANCE.
5. EVALUATE HEALTH AND DENSITY OF VEGETATION. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION. REMOVE EXCESSIVE GROWTH OF PLANTS THAT ARE TOO CLOSE TOGETHER.
6. USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.
7. INSPECT THE OVERFLOW PIPE TO MAKE SURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUT RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.
8. INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.
9. INSPECT AND, IF NEEDED, REPLACE WOOD MULCH. IT IS RECOMMENDED THAT 2" TO 3" OF COMPOSTED ARBOR MULCH BE APPLIED ONCE A YEAR.
10. INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA, LOSS OF MULCH, STANDING WATER, CLOGGING OVERFLOWS, WEEDS, TRASH AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.
11. INSPECT SYSTEM FOR STRUCTURAL INTEGRITY OF WALLS, FLOW SPREADERS, ENERGY DISSIPATORS, CURB CUTS, OUTLETS AND FLOW SPLITTERS.

**FREQUENCY OF TASK**

1. QUARTERLY
2. QUARTERLY
3. QUARTERLY
4. QUARTERLY
5. ANNUALLY, BEFORE THE RAINY SEASON BEGINS
6. ANNUALLY, BEFORE THE RAINY SEASON BEGINS
7. ANNUALLY, BEFORE THE RAINY SEASON BEGINS
8. ANNUALLY, BEFORE THE RAINY SEASON BEGINS
9. ANNUALLY, BEFORE THE RAINY SEASON BEGINS
10. ANNUALLY, AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS
11. ANNUALLY, AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS

**SITE DESIGN MEASURES**

1. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.

**SOURCE CONTROL MEASURES**

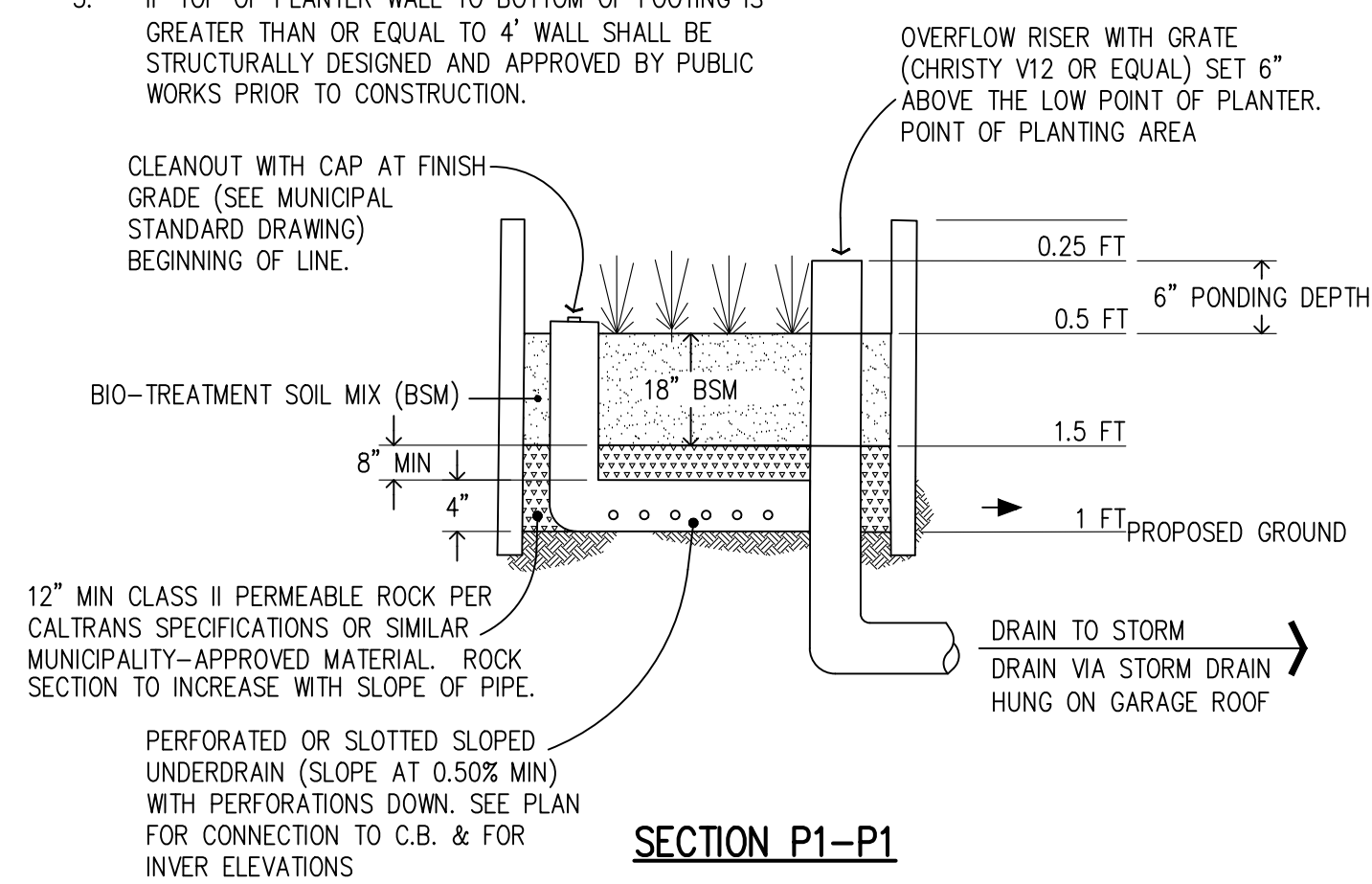
1. COVERED DUMPSTER AREA AND INTERIOR PARKING STRUCTURES DRAIN TO SANITARY SEWER.
2. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
3. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
4. STORM DRAIN LABELING.

**OPERATIONS AND MAINTENANCE**

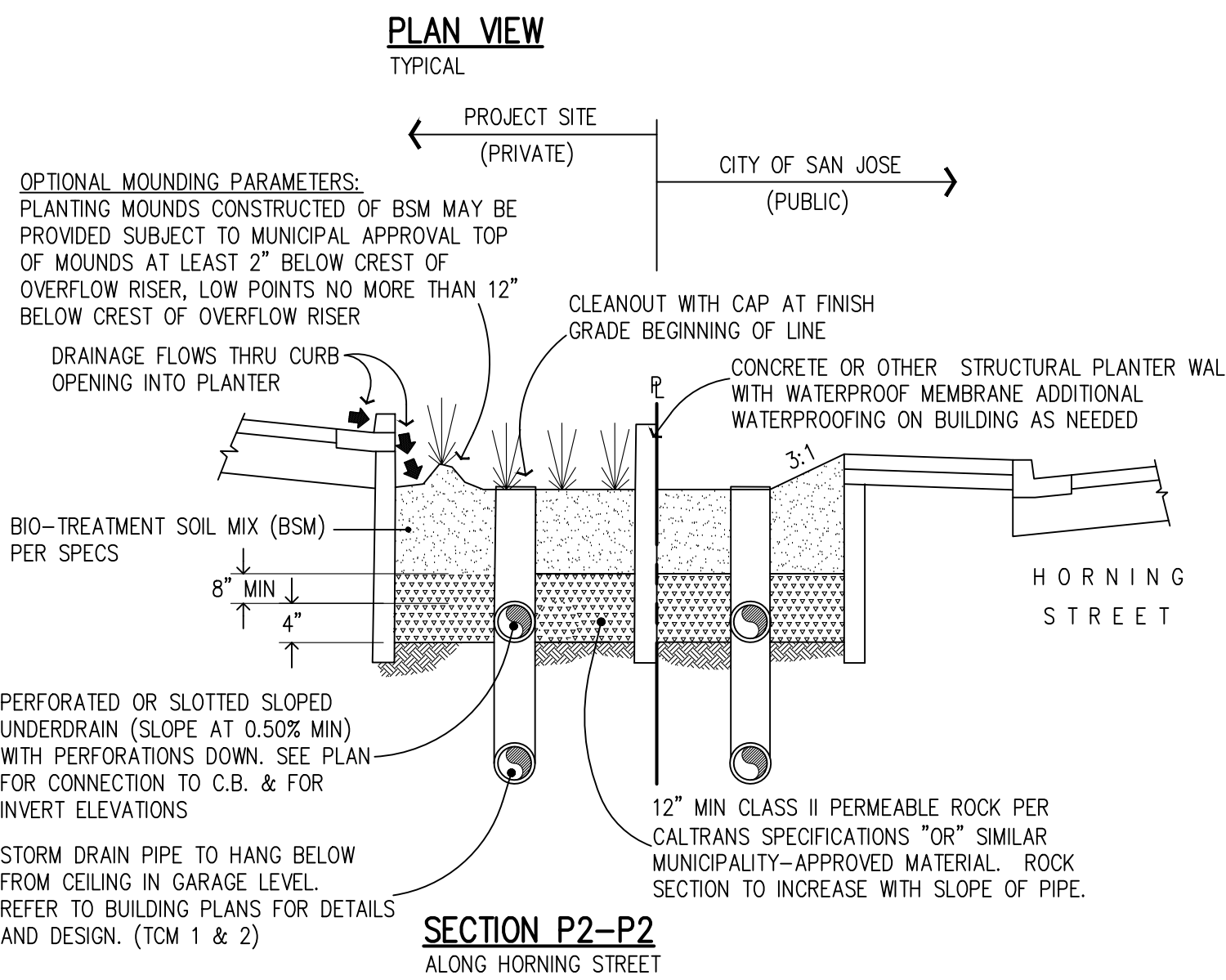
1. RESPONSIBLE PARTY: ANIL PATEL  
1036 FOURTH ST  
SAN JOSE, CA

**NOTES:**

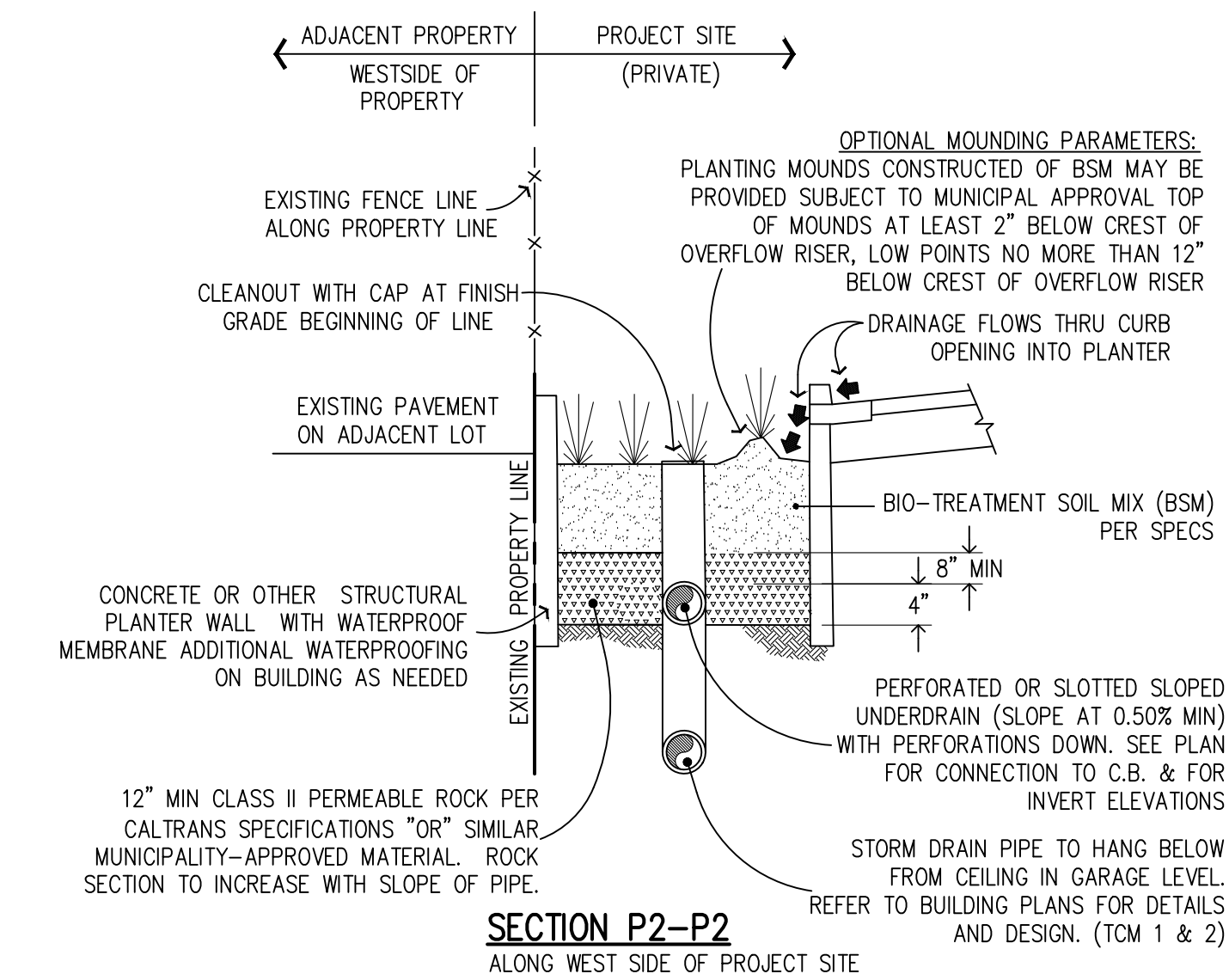
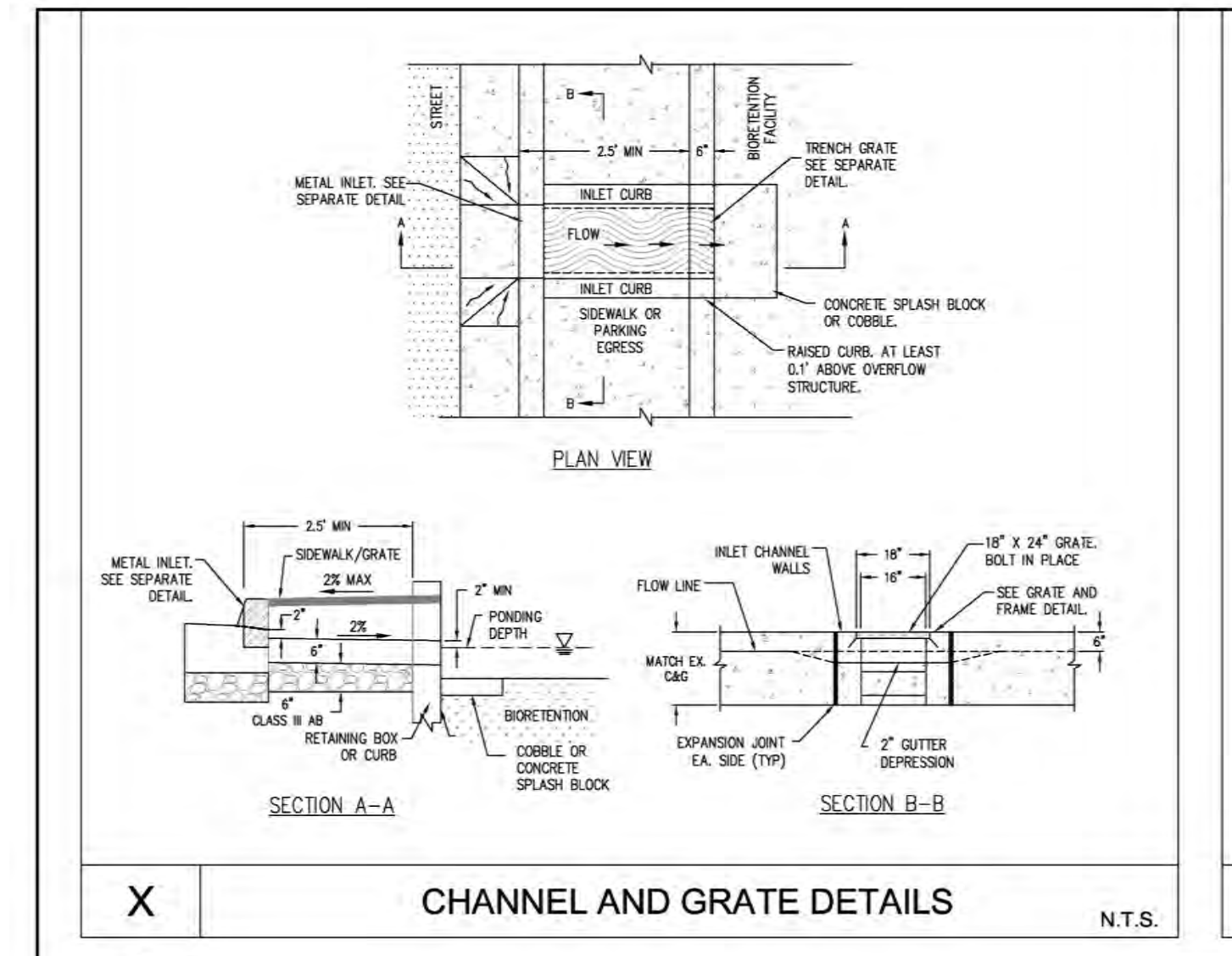
1. INCLUDE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER TREATMENT PLANTINGS.
2. IF ONLY ONE DOWNSPOUT LOCATED WITH THE FLOW-THROUGH PLANTER INCLUDE A FLOW-SPREADER TO EVENLY DISTRIBUTE THE FLOW THROUGHOUT THE PLANTER.
3. IF TOP OF PLANTER WALL TO BOTTOM OF FOOTING IS GREATER THAN OR EQUAL TO 4" WALL SHALL BE STRUCTURALLY DESIGNED AND APPROVED BY PUBLIC WORKS PRIOR TO CONSTRUCTION.



**TYPICAL FLOW-THROUGH PLANTER DETAIL**  
NO SCALE



SECTION P2-P2  
ALONG HORNING STREET



| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |

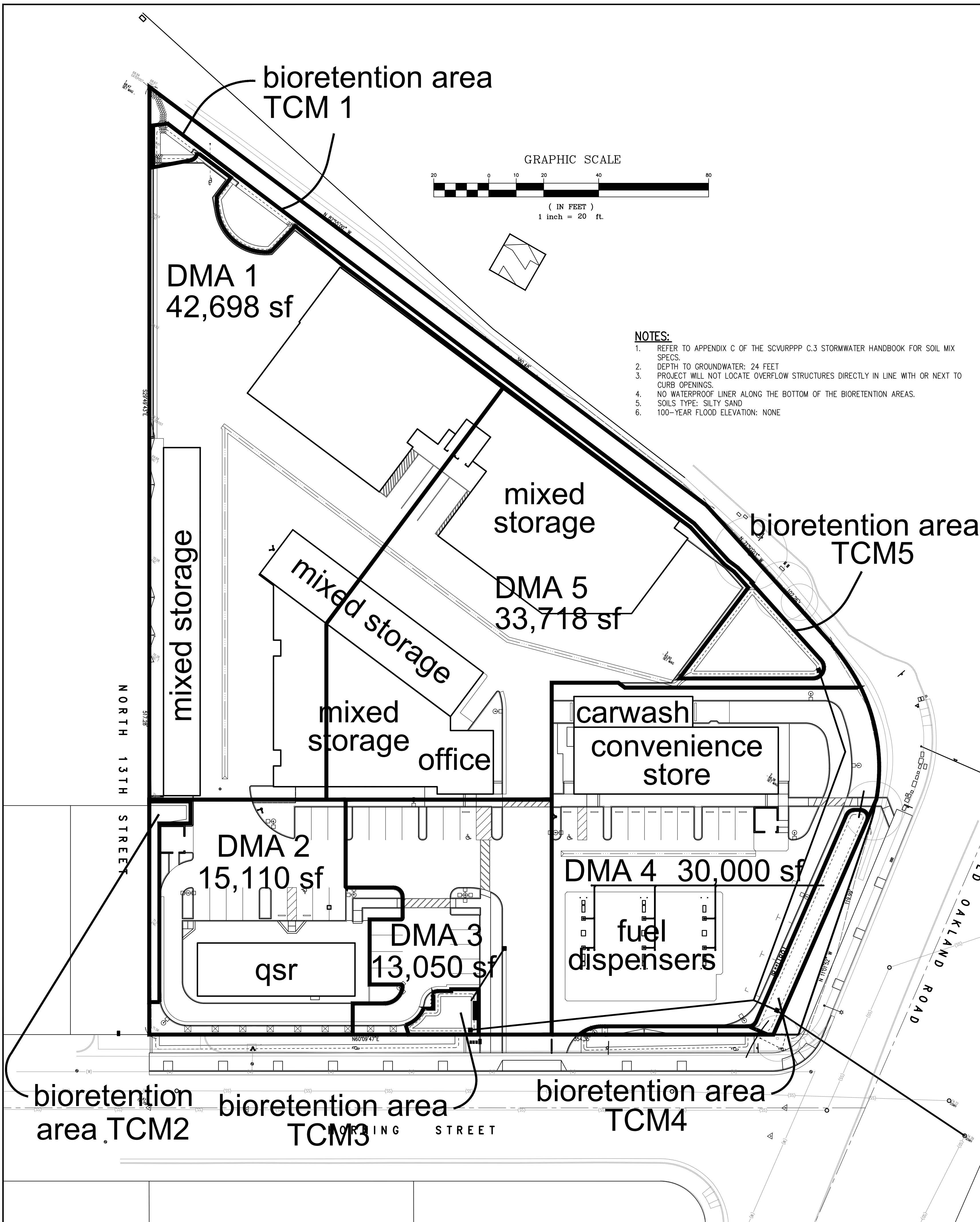


**JIM RUBNITZ**  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

HANNA-BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

CONCEPTUAL  
SELF-STORAGE DEVELOPMENT  
GRADING & DRAINAGE PLAN  
SAN JOSE  
Project No: 15062  
Designed TM  
Date: 7/19/18

SHEET  
7  
Of 9 SHEETS  
PW PROJECT #  
3-22046



| PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE         |   |   |               |     |
|---|---|---|---------------|-----|
|   |   | PROJECT PHASE NUMBER: (N/A, 1, 2, 3, etc.)                |               | N/A |
| TOTAL SITE (acres):                                       | 3.23 acres  | TOTAL AREA OF SITE DISTURBED (acres):                     | 3.23 acres    |     |
| IMPERVIOUS SURFACES                                       | EXISTING CONDITIONED OF SITE AREA DISTURBED (square feet) | PROPOSED CONDITIONED OF SITE AREA DISTURBED (square feet) |               |     |
|   |   | REPLACED <sup>1</sup>                                     | NEW           |     |
| ROOF AREA(S)  | 39,481  | 41,130  | 0             |     |
| PARKING   | 0   | 0   | 0             |     |
| SIDEWALK, PATIOS, DRIVEWAYS, ETC.                         | 102,346   | 74,570  | 0             |     |
| STREETS (PUBLIC)  | 0   | 0   | 0             |     |
| STREETS (PRIVATE)   | 0   | 0   | 0             |     |
| <b>TOTAL IMPERVIOUS SURFACES:</b>                         | <b>145,275</b>  | <b>115,700</b>  | <b>0</b>      |     |
| <b>PERVIOUS SURFACES</b>                                  |   |   |               |     |
| LANDSCAPE AREAS   | 0   | 0   | 25,165        |     |
| PERVIOUS PAVING   | 0   | 0   | 0             |     |
| OTHER PERVIOUS SURFACES (green roof, etc.)                | 0   | 0   | 0             |     |
| <b>TOTAL PERVIOUS SURFACES:</b>                           | <b>0</b>  | <b>0</b>  | <b>25,165</b> |     |
| <b>TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES:</b> |   | <b>115,700</b>  |               |     |
| <b>TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES:</b>   |   | <b>25,165</b>   |               |     |

| TREATMENT CONTROL MEASURE SUMMARY TABLE |       |                |                      |                     |                      |                     |                              |                            |                                   |                                   |                               |                            |                             |                             |
|---|-------|----------------|----------------------|---------------------|----------------------|---------------------|------------------------------|----------------------------|-----------------------------------|-----------------------------------|-------------------------------|----------------------------|-----------------------------|-----------------------------|
| Area                                    | TCM # | Treatment Type | Drainage Area (s.f.) | Asphalt Area (s.f.) | Concrete Area (s.f.) | Rooftop Area (s.f.) | Total Impervious Area (s.f.) | Total Pervious Area (s.f.) | Bioretention Area Required (s.f.) | Bioretention Area Provided (s.f.) | Bioretention Lined or Unlined | Overflow Riser Height (in) | Storage Depth Required (ft) | Storage Depth Provided (ft) |
| 1                                       | 1     | bioretention   | 42,698               | 23,564              | 1,390                | 16,372              | 41,326                       | 289                        | 1653.04                           | 1,083                             | unlined                       | 0.75                       | 0.73                        | 0.8                         |
| 2                                       | 2     | bioretention   | 15,100               | 9,091               | 2,425                | 2,495               | 14,011                       | 425                        | 560                               | 664                               | unlined                       | 0.5                        | 0.09                        | 0.5                         |
| 3                                       | 3     | bioretention   | 13,050               | 11,696              | 520                  | 0                   | 12,216                       | 322                        | 489                               | 512                               | unlined                       | 0.5                        | 0.08                        | 0.5                         |
| 4                                       | 4     | bioretention   | 30,000               | 15,452              | 6,930                | 5,155               | 27,537                       | 1,348                      | 1101                              | 1,115                             | unlined                       | 0.5                        | 0.11                        | 0.5                         |
| 5                                       | 5     | bioretention   | 33,718               | 13,988              | 0                    | 17,112              | 31,100                       | 898                        | 1,244                             | 1,720                             | unlined                       | 0.5                        | 0.10                        | 0.5                         |
| <b>Totals:</b>                          |       |                | <b>134,566</b>       | <b>73,791</b>       | <b>11,265</b>        | <b>41,134</b>       | <b>126,190</b>               | <b>3,282</b>               |                                   |                                   |                               |                            |                             |                             |

\*Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)  
 \*\*Per Chapter 2.3 of the C3 Stormwater Handbook Roadway projects that add new sidewalk along an existing roadway are exempt from Provision C.3.c of the Municipal Stormwater Permit.  
 \*\*\*DMA XX is not being treated but will be treated by Equivalent Treatment Area EQ-1. Area EQ-1 is equal to or greater than the required treatment area of DMA XX.  
 EQ-1 is not required to be treated as it is [insert reason here]

**SITE DESIGN MEASURES**

- DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.

**SOURCE CONTROL MEASURES**

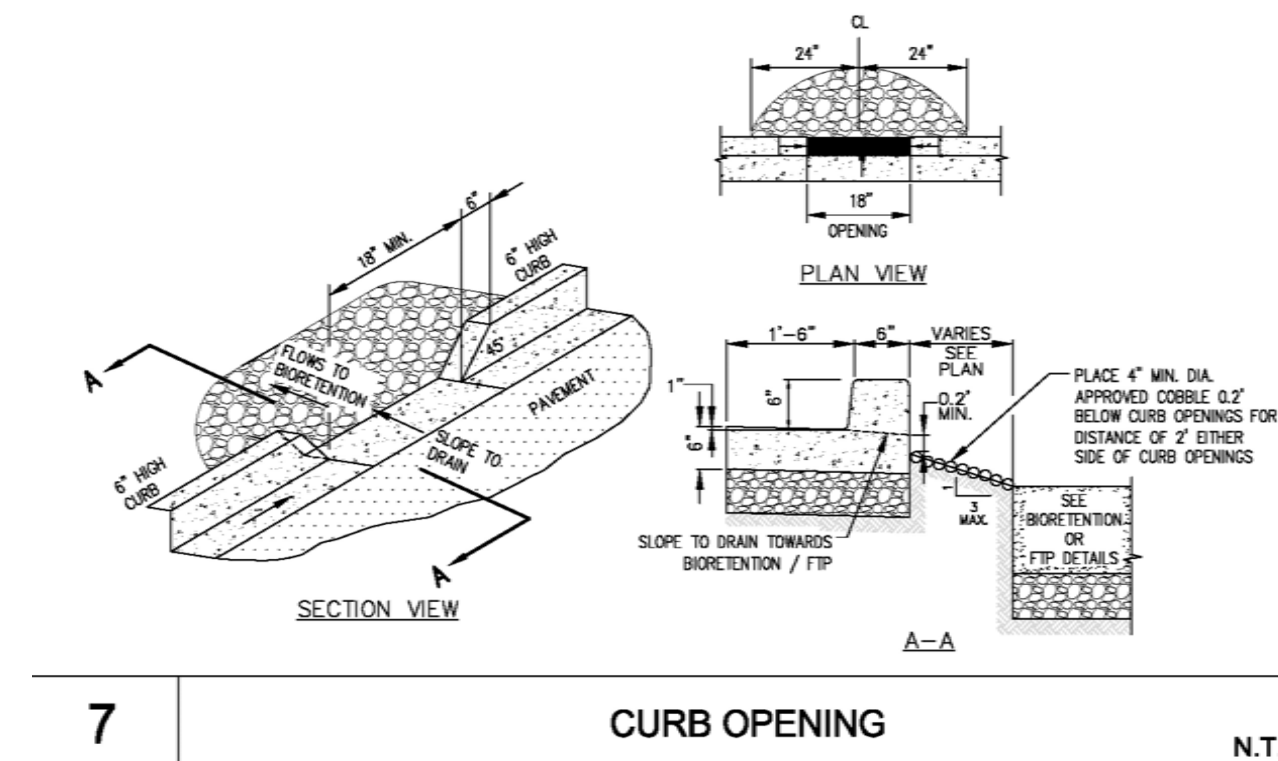
- COVERED DUMPSTER AREA AND INTERIOR PARKING STRUCTURES DRAIN TO SANITARY SEWER.
- USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
- MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
- STORM DRAIN LABELING.

**POLLUTANTS AND POLLUTANT SOURCE**

LOADING DOCKS, FOOD SERVICE AREAS, REFUSE AREAS, OUTDOOR PROCESSES AND STORAGE, VEHICLE CLEANING, REPAIR OR MAINTENANCE, FUEL DISPENSING.

**OPERATIONS AND MAINTENANCE**

- RESPONSIBLE PARTY: JIM RUBINIZ  
17610 BLANCHARD DR  
MONTE SERENO, CA 95030



|   |  |   |  |  |                                |
|---|--|---|--|--|--------------------------------|
| REGISTERED PROFESSIONAL ENGINEER<br>HANNA BRUNETTI<br>NO. 69278<br>EXP. 6-30-18<br>CIVIL<br>STATE OF CALIFORNIA | JIM RUBINIZ<br>17610 BLANCHARD DRIVE<br>MONTE SERENO, CA 95030 | HANNA-BRUNETTI<br>7651 EIGLEBERRY STREET<br>GILROY, CA 95020<br>OFFICE: 408 842-2173<br>FAX: 408 842-3662<br>EMAIL: ENGINEERING@HANNABRUNETTI.COM | CONCEPTUAL<br>SELF-STORAGE DEVELOPMENT<br>STORMWATER CONTROL PLAN<br>SAN JOSE<br>Project No: 15062<br>Designed TM<br>Date: 7/19/18 | SHEET<br>8<br>Of 9 SHEETS<br>PW PROJECT #<br>3-22046 | REVISIONS<br>DATE<br>BY<br>CSJ |
|---|--|---|--|--|--------------------------------|



| SIZING FOR VOLUME BASED TREATMENT  |                                   |
|--|-----------------------------------|
| DMA # <b>1</b>   |                                   |
| A = 42698 s.f.   |                                   |
| Impervious Area = 41326 s.f.   | % Imperviousness = 96.79%         |
| MAPsite = 15   | Correction Factor = 1.07914       |
| MAPgage = 13.9   |                                   |
| Clay (D):  | Sandy Clay (D): Clay Loam (D):    |
| Silt Loam/Loam (B): <b>x</b>   | Not Applicable (100% Impervious): |
| Are the soils outside the building footprint not graded/compacted? <b>y</b> Yes/No   |                                   |
| If no, and the soil will be compacted during site preparation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (eg. Silt Loam to Clay) |                                   |
| Modified Soil Type:  |                                   |
| S = 1.50%  |                                   |
| UBS Volume for 1% Slope (UBS1%) = 0.562102113 inches (Use Figure B-2)  |                                   |
| UBS Volume for 15% Slope (UBS15%) = 0.581170266 inches (Use Figure B-5)  |                                   |
| UBS Volume for X% Slope (UBSX%) = 0.562783118 inches (Corrected Slope for the site)  |                                   |
| Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)   |                                   |
| Adjusted UBS = 0.60731991 inches   |                                   |
| Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch  |                                   |
| Design Volume = 2,160.95 ft <sup>3</sup>   |                                   |

| SIZING FOR VOLUME BASED TREATMENT  |                                   |
|--|-----------------------------------|
| DMA # <b>2</b>   |                                   |
| A = 15100 s.f.   |                                   |
| Impervious Area = 14011 s.f.   | % Imperviousness = 92.79%         |
| MAPsite = 15   | Correction Factor = 1.07914       |
| MAPgage = 13.9   |                                   |
| Clay (D):  | Sandy Clay (D): Clay Loam (D):    |
| Silt Loam/Loam (B): <b>x</b>   | Not Applicable (100% Impervious): |
| Are the soils outside the building footprint not graded/compacted? <b>y</b> Yes/No   |                                   |
| If no, and the soil will be compacted during site preparation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (eg. Silt Loam to Clay) |                                   |
| Modified Soil Type:  |                                   |
| S = 1.50%  |                                   |
| UBS Volume for 1% Slope (UBS1%) = 0.539829603 inches (Use Figure B-2)  |                                   |
| UBS Volume for 15% Slope (UBS15%) = 0.557738146 inches (Use Figure B-5)  |                                   |
| UBS Volume for X% Slope (UBSX%) = 0.540469193 inches (Corrected Slope for the site)  |                                   |
| Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)   |                                   |
| Adjusted UBS = 0.58324014 inches   |                                   |
| Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch  |                                   |
| Design Volume = 733.91 ft <sup>3</sup>   |                                   |

| SIZING FOR VOLUME BASED TREATMENT  |                                   |
|--|-----------------------------------|
| DMA # <b>3</b>   |                                   |
| A = 13050 s.f.   |                                   |
| Impervious Area = 12216 s.f.   | % Imperviousness = 93.61%         |
| MAPsite = 15   | Correction Factor = 1.07914       |
| MAPgage = 13.9   |                                   |
| Clay (D):  | Sandy Clay (D): Clay Loam (D):    |
| Silt Loam/Loam (B): <b>x</b>   | Not Applicable (100% Impervious): |
| Are the soils outside the building footprint not graded/compacted? <b>y</b> Yes/No   |                                   |
| If no, and the soil will be compacted during site preparation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (eg. Silt Loam to Clay) |                                   |
| Modified Soil Type:  |                                   |
| S = 1.50%  |                                   |
| UBS Volume for 1% Slope (UBS1%) = 0.544403218 inches (Use Figure B-2)  |                                   |
| UBS Volume for 15% Slope (UBS15%) = 0.562549885 inches (Use Figure B-5)  |                                   |
| UBS Volume for X% Slope (UBSX%) = 0.545051314 inches (Corrected Slope for the site)  |                                   |
| Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)   |                                   |
| Adjusted UBS = 0.58818487 inches   |                                   |
| Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch  |                                   |
| Design Volume = 639.65 ft <sup>3</sup>   |                                   |

| COMBO FLOW & VOLUME BIORETENTION CALCULATION  |  |
|---|--|
| Total Drainage Area = 42,698 sq. ft   |  |
| Impervious Area = 41,326 sq. ft   |  |
| Pervious Area = 1,372 sq. ft  |  |
| Equivalent Impervious Area = 137 sq. ft   | Total Equivalent Impervious = 41,463 sq. ft    |
| Rainfall intensity = 0.2 in/hr  |  |
| Duration = Adjusted UBS (Step 6) / Rainfall Intensity   |  |
| Duration = 3.03659956 hrs   |  |
| Estimate the Surface Area = 1083 sq. ft   | (Typically start with Total Impervious x 0.03) |
| Volume of Treated Runoff = 1370.26555 cu. ft  |  |
| Volume in Ponding Area = 790.679915 cu. ft  |  |
| Depth of Ponding = 0.73008302 ft  | Depth of Ponding = 8.8 inches (Round up)       |
| If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)           |  |
| If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)                         |  |
| If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters. |  |

| COMBO FLOW & VOLUME BIORETENTION CALCULATION  |  |
|---|--|
| Total Drainage Area = 15,100 sq. ft   |  |
| Impervious Area = 14,011 sq. ft   |  |
| Pervious Area = 1,089 sq. ft  |  |
| Equivalent Impervious Area = 109 sq. ft   | Total Equivalent Impervious = 14,120 sq. ft    |
| Rainfall intensity = 0.2 in/hr  |  |
| Duration = Adjusted UBS (Step 6) / Rainfall Intensity   |  |
| Duration = 2.91620068 hrs   |  |
| Estimate the Surface Area = 560 sq. ft  | (Typically start with Total Impervious x 0.03) |
| Volume of Treated Runoff = 680.446826 cu. ft  |  |
| Volume in Ponding Area = 53.4636792 cu. ft  |  |
| Depth of Ponding = 0.09547086 ft  | Depth of Ponding = 1.1 inches (Round up)       |
| If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)           |  |
| If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)                         |  |
| If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters. |  |

| COMBO FLOW & VOLUME BIORETENTION CALCULATION  |  |
|---|--|
| Total Drainage Area = 13,050 sq. ft   |  |
| Impervious Area = 12,216 sq. ft   |  |
| Pervious Area = 834 sq. ft  |  |
| Equivalent Impervious Area = 83 sq. ft  | Total Equivalent Impervious = 12,299 sq. ft    |
| Rainfall intensity = 0.2 in/hr  |  |
| Duration = Adjusted UBS (Step 6) / Rainfall Intensity   |  |
| Duration = 2.94092435 hrs   |  |
| Estimate the Surface Area = 489 sq. ft  | (Typically start with Total Impervious x 0.03) |
| Volume of Treated Runoff = 599.213337 cu. ft  |  |
| Volume in Ponding Area = 40.4377099 cu. ft  |  |
| Depth of Ponding = 0.0826947 ft   | Depth of Ponding = 1 inches (Round up)         |
| If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)           |  |
| If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)                         |  |
| If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters. |  |

| SIZING FOR VOLUME BASED TREATMENT  |  |
|--|--|
| DMA # <b>4</b>   |  |
| A = 30000 s.f.   |  |
| Impervious Area = 27537 s.f.   | % Imperviousness = 91.79%                      |
| MAPsite = 15   | Correction Factor = 1.07914                    |
| MAPgage = 13.9   |  |
| Clay (D):  | Sandy Clay (D): Clay Loam (D):                 |
| Silt Loam/Loam (B): <b>x</b>   | Not Applicable (100% Impervious):              |
| Are the soils outside the building footprint not graded/compacted? <b>y</b> Yes/No   |  |
| If no, and the soil will be compacted during site preparation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (eg. Silt Loam to Clay) |  |
| Modified Soil Type:  |  |
| S = 1.50%  |  |
| UBS Volume for 1% Slope (UBS1%) = 0.5342703 inches (Use Figure B-2)  |  |
| UBS Volume for 15% Slope (UBS15%) = 0.5518894 inches (Use Figure B-5)  |  |
| UBS Volume for X% Slope (UBSX%) = 0.534899554 inches (Corrected Slope for the site)  |  |
| Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)   |  |
| Adjusted UBS = 0.57722973 inches   |  |
| Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch  |  |
| Design Volume = 1,443.07 ft <sup>3</sup>   |  |
| COMBO FLOW & VOLUME BIORETENTION CALCULATION   |  |
| Total Drainage Area = 30,000 sq. ft  |  |
| Impervious Area = 27,537 sq. ft  |  |
| Pervious Area = 2,463 sq. ft   |  |
| Equivalent Impervious Area = 246 sq. ft  | Total Equivalent Impervious = 27,783 sq. ft    |
| Rainfall intensity = 0.2 in/hr   |  |
| Duration = Adjusted UBS (Step 6) / Rainfall Intensity  |  |
| Duration = 2.88614867 hrs  |  |
| Estimate the Surface Area = 1101 sq. ft  | (Typically start with Total Impervious x 0.03) |
| Volume of Treated Runoff = 1324.0207 cu. ft  |  |
| Volume in Ponding Area = 119.053633 cu. ft   |  |
| Depth of Ponding = 0.10813227 ft   | Depth of Ponding = 1.3 inches (Round up)       |
| If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)  |  |
| If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)  |  |
| If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters.  |  |

| SIZING FOR VOLUME BASED TREATMENT  |  |
|--|--|
| DMA # <b>5</b>   |  |
| A = 33718 s.f.   |  |
| Impervious Area = 31100 s.f.   | % Imperviousness = 92.24%                      |
| MAPsite = 15   | Correction Factor = 1.07914                    |
| MAPgage = 13.9   |  |
| Clay (D):  | Sandy Clay (D): Clay Loam (D):                 |
| Silt Loam/Loam (B): <b>x</b>   | Not Applicable (100% Impervious):              |
| Are the soils outside the building footprint not graded/compacted? <b>y</b> Yes/No   |  |
| If no, and the soil will be compacted during site preparation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (eg. Silt Loam to Clay) |  |
| Modified Soil Type:  |  |
| S = 1.50%  |  |
| UBS Volume for 1% Slope (UBS1%) = 0.536752298 inches (Use Figure B-2)  |  |
| UBS Volume for 15% Slope (UBS15%) = 0.554500623 inches (Use Figure B-5)  |  |
| UBS Volume for X% Slope (UBSX%) = 0.537386167 inches (Corrected Slope for the site)  |  |
| Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)   |  |
| Adjusted UBS = 0.57991313 inches   |  |
| Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch  |  |
| Design Volume = 1,629.46 ft <sup>3</sup>   |  |
| COMBO FLOW & VOLUME BIORETENTION CALCULATION   |  |
| Total Drainage Area = 33,718 sq. ft  |  |
| Impervious Area = 31,100 sq. ft  |  |
| Pervious Area = 2,618 sq. ft   |  |
| Equivalent Impervious Area = 262 sq. ft  | Total Equivalent Impervious = 31,362 sq. ft    |
| Rainfall intensity = 0.2 in/hr   |  |
| Duration = Adjusted UBS (Step 6) / Rainfall Intensity  |  |
| Duration = 2.89956565 hrs  |  |
| Estimate the Surface Area = 1244 sq. ft  | (Typically start with Total Impervious x 0.03) |
| Volume of Treated Runoff = 1502.94153 cu. ft   |  |
| Volume in Ponding Area = 126.517715 cu. ft   |  |
| Depth of Ponding = 0.10170234 ft   | Depth of Ponding = 1.2 inches (Round up)       |
| If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)  |  |
| If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)  |  |
| If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters.  |  |

|           |      |    |
|-----------|------|----|
| REVISIONS | DATE | BY |
|           |      |    |
|           |      |    |
|           |      |    |
|           |      |    |



**JIM RUBNITZ**  
 17610 BLANCHARD DRIVE  
 MONTE SERENO, CA 95030

HANNA-BRUNETTI  
 7651 EIGLEBERRY STREET  
 GILROY, CA 95020  
 OFFICE: 408 842-2173  
 FAX: 408 842-3662  
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

CONCEPTUAL  
 SELF-STORAGE DEVELOPMENT  
 BIORETENTION DMA SHEETS  
 Project No: 15062  
 Date: 7/19/18  
 Checked: AM  
 Designed: TM

SHEET  
 9  
 Of 9 SHEETS  
 PW PROJECT #  
 3-22046





SITE VIEW FROM THE OFF RAMP



BUILDINGS TO THE NORTH OF THE PROPERTY AT BAYSHORE FWY



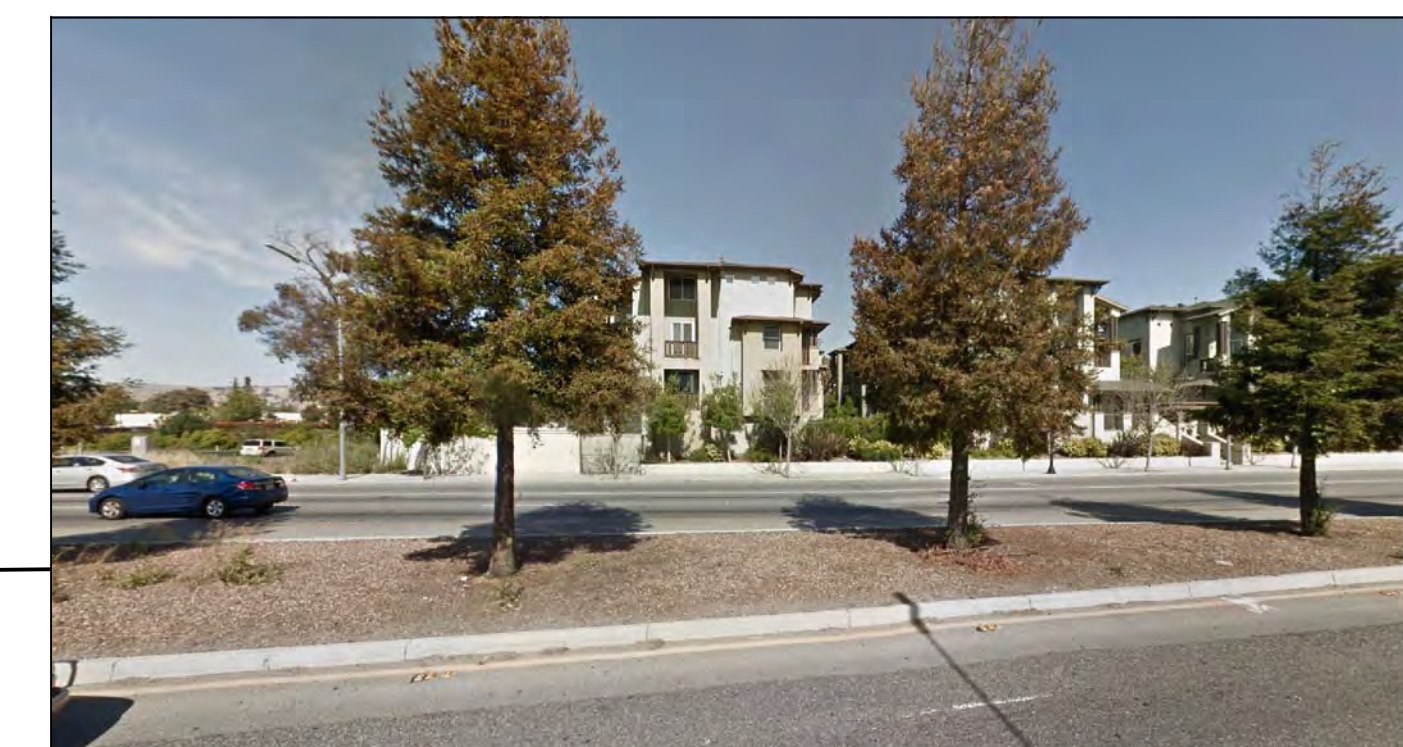
SITE VIEW AT INTERSECTION OF OAKLAND RD & BAYSHORE OFF RAMP



SITE VIEW FROM N. 13TH ST.



EXISTING SITE 645 HORNING ST



BUILDINGS TO THE EAST ON OAKLAND RD



SITE VIEW AT INTERSECTION OF HORNING ST & OAKLAND RD



BUILDINGS TO THE WEST AT N. 13TH ST.

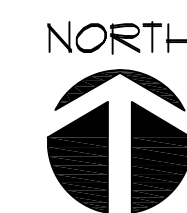


PROPERTY TO THE SOUTH AT HORNING STREET



SITE VIEW FROM HORNIN ST.

**1 BUILDING AND SITE PHOTOS**  
 SCALE: 1" = 200'-0"



**GAS STATION, CONVENIENCE STORE,  
 CARWASH, QSR & MINI STORAGE  
 645 HORNING STREET  
 SAN JOSE, CA**

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M I ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF M I ARCHITECTS, INC. IS PROHIBITED.

- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- 04-14-15 ISSUED FOR PLANNING

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| △   |      |             |
| △   |      |             |
| △   |      |             |
| △   |      |             |

BUILDING AND SITE PHOTOS

PROJECT #: 15-6609  
 DRAWN: BB CHECKED: MII  
 SCALE: AS NOTED DATE: 08-18-16

S:\1-Projects\15-6609 645 Horning St San Jose (Jug's Planning)\15-6609-8.dwg modified by mihana2 at Jun 26, 2017 - 3:46pm





Architects

M I Architects, Inc.
ARCHITECTURE
PLANNING
MANAGEMENT
DESIGN
2221 OLYMPIC BLVD.,
SUITE 100
WALNUT CREEK, CA
94595
925-287-1174 Tel
925-443-1501 Fax
925-878-4875 Cell
muthana@miarchitect.com
www.miarchitect.com

eha logo square.jpg

GAS STATION, CONVENIENCE STORE,
CARWASH, QSR & MINI STORAGE
645 HORNING STREET
SAN JOSE, CA

PLANNING AND SPECIFIC TASKS AND THE CONCEPTS EMPLOYED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF MI ARCHITECTS, INC. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND REMAIN THE PROPERTY OF THE ARCHITECT. THE USE, REPLICATION OR DISSEMINATION OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF MI ARCHITECTS, INC. IS STRICTLY PROHIBITED.

PLANTING LEGEND

Symbol BOTANICAL NAME COMMON NAME H2O SIZE

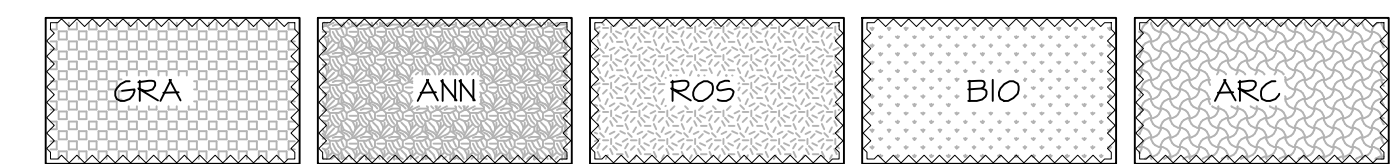
- Tree
Quercus lobata Valley Oak L 24" Box
Gleditsia triacanthos shademaster Honey Locust L 24" Box
Robinia x ambigua 'Purple Robe' Purple Flowering Locust L 24" Box
Tilia tomentosa 'Sterling' Sterling Silver Linden L 24" Box
Street Tree (Sected by City Arborist) L 24" Box

Shrubs and Vines

- Myrica californica Pacific Wax Myrtle L 5 Gallon
Campsis radicans 'Flava' Yellow Trumpet Vine L 1 Gallon

Ground Cover

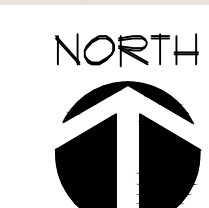
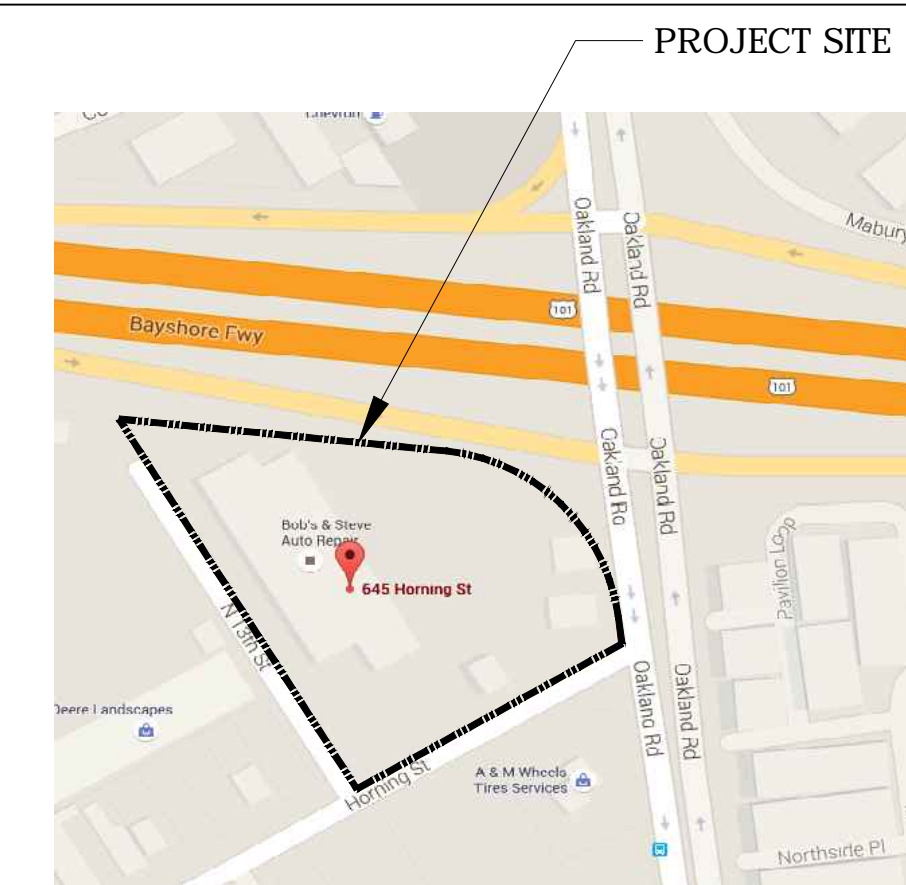
- ROS Rosemarinus offic. 'Hunt.Gar.' Huntington L 1 Gallon @ 30" oc
ARC Arctostaphylos 'Emerald Carpet' Carpet Manzanita L 1 Gallon @ 36" oc
BIO Biofiltration Sod (Delta B.G.) Fescue Blend L Sod
GRA Juncus patens California Gray Rush L 1 Gallon @ 24" oc
ANN Mexican Tarragon Tagetes lucida Marigold L 4" Pot @ 14" oc



PLANTING NOTES

- 1. All trees are to be staked as shown in the staking diagram per city requirement.
2. Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
3. All ground cover and shrub areas shall be top-dressed with a 3" layer of bark mulch.
4. All ground cover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
5. There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species as size as those damaged.
6. All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
7. Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect.
8. Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
9. All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by freeform curves.
10. HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.
11. Landscaping shall be maintained in a manner to prevent landscaping from growing above 3' in height in the areas indicated in the plans as being located within a safety visibility triangle area.
12. CERTIFICATION: Prior to occupancy, the Landscape Architect shall certify in writing in a manner acceptable to the Building Inspection Division, that the landscaping has been installed in accordance with all aspects of the approved landscape plans.

VICINITY MAP



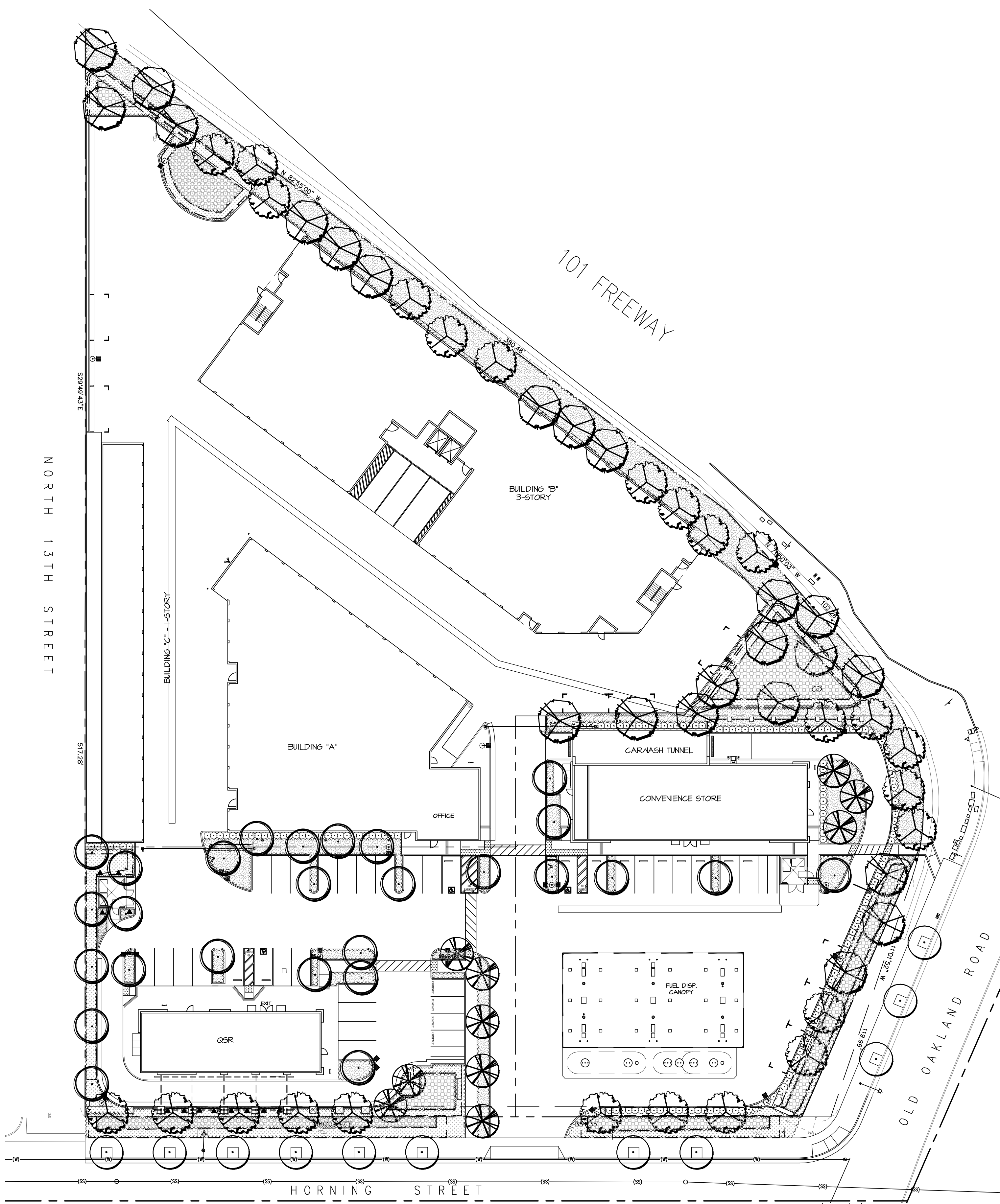
Maximum Applied Water Allowance table with columns: Eto, X, T, X, Fltg S, X, Gal/SF, MAXVA. Values: 45.3, 0.45, 23,937, 0.62, 302,553.

Estimated Total Water Use table with columns: Plant, Water Use (Eto) (.062), X, (PF X HA), E, ETWU. Values: Low 28.1, 8,866, 248,998; Medium 28.1, 0, 0; High 28.1, 0, 0; Total 248,998.

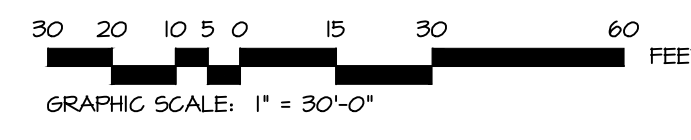
Proposed Landscape Water Use table with columns: Plant Type, H2O Use, Fltg SF, Gallons, % of Land. Values: Low 0.30, 23,937, 248,998, 100%; Medium 0.60, 0, 0, 0%; High 0.90, 0, 0, 0%.



Ciardella associates
640 Menlo Ave, Suite 10
Menlo Park, CA 94025
Tel 650 326 6100
Landscape Architecture F 650 285 4537
Urban Design ca@ciardella-assoc.com



1 CONCEPTUAL LANDSCAPE PLAN
1" = 30'-0"





# GAS STATION, CONVENIENCE STORE, CARWASH & MINI STORAGE

645 HORNING STREET  
SAN JOSE, CALIFORNIA

PROJECT FILE NO. : PD16-027

## DRAWING INDEX

|        |   |
|--------|---|
| 1      | TITLE SHEET                                     |
| 2      | LAND USE PLAN                                   |
| 2J     | DEVELOPMENT STANDARDS                           |
| 3      | COMPREHENSIVE SITE PLAN                         |
| 1 OF 4 | COVER SHEET                                     |
| 2 OF 4 | PRELIMINARY DEMOLITION PLAN                     |
| 3 OF 4 | RECORD OF SURVEY                                |
| 4 OF 4 | PRELIMINARY SITE PLAN                           |
| 5 OF 4 | PRELIMINARY GRADING AND DRAINAGE PLAN           |
| 6 OF 4 | PRELIMINARY GRADING AND DRAINAGE PLAN           |
| 7 OF 4 | PRELIMINARY GRADING AND DRAINAGE PLAN           |
| 8 OF 4 | PRELIMINARY STORMWATER CONTROL PLAN             |
| 9 OF 4 | PRELIMINARY BIORETENTION DMA SHEETS             |
| TA     | CONVENIENCE STORE AND QSR BUILDING ELEVATIONS   |
| TB     | STORAGE BUILDING "B" ELEVATIONS                 |
| TC     | FUEL CANOPY AND STORAGE BUILDING "A" ELEVATIONS |
| TD     | STORAGE BUILDING "C" ELEVATIONS                 |
| 8      | BUILDING AND SITE PHOTOS                        |
| 9A     | CONVENIENCE STORE AND QSR FLOOR PLANS           |
| 9B     | STORAGE BUILDING "A" FLOOR PLAN                 |
| 9C     | STORAGE BUILDING "B" AND "C" FLOOR PLANS        |
| 10     | LANDSCAPE PLAN                                  |
| 11     | LIGHTING PLAN                                   |
| 12     | SITE DETAILS                                    |
| 12I    | COLORS & MATERIALS                              |

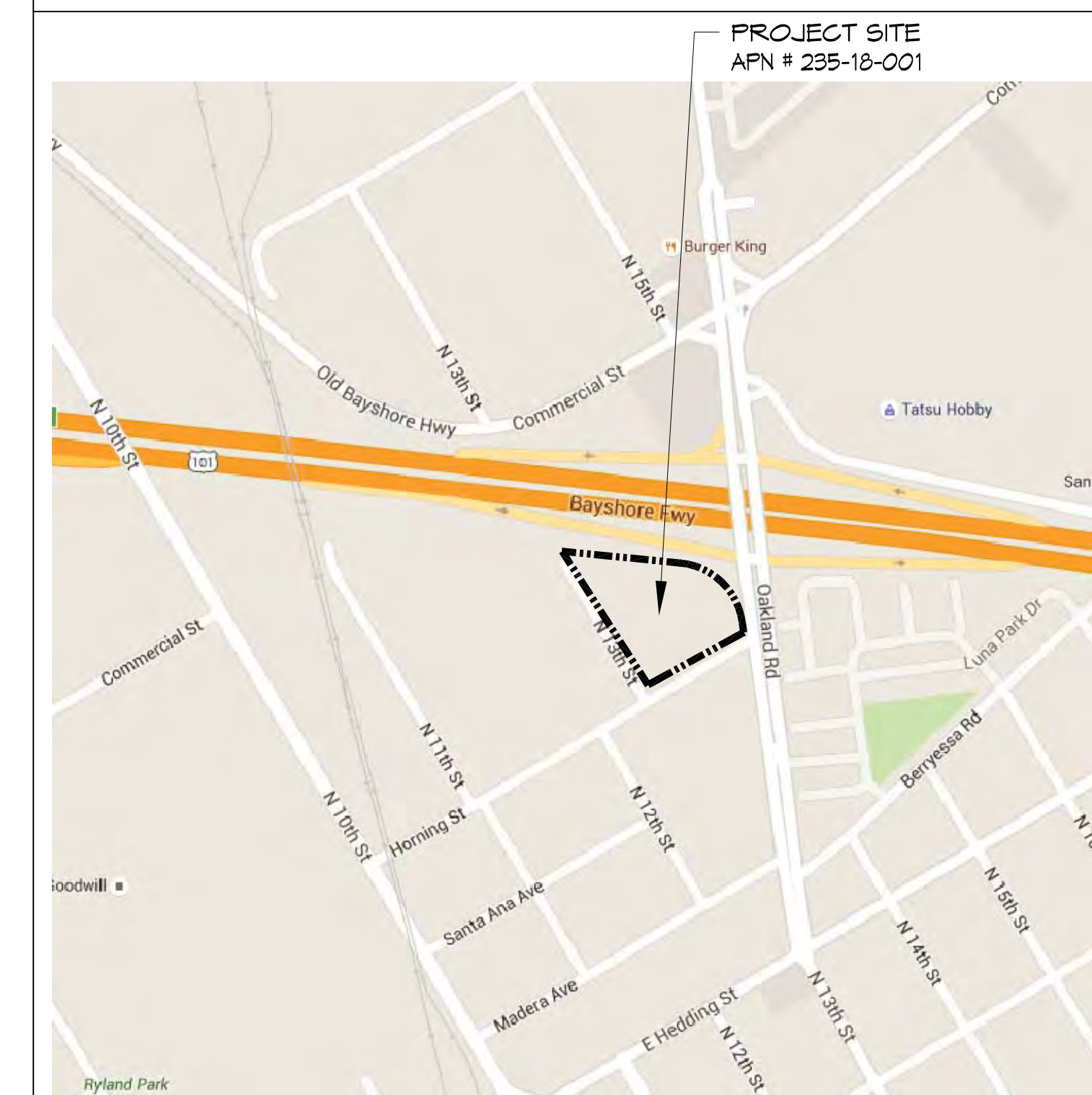
## PROJECT DESCRIPTION

- PROPOSED USES:**
- GAS STATION, CONVENIENCE STORE, DRIVE-THRU CARWASH, QSR, AND MINI STORAGE
- PROJECT DEMOLITION:**
- REMOVE EXISTING AUTO SERVICE BUILDINGS (40,554 S.F.)
- NEW CONSTRUCTION:**
- CONSTRUCT A 3,814 S.F. CONVENIENCE STORE W/ ATTACHED 1,086 S.F. SELF-SERVE CARWASH TUNNEL W/ 255 S.F. CARWASH EQUIP. ROOM
  - CONSTRUCT A 3,870 S.F. FUELING CANOPY WITH 6 FUELING DISPENSERS AND (2) 20K UNDERGROUND STORAGE TANKS
  - CONSTRUCT A 2,444 S.F. QUICK SERVICE RESTAURANT WITH A DRIVE THRU
  - CONSTRUCT A 16,219 S.F. (4 STORY) MINI STORAGE BUILDING
  - CONSTRUCT A 18,171 S.F. (1 STORY) MINI STORAGE BUILDING
  - CONSTRUCT A 3,800 S.F. (1 STORY) MINI STORAGE BUILDING
- NEW SITE IMPROVEMENTS:**
- NEW 32 FOOT WIDE DRIVEWAY ALONG HORNING STREET
  - NEW ON-SITE PARKING STALLS
  - NEW ACCESSIBLE PATH OF TRAVEL TO THE RIGHT-OF-WAY
  - NEW MASONRY TRASH ENCLOSURES
  - NEW SITE LIGHTING
  - NEW LANDSCAPING
  - NEW SELF-SERVICE AIR/WATER AND VACUUM UNITS
- ADDITIONAL OPERATIONAL FACILITY INFORMATION:**
- |          |                     |
|----------|---------------------|
| QSR:     | 6:00 AM TO 2:00 PM  |
| CARWASH: | 6:00 AM TO 10:00 PM |

## PROJECT DIRECTORY

|  |   |
|--|---|
| <b>ARCHITECT</b><br>M I ARCHITECTS, INC.<br>2221 OLYMPIC BLVD, SUITE 100<br>WALNUT CREEK, CA 94595<br>TEL: (925) 287-1174<br>FAX: (925) 943-1581<br>CELL: (925) 878-9875<br>MR. MUTHANA IBRAHIM, ARCHITECT | <b>LANDSCAPE ARCHITECT</b><br>CIARDELLA ASSOCIATES<br>640 MENLO AVE, SUITE 10<br>MENLO PARK, CA 94025<br>TEL: (650) 326-6100<br>FAX: (650) 323-6100<br>CELL: -<br>MR. RICHARD CIARDELLA |
| <b>CIVIL ENGINEER</b><br>HANNA & BRUNETTI<br>1651 EIGLEBERRY STREET<br>GILROY, CA 95020<br>TEL: (408) 842-2173<br>FAX: (408) 842-3662<br>MS. AMANDA WELSON HUSTY-VERDEJ, CSED                              | <b>DEVELOPER</b><br>MR. JIM RIBENITZ<br>17610 BLANCHARD DRIVE<br>MONTE SERENO, CA 95030<br>TEL: (408) 813-6416  |

## LOCATION MAP



GAS STATION, CONVENIENCE STORE,  
CARWASH, QSR & MINI STORAGE  
645 HORNING STREET  
SAN JOSE, CA

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M I ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT OR DISCLOSURE OF THE DOCUMENTS WITHOUT EXPRESSED WRITTEN CONSENT FROM M I ARCHITECTS, INC. IS PROHIBITED.

|         |                         |
|---------|-------------------------|
| -       | ISSUED FOR CONSTRUCTION |
| -       | ISSUED FOR PLAN CHECK   |
| 3-22-16 | ISSUED FOR PLANNING     |

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| △   |      |             |
| △   |      |             |
| △   |      |             |
| △   |      |             |
| △   |      |             |

TITLE SHEET

PROJECT #: 15-6609

DRAWN: BB CHECKED: MI

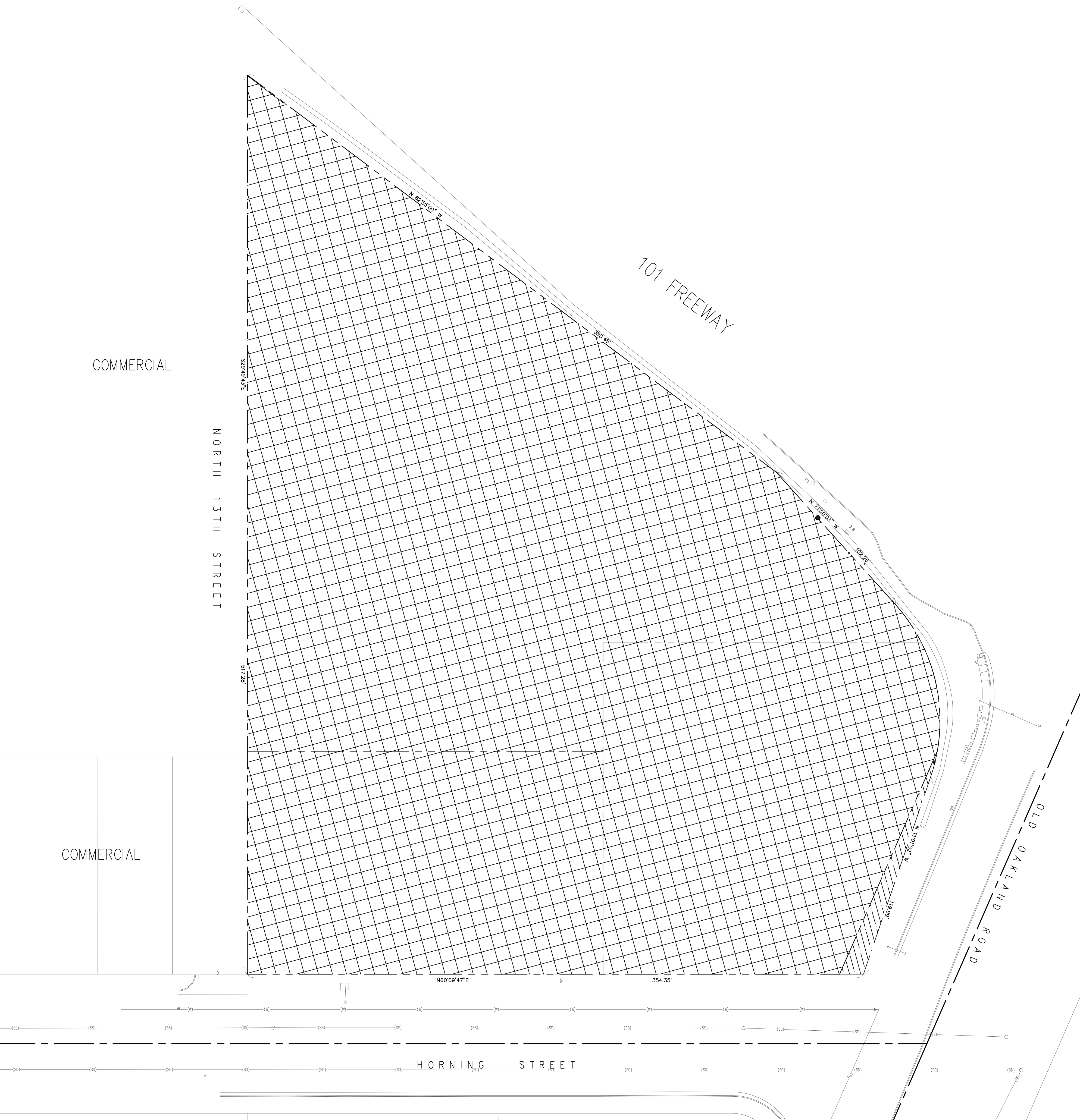
SCALE: AS NOTED DATE: 6-16-16

1 OF

S:\1-Projects\15-6609 645 Horning St San Jose\Jug's\Planning\15-6609-CS\_1.dwg modified by mbauser2 at Mar 23, 2018 - 10:14am



S:\1-Projects\15-6609 645 Horning St San Jose (Jug's Planning)\15-6609-2 & 2.1.dwg modified by minuser2 at Mar 22, 2018 - 10:13am



COMMERCIAL

COMMERCIAL

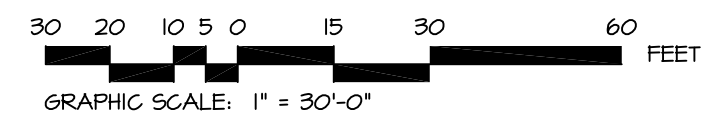
NORTH 13TH STREET

101 FREEWAY

OLD OAKLAND ROAD

HORNING STREET

**1 LAND USE PLAN**  
SCALE: 1" = 30'-0"



**LAND USE PLAN LEGEND**

CIG (PD)

TO BE DEDICATED, SEE CIVIL DWGS

**LOCATION MAP** SCALE: 1" = 500'

PROJECT SITE  
APN # 235-18-001

**ISSUED FOR CONSTRUCTION**  
**ISSUED FOR PLAN CHECK**  
3-22-18 **ISSUED FOR PLANNING**

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |
| 2   |      |             |
| 3   |      |             |
| 4   |      |             |

**LAND USE PLAN**

PROJECT #: 15-6609  
DRAWN: BM CHECKED: MI  
SCALE: AS NOTED DATE: 04-01-18

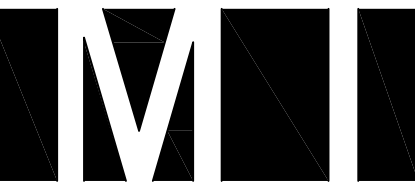
**2**  
SHEET OF

**M I Architects**

M I Architects, Inc.  
ARCHITECTURE  
PLANNING  
MANAGEMENT  
DESIGN  
2221 OLYMPIC BLVD.,  
SUITE 100  
WALNUT CREEK, CA  
94595  
925-287-1174 Tel  
925-443-1581 Fax  
925-878-9875 Cell  
mihana@miarchitect.com  
www.miarchitect.com

**GAS STATION, CONVENIENCE STORE,  
CARWASH, QSR & MINI STORAGE  
645 HORNING STREET  
SAN JOSE, CA**

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M I ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF M I ARCHITECTS, INC. IS PROHIBITED.



Architects

M I Architects, Inc.

ARCHITECTURE  
PLANNING  
MANAGEMENT  
DESIGN  
2221 OLYMPIC BLVD.,  
SUITE 100  
WALNUT CREEK, CA  
94595  
925-287-1174 Tel  
925-943-1501 Fax  
925-878-9875 Cell  
mihana@miarchitect.com  
www.miarchitect.com

**GAS STATION, CONVENIENCE STORE,  
CARWASH, QSR & MINI STORAGE  
645 HORNING STREET  
SAN JOSE, CA**

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF MI ARCHITECTS, INC. ANY REPRODUCTION, TRANSMISSION, DISTRIBUTION, DISSEMINATION, OR DISCLOSURE OF THE DOCUMENTS WITHOUT EXPRESSED WRITTEN CONSENT FROM MI ARCHITECTS, INC. IS PROHIBITED.

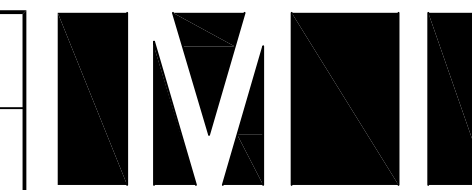
- ISSUED FOR CONSTRUCTION  
- ISSUED FOR PLAN CHECK  
3-22-18 ISSUED FOR PLANNING

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| △   |      |             |
| △   |      |             |
| △   |      |             |
| △   |      |             |
| △   |      |             |

DEVELOPMENT STANDARDS

PROJECT #: 15-6609  
DRAWN BY: BM CHECKED BY: MII  
SCALE: AS NOTED DATE: 04-01-18





M I Architects

M I Architects, Inc.

ARCHITECTURE  
PLANNING  
MANAGEMENT  
DESIGN  
2221 OLYMPIC BLVD.,  
SUITE 100  
WALNUT CREEK, CA  
94595  
925-287-1174 Tel  
925-943-1501 Fax  
925-878-9875 Cell  
muthana@miarchitect.com  
www.miarchitect.com

### SITE INFO

APN# 235-18-001  
 JURISDICTION: CITY OF SAN JOSE, CA  
 CURRENT ZONING: (L) LIGHT INDUSTRIAL

**LOT AREA:** 3.26 ACRES

**SETBACKS (BUILDING AND/OR PARKING & CIRCULATION):**  
 FRONT (OAKLAND RD.): 15 FEET  
 CORNER SIDE (HORNING ST.): 15 FEET  
 REAR: 0 FEET  
 SIDE: 0 FEET

**PARKING REQUIREMENTS:**  
**CONVENIENCE STORE - 1 SPACE PER 200 S.F. x 0.85**  
 $3,814 \text{ S.F.} \times 0.85 = 3,242 / 200 =$  17 SPACES

**GAS STATION**  
 1 SPACE PER AIR/WATER = 1 SPACE  
 1 SPACE FOR INFORMATION STOP = 1 SPACE  
 1 SPACE FOR VACUUM = 1 SPACE

**CARWASH**  
 VEHICLE STACKING FOR (5) CARS  
 QSR - 1 STALL / 2.5 SEATS  
 $40 / 2.5 =$  16 SPACES

**MINI-STORAGE**  
 $91,990 / 5,000 =$  18 SPACES  
 1 SPACE FOR MANAGER

**PARKING PROVIDED:** 56 SPACES

**PARKING REQUIRED:** 56 SPACES

**STANDARD PARKING STALLS (9'x18'): 20 SPACES**  
**COMPACT PARKING STALLS (8'x18'): 5 SPACES**  
**VAN ACCESSIBLE PARKING STALL (11'x18'): 1 SPACE**  
**ACCESSIBLE PARKING STALL (14'x18'): 2 SPACES**  
**PARALLEL PARKING STALL (9'x22'): 8 SPACES**  
**FUEL CANOPY POSITIONS: 12 SPACES**

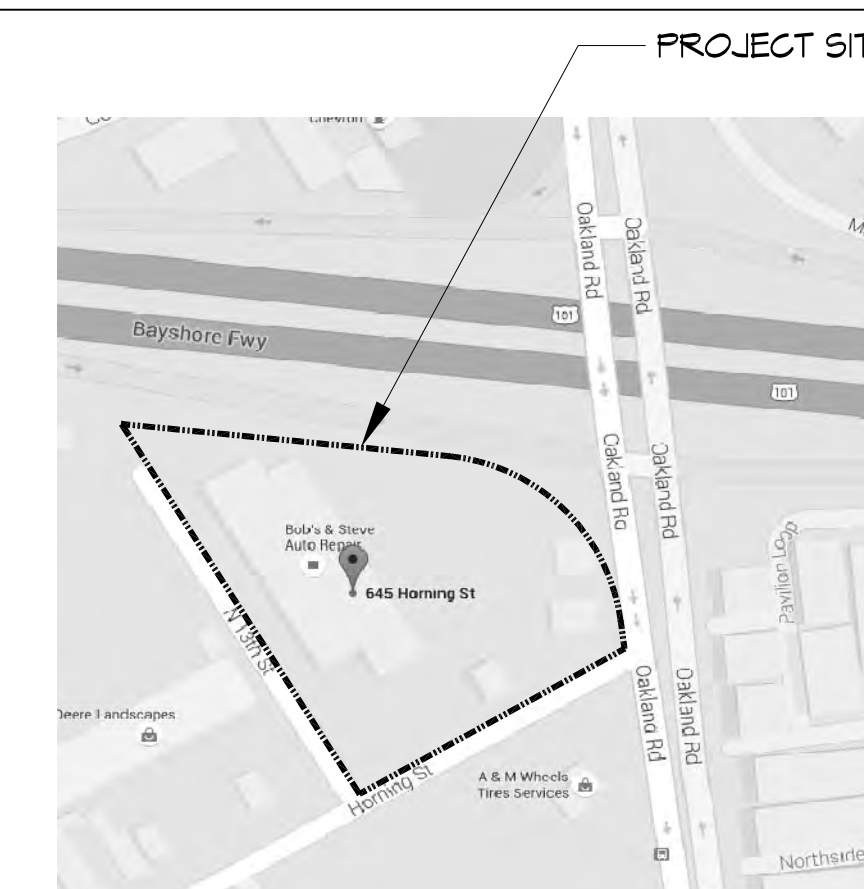
**MOTORCYCLE PARKING: 4 SPACES**

| SITE INFO TABLE                  |  |
|----------------------------------|--|
| BUILDING                         | PROPOSED                                     |
| CONVENIENCE STORE                | 3,814 S.F.                                   |
| FUELING CANOPY                   | 3,870 S.F.                                   |
| CARWASH & EQUIP                  | 1,341 S.F.                                   |
| QSR                              | 2,494 S.F.                                   |
| BUILDING "A" MINI STORAGE        | 11,871 S.F.                                  |
| BUILDING "B" MINI STORAGE        | 17,993 S.F. (4 STORY BUILDING = 76,319 S.F.) |
| BUILDING "C" MINI STORAGE        | 3,800 S.F.                                   |
| SITE COVERAGE                    |  |
| TOTAL PROPOSED BUILDING:         | 45,183 S.F.                                  |
| PERCENTAGE OF PROPOSED COVERAGE: | 31.82 %                                      |
| OPEN SPACE:                      | 68.18 %                                      |

### SITE PLAN LEGEND

- NEW LANDSCAPING, SEE SHT. 10
- BIO PLANTER, SEE SHT. 5, 6, 7, 8 & 9
- NEW CONCRETE PAVING
- EXISTING TO REMAIN
- EXISTING CURB TO REMAIN
- NEW CONCRETE CURB

### VICINITY MAP



- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- 3-22-18 ISSUED FOR PLANNING

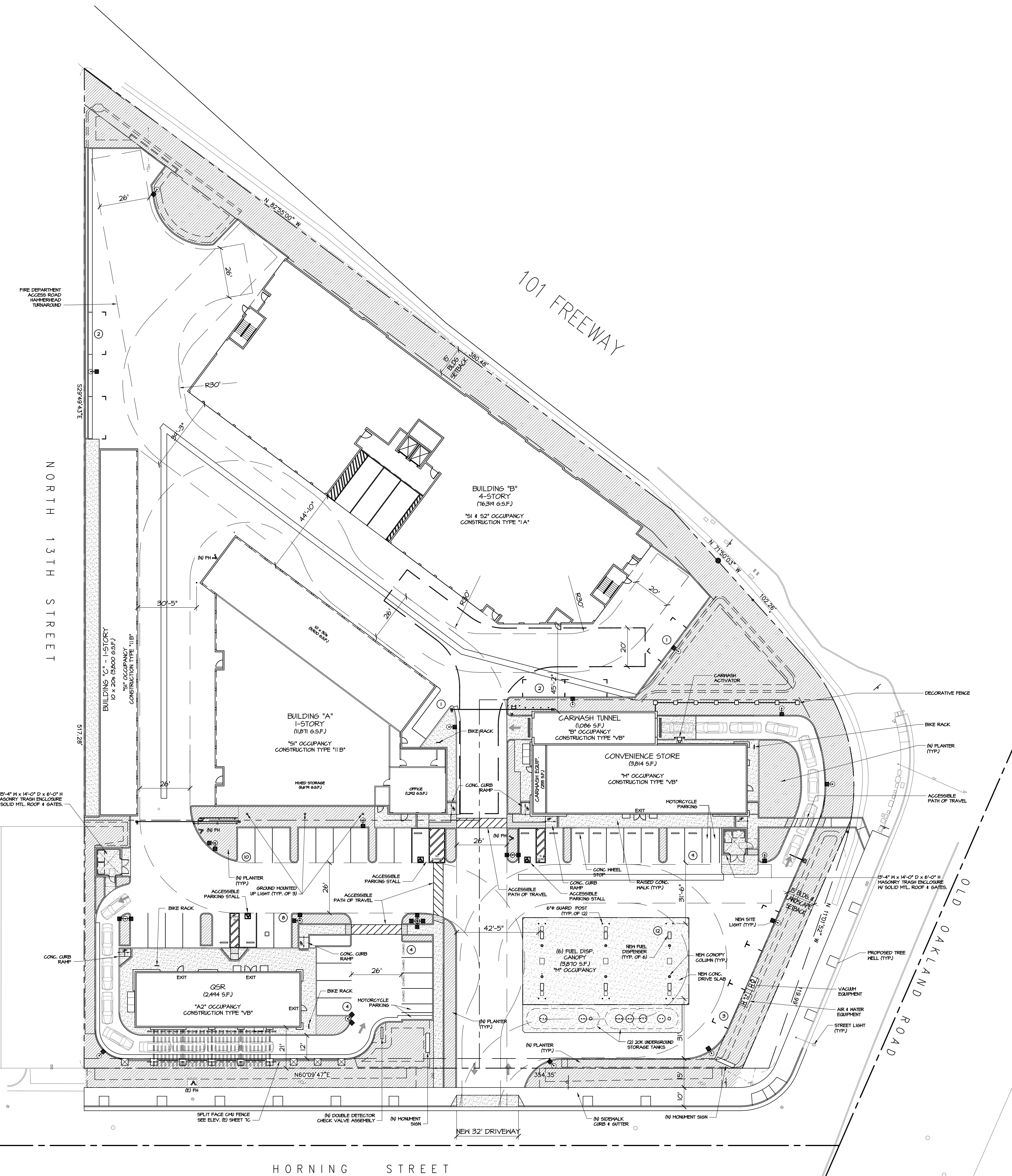
| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

### COMPREHENSIVE SITE PLAN

PROJECT #: 15-6609  
 DRAWN: BM CHECKED: MI  
 SCALE: AS NOTED DATE: 04-01-18

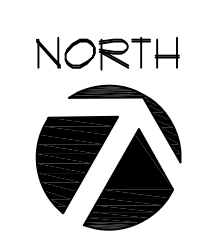
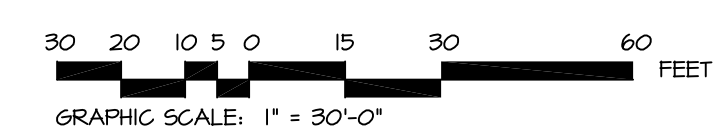
COMMERCIAL

COMMERCIAL



## 1 COMPREHENSIVE SITE PLAN

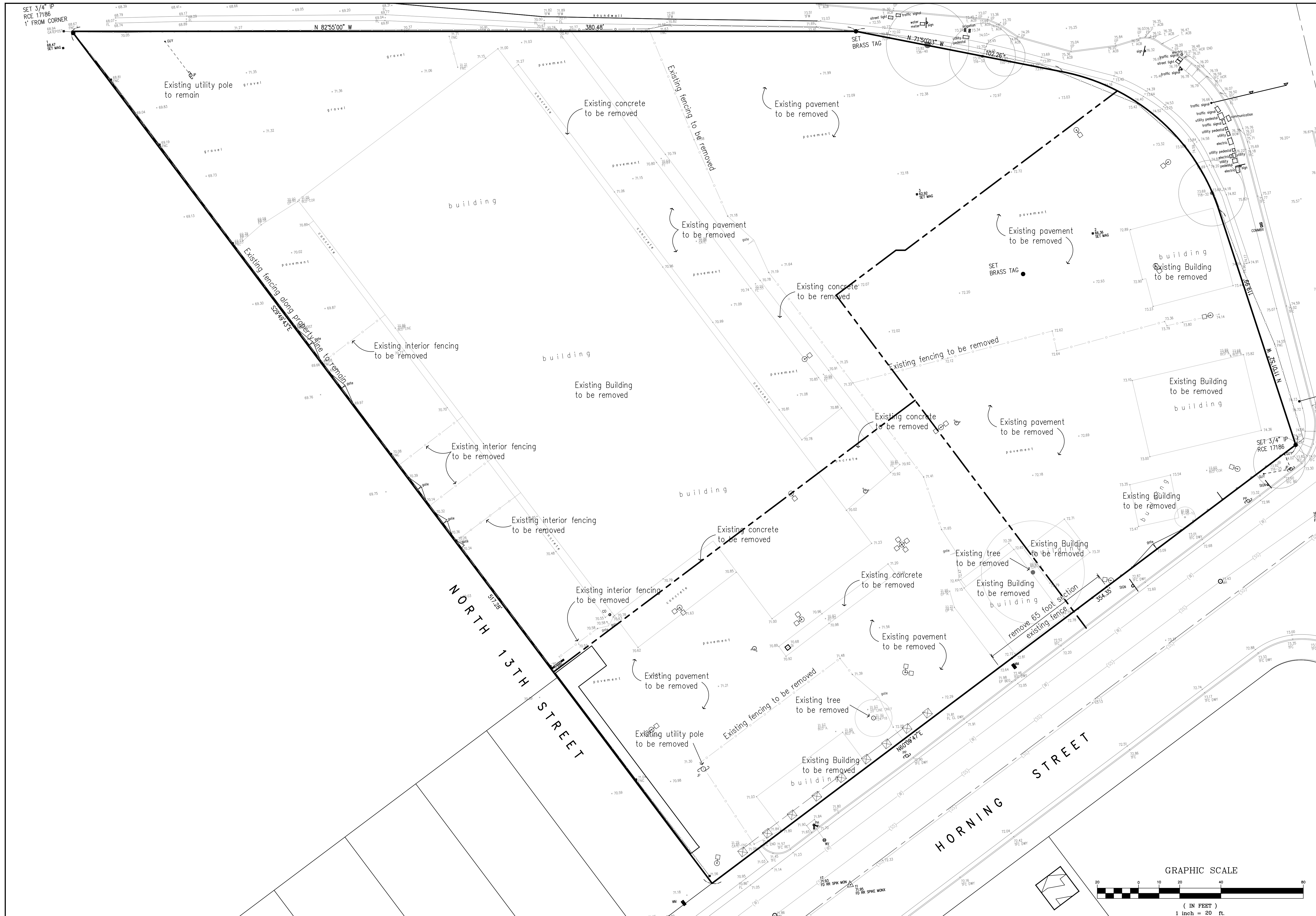
SCALE: 1" = 30'-0"



S:\1-Projects\15-6609 645 Horning St San Jose (Jag A)\Planning\15-6609-3.dwg modified by muiser2 at Mar 22, 2018 - 2:05pm







REV. DATE JULY 2011

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |

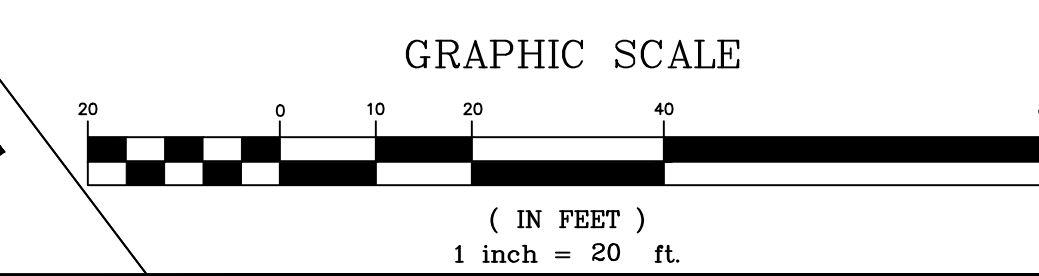


**JIM RUBNITZ**  
 17610 BLANCHARD DRIVE  
 MONTE SERENO, CA 95030

HANNA-BRUNETTI  
 7651 EIGLEBERRY STREET  
 GILROY, CA 95020  
 OFFICE: 408 842-2173  
 FAX: 408 842-3662  
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

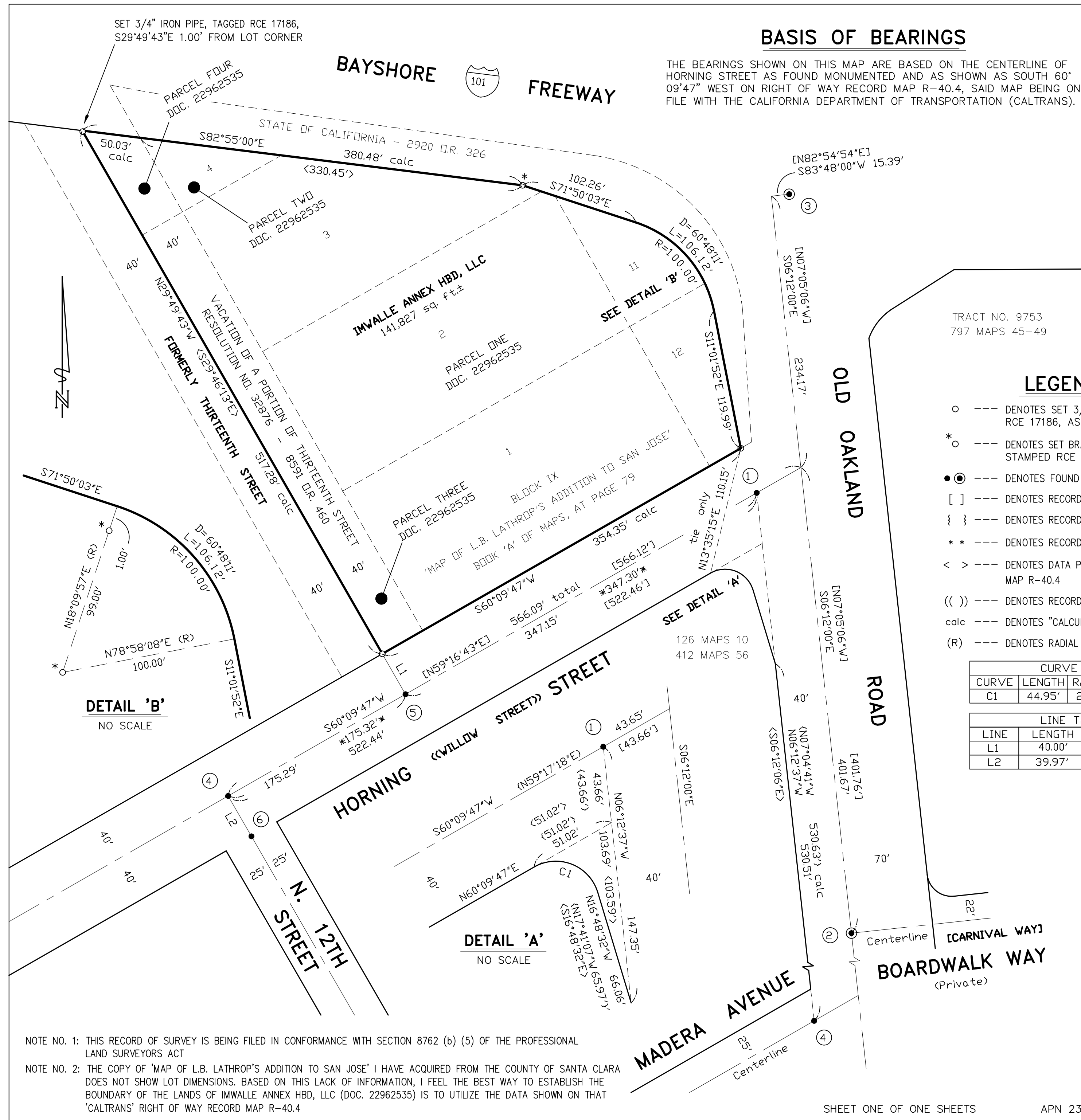
**PRELIMINARY**  
 SELF-STORAGE DEVELOPMENT  
**DEMOLITION PLAN**  
 CALIFORNIA  
 Project No: 15062    Checked: AM    Date: 7/19/18

SHEET  
 2  
 Of 9 SHEETS  
 PW PROJECT #  
 3-22046



HB JOB NO.: 15062





**BASIS OF BEARINGS**

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF HORNING STREET AS FOUND MONUMENTED AND AS SHOWN AS SOUTH 60° 09'47" WEST ON RIGHT OF WAY RECORD MAP R-40.4, SAID MAP BEING ON FILE WITH THE CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS).

**RECORD OF SURVEY**

IN THE INCORPORATED TERRITORY OF THE  
CITY OF SAN JOSE,  
COUNTY OF SANTA CLARA, STATE OF CALIFORNIA  
BEING LOTS 1 & 2 AND A PORTION OF  
LOTS 3, 4, 10, 11 & 12, BLOCK IX,  
'MAP OF L.B. LATHROP'S ADDITION TO SAN JOSE'  
BOOK 'A' OF MAPS, AT PAGE 79  
AND A PORTION OF THIRTEENTH STREET

AUGUST, 2015 SCALE 1" = 60'

HANNA & BRUNETTI - CIVIL ENGINEERS AND LAND SURVEYORS  
7651 EIGLEBERRY STREET - GILROY, CA. 95020 - 408 842-2173

TRACT NO. 9753  
797 MAPS 45-49

**LEGEND**

- --- DENOTES SET 3/4" IRON PIPE, TAGGED RCE 17186, AS NOTED
- \* ○ --- DENOTES SET BRASS TAG IN PAVEMENT, STAMPED RCE 17186
- --- DENOTES FOUND MONUMENTS AS NOTED
- [ ] --- DENOTES RECORD DATA PER 797 MAPS 45-49
- { } --- DENOTES RECORD DATA PER 412 MAPS 56
- \*\* --- DENOTES RECORD DATA PER 126 MAPS 10
- < > --- DENOTES DATA PER CALTRANS R.O.W. RECORD MAP R-40.4
- (( )) --- DENOTES RECORD DATA PER 'A' MAPS 79
- calc --- DENOTES "CALCULATED"
- (R) --- DENOTES RADIAL BEARING

| CURVE TABLE |        |        |            |
|-------------|--------|--------|------------|
| CURVE       | LENGTH | RADIUS | DELTA      |
| C1          | 44.95' | 25.00' | 103°01'41" |

| LINE TABLE |        |             |
|------------|--------|-------------|
| LINE       | LENGTH | BEARING     |
| L1         | 40.00' | S29°49'43"E |
| L2         | 39.97' | N29°58'15"W |

**FOUND MONUMENTS**

- ① 1" IRON PIPE, OPEN, SHOWN ON 412 MAPS 56
- ② 2.5" BRASS DISK, IN CASTING, STAMPED LS 5106, PER 797 MAPS 45-49
- ③ 2.5" BRASS DISK, IN CASTING, STAMPED 'DEPT OF TRANS', SHOWN ON 797 MAPS 45-49
- ④ 3/4" IRON PIPE, OPEN, SHOWN ON 412 MAPS 56 & 126 MAPS 10
- ⑤ 3/4" IRON PIPE, OPEN, SHOWN ON 126 MAPS 10, N29°49'43"W 0.14' FROM HORNING STREET CENTERLINE
- ⑥ 1" IRON PIPE, OPEN, SHOWN ON 797 MAPS 45-49



**ENGINEER'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF  
IMWALLE ANNEX HBD, LLC  
IN \_\_\_\_\_ AUGUST \_\_\_\_\_, 20\_15

ARNOLD R. BRUNETTI DATE  
R.C.E. 17186

**COUNTY SURVEYOR'S STATEMENT**

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYOR'S ACT THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

GWENDOLYN GEE, COUNTY SURVEYOR  
P.L.S. 6780

WILLIAM F. SLEPNIKOFF, DEPUTY COUNTY SURVEYOR  
P.L.S. 5701

**RECORDER'S STATEMENT**

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
20\_\_\_\_ AT \_\_\_\_\_ M. IN BOOK \_\_\_\_\_  
OF MAPS AT PAGE \_\_\_\_\_  
AT THE REQUEST OF HANNA & BRUNETTI  
FILE NO. \_\_\_\_\_ FEE: \_\_\_\_\_  
REGINA ALCOMENDRAS, COUNTY RECORDER

BY: \_\_\_\_\_  
DEPUTY

JN 15062

NOTE NO. 1: THIS RECORD OF SURVEY IS BEING FILED IN CONFORMANCE WITH SECTION 8762 (b) (5) OF THE PROFESSIONAL LAND SURVEYORS ACT  
NOTE NO. 2: THE COPY OF 'MAP OF L.B. LATHROP'S ADDITION TO SAN JOSE' I HAVE ACQUIRED FROM THE COUNTY OF SANTA CLARA DOES NOT SHOW LOT DIMENSIONS. BASED ON THIS LACK OF INFORMATION, I FEEL THE BEST WAY TO ESTABLISH THE BOUNDARY OF THE LANDS OF IMWALLE ANNEX HBD, LLC (DOC. 22962535) IS TO UTILIZE THE DATA SHOWN ON THAT 'CALTRANS' RIGHT OF WAY RECORD MAP R-40.4

SHEET ONE OF ONE SHEETS

APN 235-18-001

SANTA CLARA CO. GRID NO. 67-39-71

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |

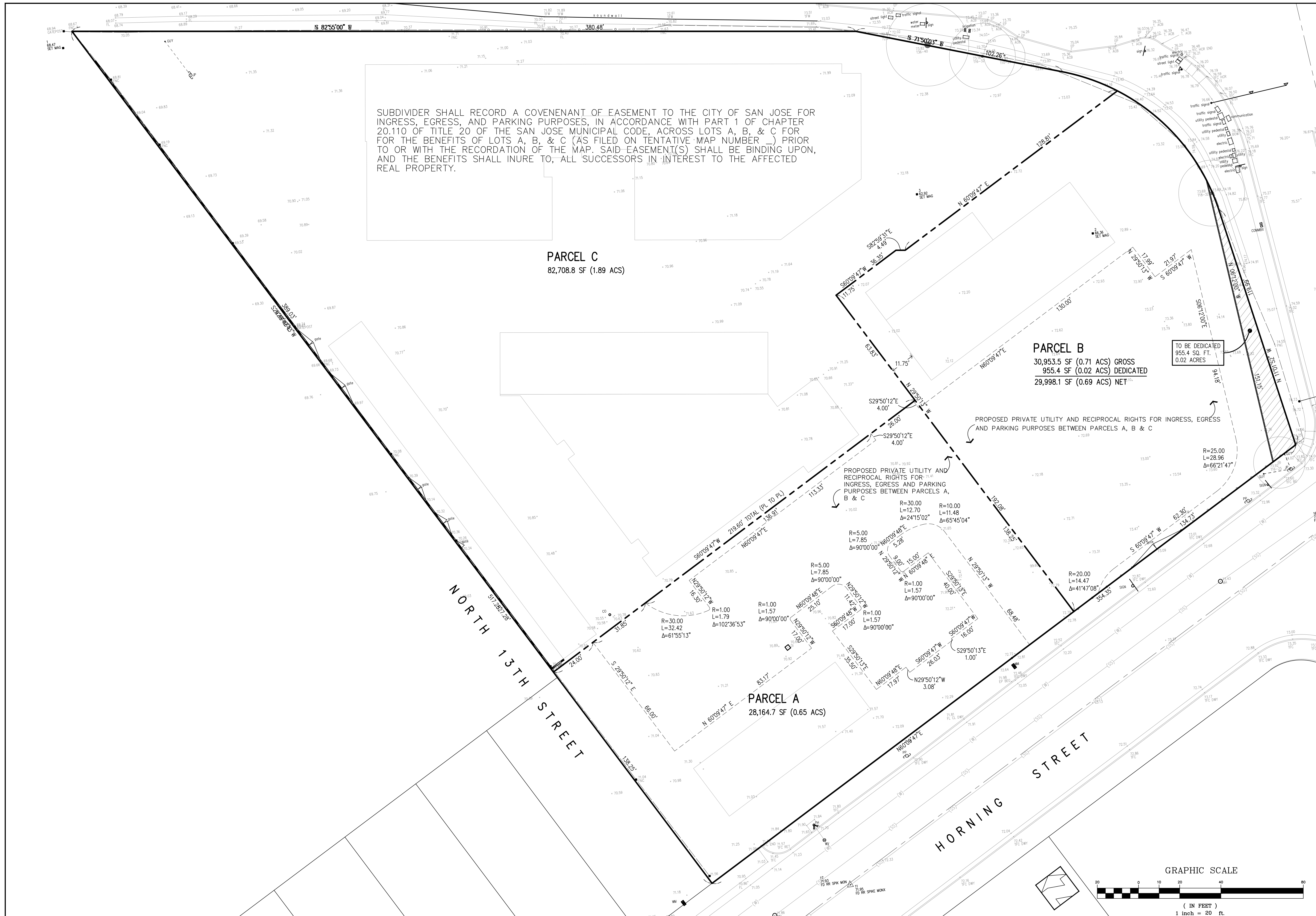


JIM RUBNITZ  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

HANNA-BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

PRELIMINARY  
SELF-STORAGE DEVELOPMENT  
RECORD OF SURVEY  
FOR REFERENCE ONLY  
SAN JOSE CALIFORNIA  
Project No: 15062 Date: 7/19/18  
Designed TM Checked AM

SHEET  
3  
Of 9 SHEETS  
PW PROJECT #  
3-22046



| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |



**JIM RUBNITZ**  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

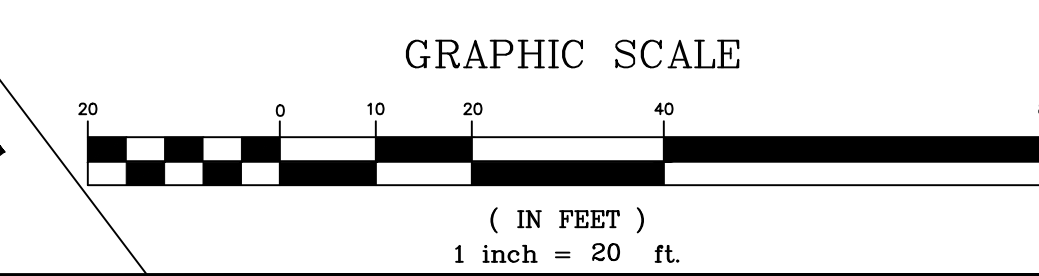
HANNA-BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

PRELIMINARY  
SELF-STORAGE DEVELOPMENT  
SITE PLAN

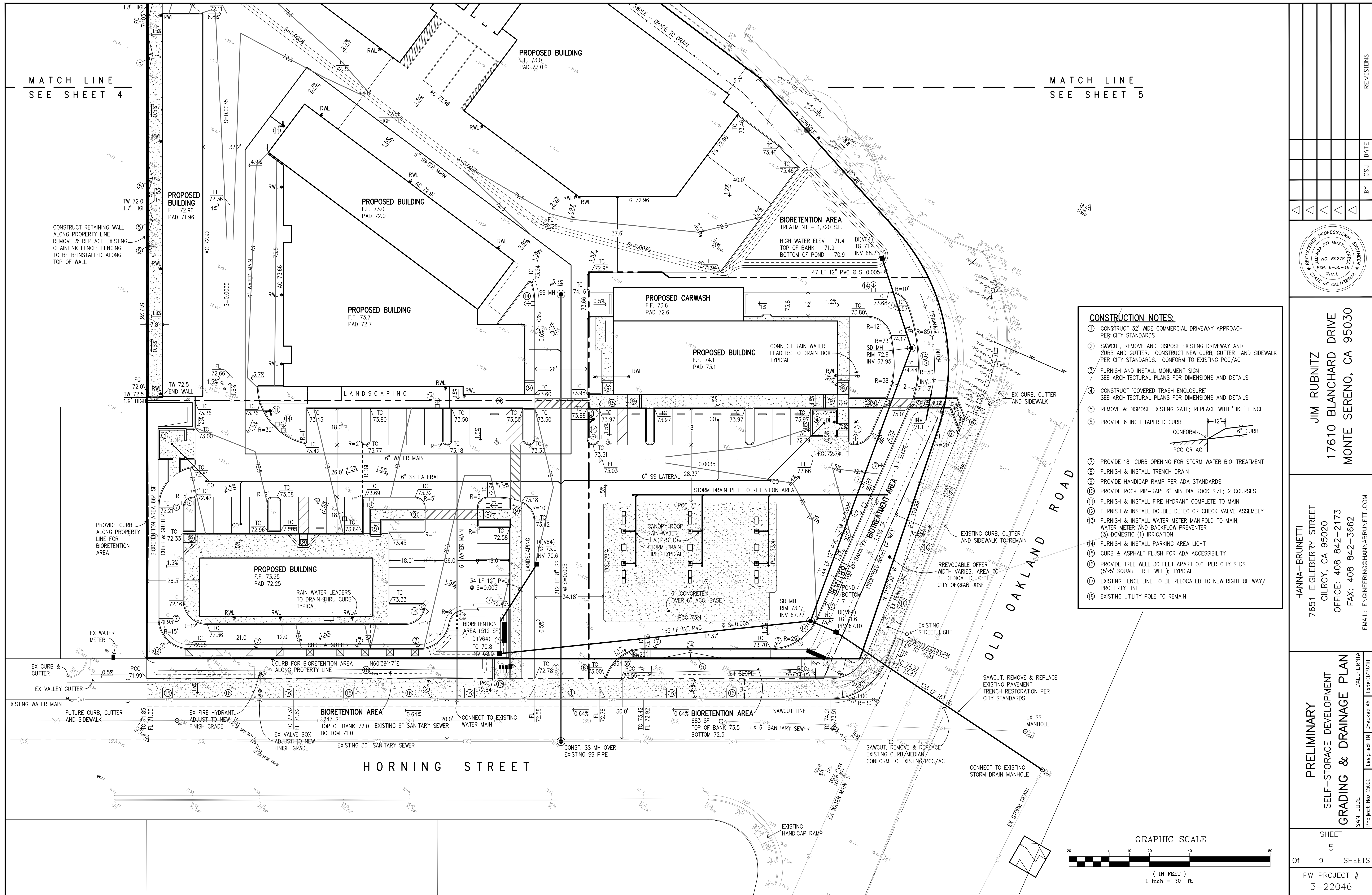
SAN JOSE CALIFORNIA  
Project No: 15062 Designed TM Checked AW Date: 7/19/18

SHEET  
4  
Of 9 SHEETS

PW PROJECT #  
3-22046





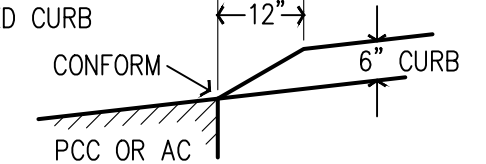


MATCH LINE  
SEE SHEET 4

MATCH LINE  
SEE SHEET 5

CONSTRUCT RETAINING WALL  
ALONG PROPERTY LINE  
REMOVE & REPLACE EXISTING  
CHAINLINK FENCE; FENCING  
TO BE REINSTALLED ALONG  
TOP OF WALL

- CONSTRUCTION NOTES:**
- CONSTRUCT 32' WIDE COMMERCIAL DRIVEWAY APPROACH PER CITY STANDARDS
  - SAWCUT, REMOVE AND DISPOSE EXISTING DRIVEWAY AND CURB AND GUTTER. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK PER CITY STANDARDS. CONFORM TO EXISTING PCC/AC
  - FURNISH AND INSTALL MONUMENT SIGN SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
  - CONSTRUCT 'COVERED TRASH ENCLOSURE' SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
  - REMOVE & DISPOSE EXISTING GATE; REPLACE WITH 'LIKE' FENCE
  - PROVIDE 6 INCH TAPERED CURB
  - PROVIDE 18" CURB OPENING FOR STORM WATER BIO-TREATMENT
  - FURNISH & INSTALL TRENCH DRAIN
  - PROVIDE HANDICAP RAMP PER ADA STANDARDS
  - PROVIDE ROCK RIP-RAP; 6" MIN DIA ROCK SIZE; 2 COURSES
  - FURNISH & INSTALL FIRE HYDRANT COMPLETE TO MAIN
  - FURNISH & INSTALL DOUBLE DETECTOR CHECK VALVE ASSEMBLY
  - FURNISH & INSTALL WATER METER MANIFOLD TO MAIN, WATER METER AND BACKFLOW PREVENTER (3) DOMESTIC (1) IRRIGATION
  - FURNISH & INSTALL PARKING AREA LIGHT
  - CURB & ASPHALT FLUSH FOR ADA ACCESSIBILITY
  - PROVIDE TREE WELL 30 FEET APART O.C. PER CITY STDS. (5'x5' SQUARE TREE WELL); TYPICAL
  - EXISTING FENCE LINE TO BE RELOCATED TO NEW RIGHT OF WAY/ PROPERTY LINE
  - EXISTING UTILITY POLE TO REMAIN



| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |

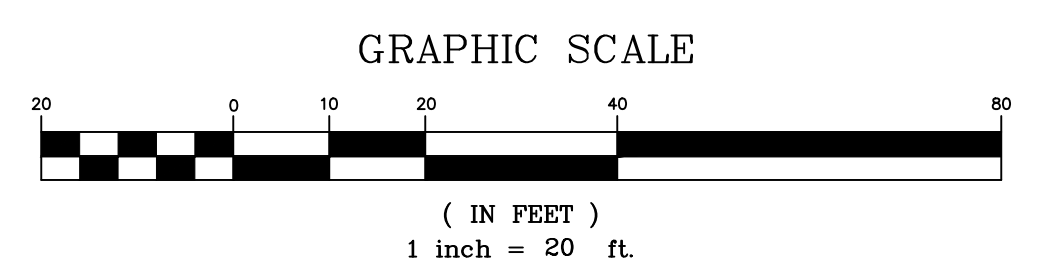


**JIM RUBNITZ**  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

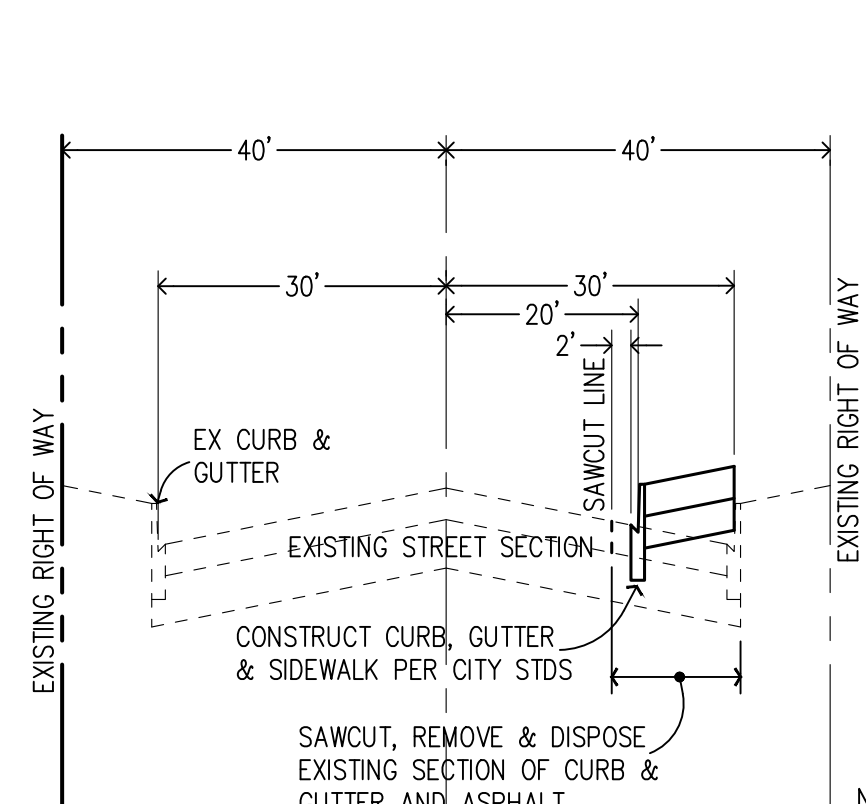
HANNA-BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

PRELIMINARY  
SELF-STORAGE DEVELOPMENT  
GRADING & DRAINAGE PLAN

SHEET  
5  
Of 9 SHEETS  
PW PROJECT #  
3-22046

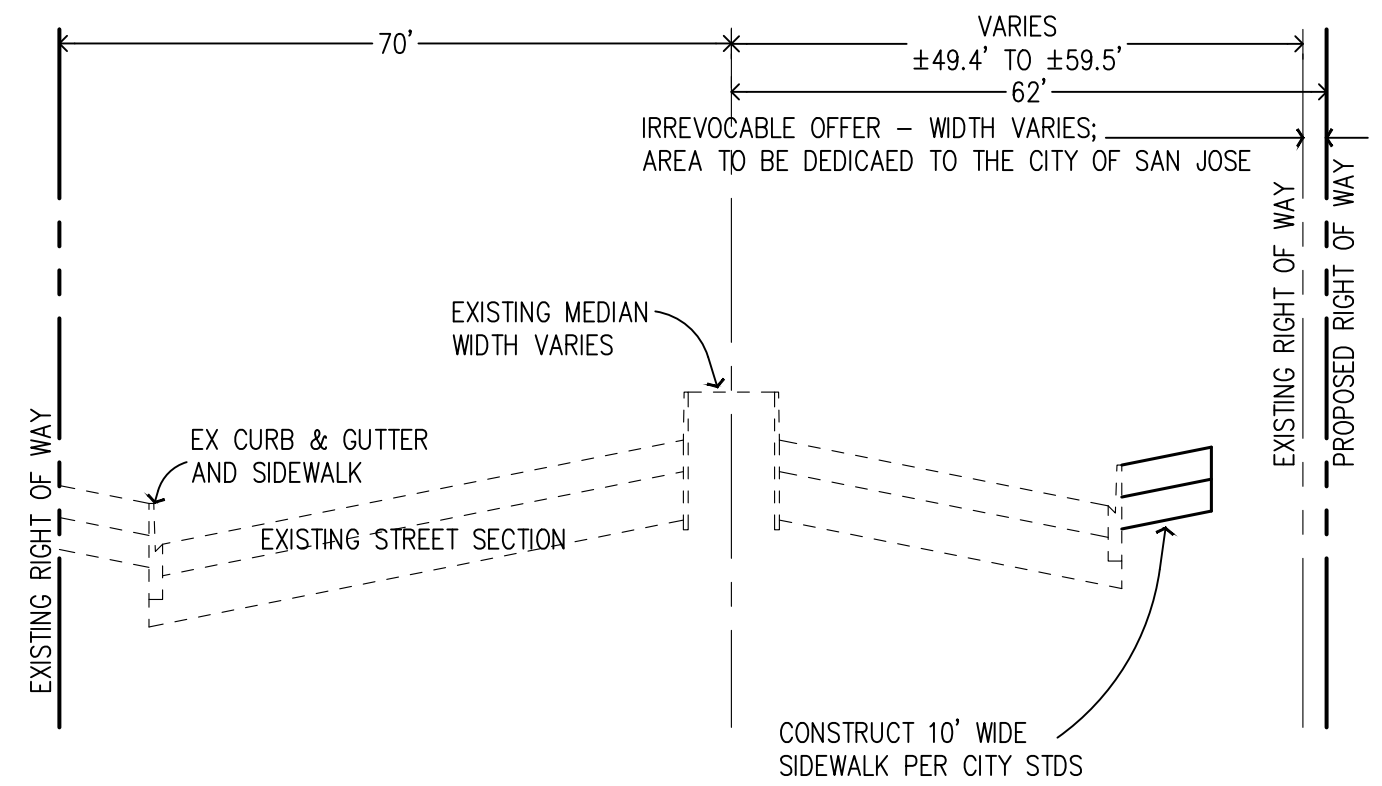




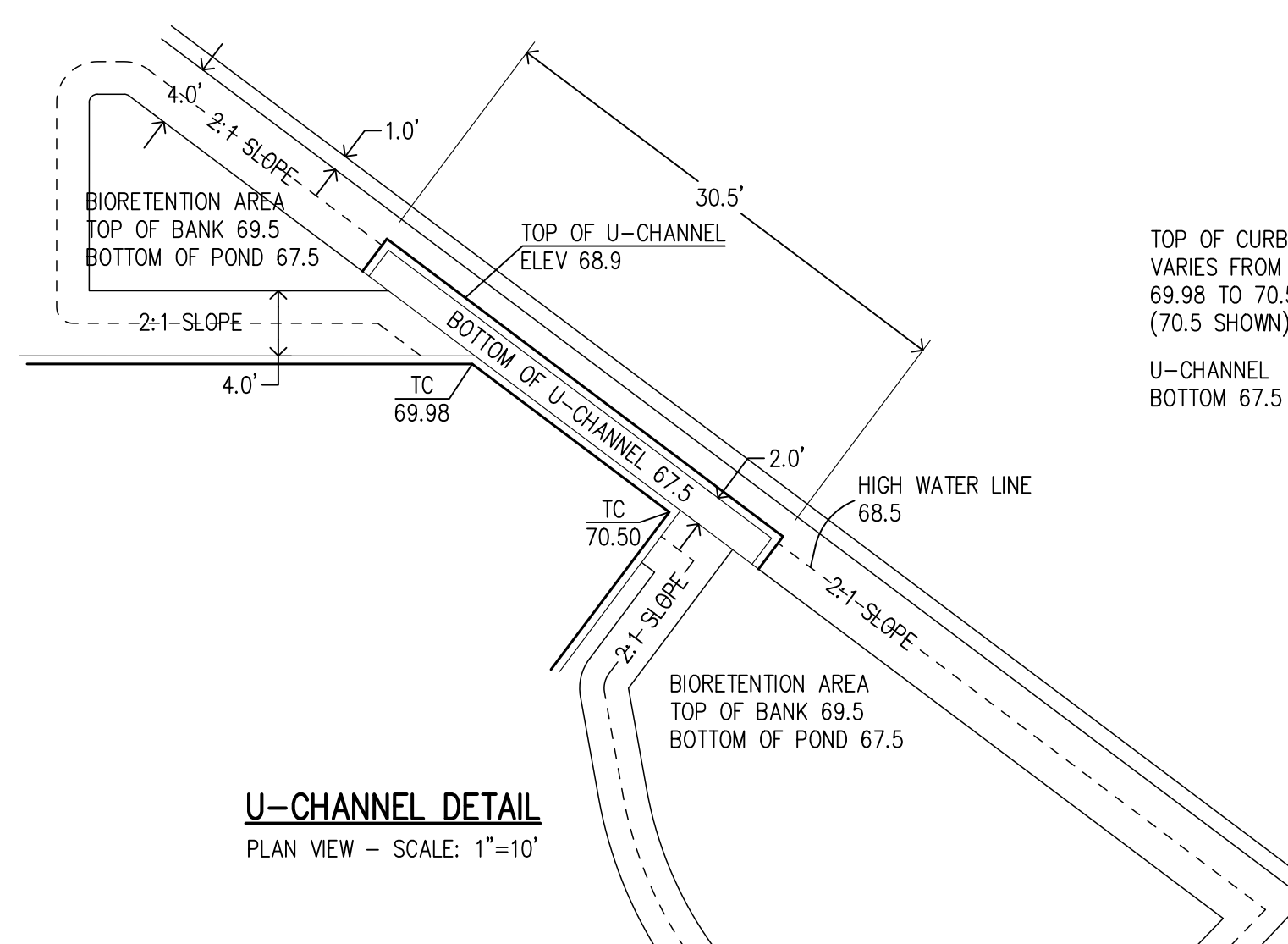


**HORNING STREET**  
SCALE: 1"=20'

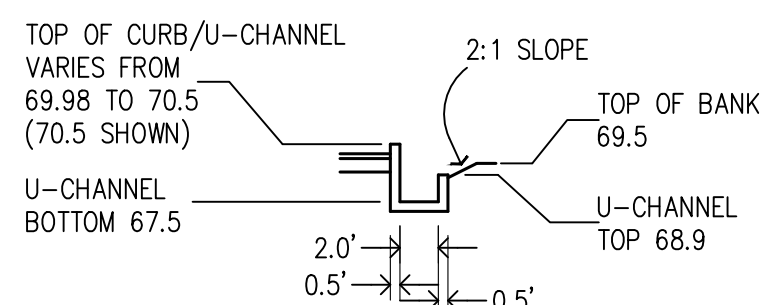
NOTE:  
REPAIR, OVERLAY, OR RECONSTRUCTION OF ASPHALT PAVEMENT MAY BE REQUIRED. THE EXISTING PAVEMENT WILL BE EVALUATED WITH THE STREET IMPROVEMENT PLANS



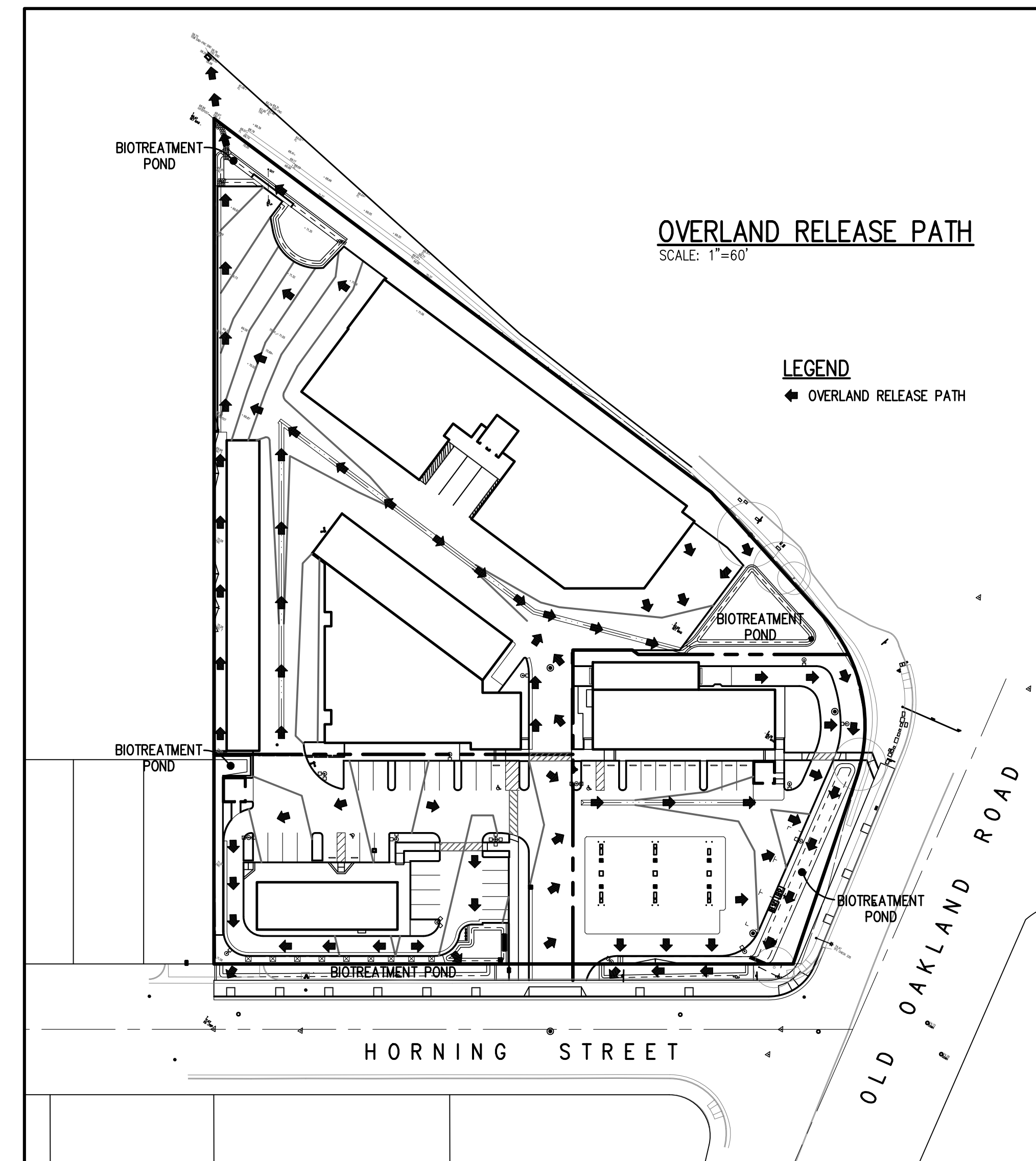
**OLD OAKLAND ROAD**  
SCALE: 1"=20'



**U-CHANNEL DETAIL**  
PLAN VIEW - SCALE: 1"=10'

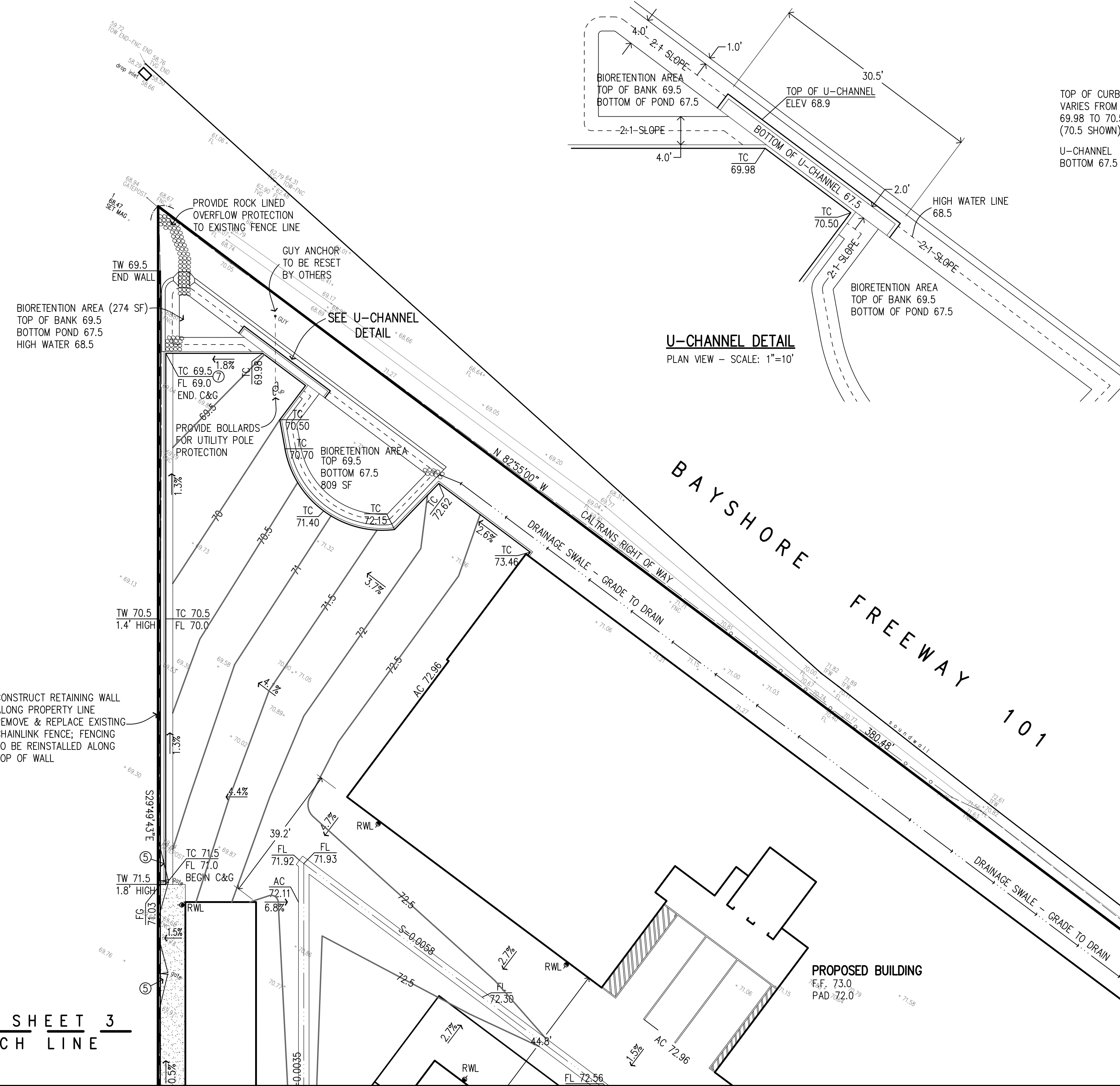


**U-CHANNEL SECTION**  
SCALE: 1"=10'



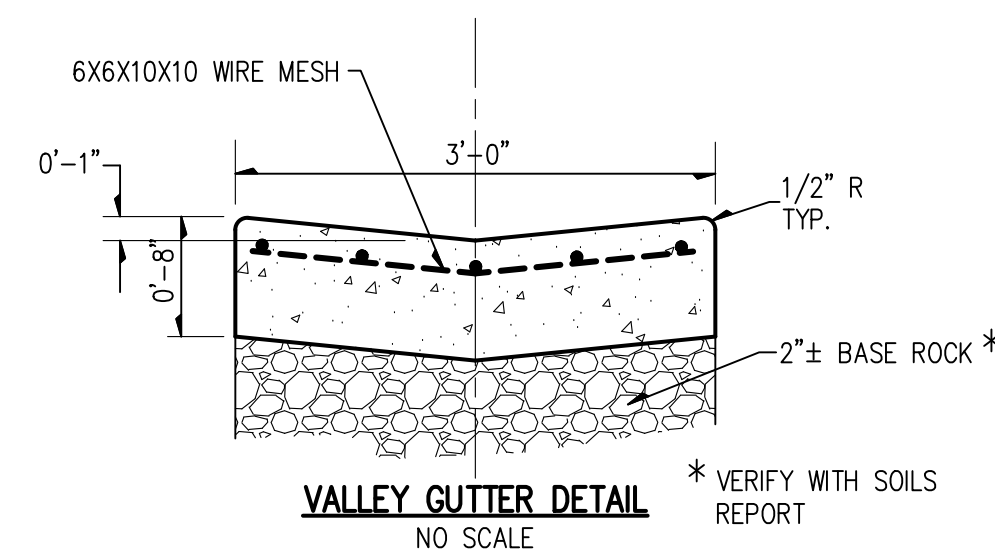
**OVERLAND RELEASE PATH**  
SCALE: 1"=60'

**LEGEND**  
◆ OVERLAND RELEASE PATH

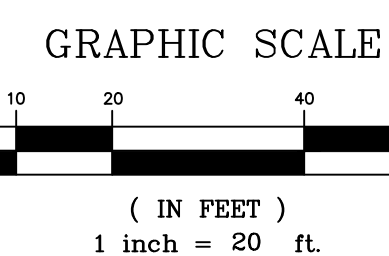


SEE SHEET 3  
MATCH LINE

SEE SHEET 4  
MATCH LINE



**VALLEY GUTTER DETAIL**  
NO SCALE



**CONSTRUCTION NOTES:**

- ① CONSTRUCT 32' WIDE COMMERCIAL DRIVEWAY APPROACH PER CITY STANDARDS
- ② SAWCUT, REMOVE AND DISPOSE EXISTING DRIVEWAY AND CURB AND GUTTER. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK PER CITY STANDARDS. CONFORM TO EXISTING PCC/AC
- ③ FURNISH AND INSTALL MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
- ④ CONSTRUCT 'COVERED TRASH ENCLOSURE'. SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
- ⑤ REMOVE & DISPOSE EXISTING GATE; REPLACE WITH 'LIKE' FENCE
- ⑥ PROVIDE 6 INCH TAPERED CURB. CONFORM TO PCC OR AC.
- ⑦ PROVIDE 18" CURB OPENING FOR STORM WATER BIO-TREATMENT
- ⑧ FURNISH & INSTALL TRENCH DRAIN
- ⑨ PROVIDE HANDICAP RAMP PER ADA STANDARDS
- ⑩ PROVIDE ROCK RIP-RAP; 6" MIN DIA ROCK SIZE; 2 COURSES
- ⑪ FURNISH & INSTALL FIRE HYDRANT COMPLETE TO MAIN
- ⑫ FURNISH & INSTALL DOUBLE DETECTOR CHECK VALVE ASSEMBLY
- ⑬ FURNISH & INSTALL WATER METER MANIFOLD TO MAIN, WATER METER AND BACKFLOW PREVENTER (3) DOMESTIC (1) IRRIGATION
- ⑭ FURNISH & INSTALL PARKING AREA LIGHT
- ⑮ CURB & ASPHALT FLUSH FOR ADA ACCESSIBILITY
- ⑯ PROVIDE TREE WELL 30 FEET APART O.C. PER CITY STDS. (5'x5' SQUARE TREE WELL); TYPICAL
- ⑰ EXISTING FENCE LINE TO BE RELOCATED TO NEW RIGHT OF WAY/PROPERTY LINE
- ⑱ EXISTING UTILITY POLE TO REMAIN

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |



**JIM RUBNITZ**  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

HANNA-BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

**PRELIMINARY**  
SELF-STORAGE DEVELOPMENT  
**GRADING & DRAINAGE PLAN**  
SAN JOSE CALIFORNIA  
Project No: 15062 Date: 2/19/18

SHEET  
6  
Of 9 SHEETS  
PW PROJECT #  
3-22046

**MAINTENANCE TASK (ROUTINE MAINTENANCE OF FLOW-THRU PLANTERS)**

1. INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.
2. INSPECT PLANTER FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, THE SURFACE BIOTREATMENT SOIL SHOULD BE TILLED OR REPLACED WITH THE APPROVED SOIL MIX AND REPLANTED. USE THE CLEANOUT RISER TO CLEAR ANY UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.
3. CHECK FOR ERODED OR SETTLED BIOTREATMENT SOIL MEDIA. LEVEL SOIL WITH RAKE AND REMOVE/REPLANT VEGETATION AS NECESSARY.
4. MAINTAIN THE VEGETATION AND IRRIGATION SYSTEM. PRUNE AND WEED TO KEEP FLOW-THROUGH PLANTER NEAT AND ORDERLY IN APPEARANCE.
5. EVALUATE HEALTH AND DENSITY OF VEGETATION. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION. REMOVE EXCESSIVE GROWTH OF PLANTS THAT ARE TOO CLOSE TOGETHER.
6. USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.
7. INSPECT THE OVERFLOW PIPE TO MAKE SURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUT RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.
8. INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.
9. INSPECT AND, IF NEEDED, REPLACE WOOD MULCH. IT IS RECOMMENDED THAT 2" TO 3" OF COMPOSTED ARBOR MULCH BE APPLIED ONCE A YEAR.
10. INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA, LOSS OF MULCH, STANDING WATER, CLOGGING OVERFLOWS, WEEDS, TRASH AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.
11. INSPECT SYSTEM FOR STRUCTURAL INTEGRITY OF WALLS, FLOW SPREADERS, ENERGY DISSIPATORS, CURB CUTS, OUTLETS AND FLOW SPLITTERS.

**SITE DESIGN MEASURES**

1. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.

**SOURCE CONTROL MEASURES**

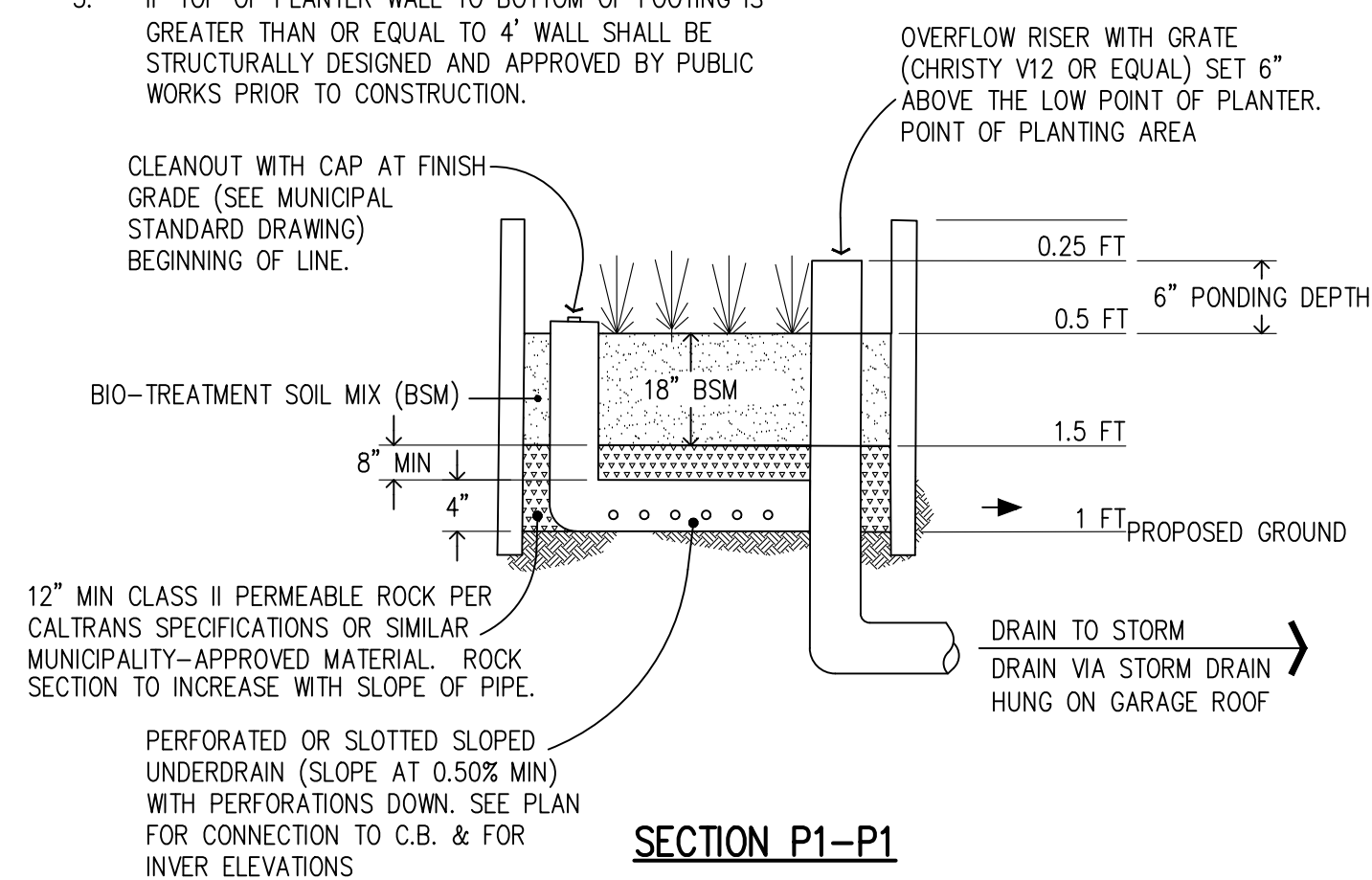
1. COVERED DUMPSTER AREA AND INTERIOR PARKING STRUCTURES DRAIN TO SANITARY SEWER.
2. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
3. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
4. STORM DRAIN LABELING.

**OPERATIONS AND MAINTENANCE**

1. RESPONSIBLE PARTY: ANIL PATEL  
1036 FOURTH ST  
SAN JOSE, CA

**NOTES:**

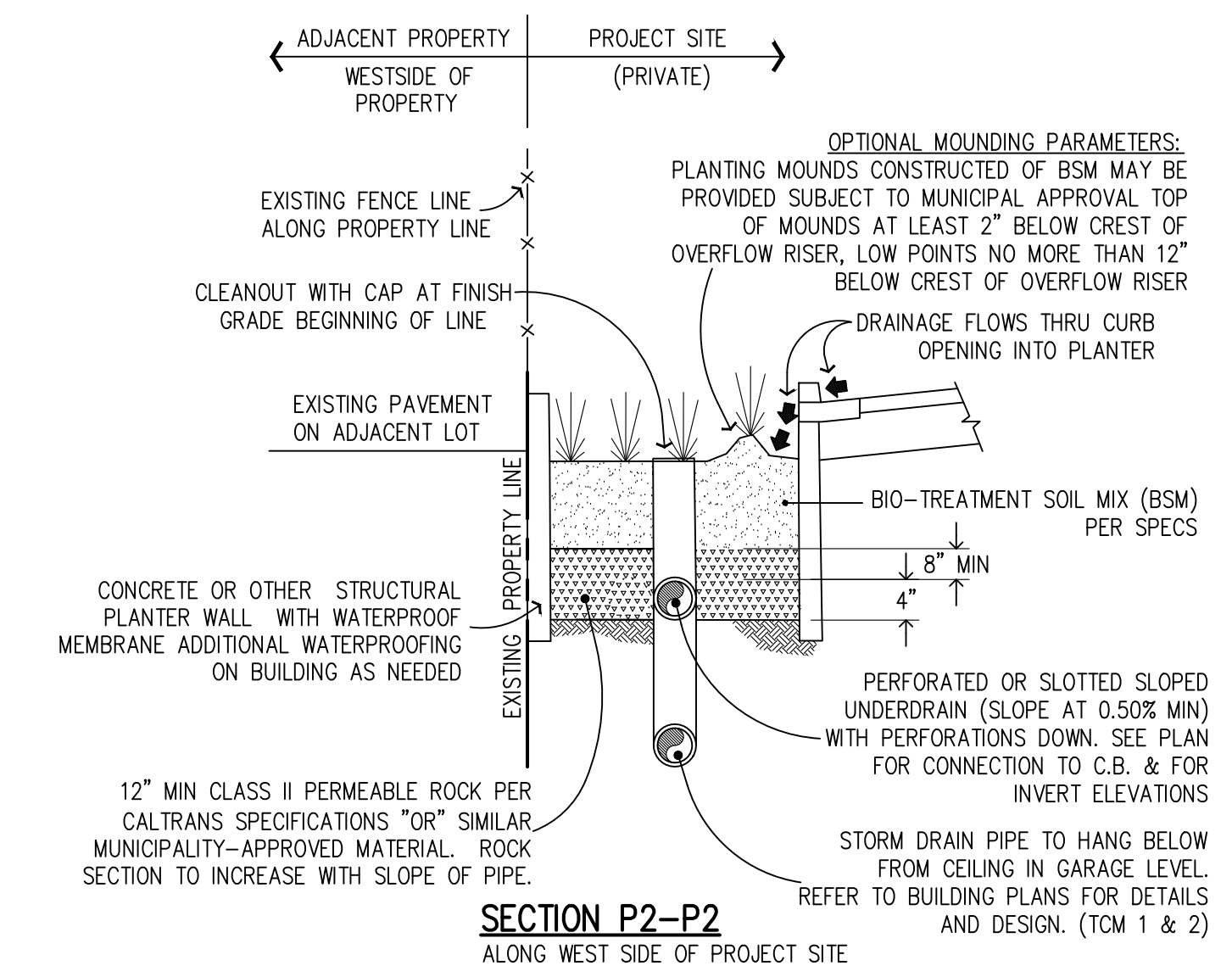
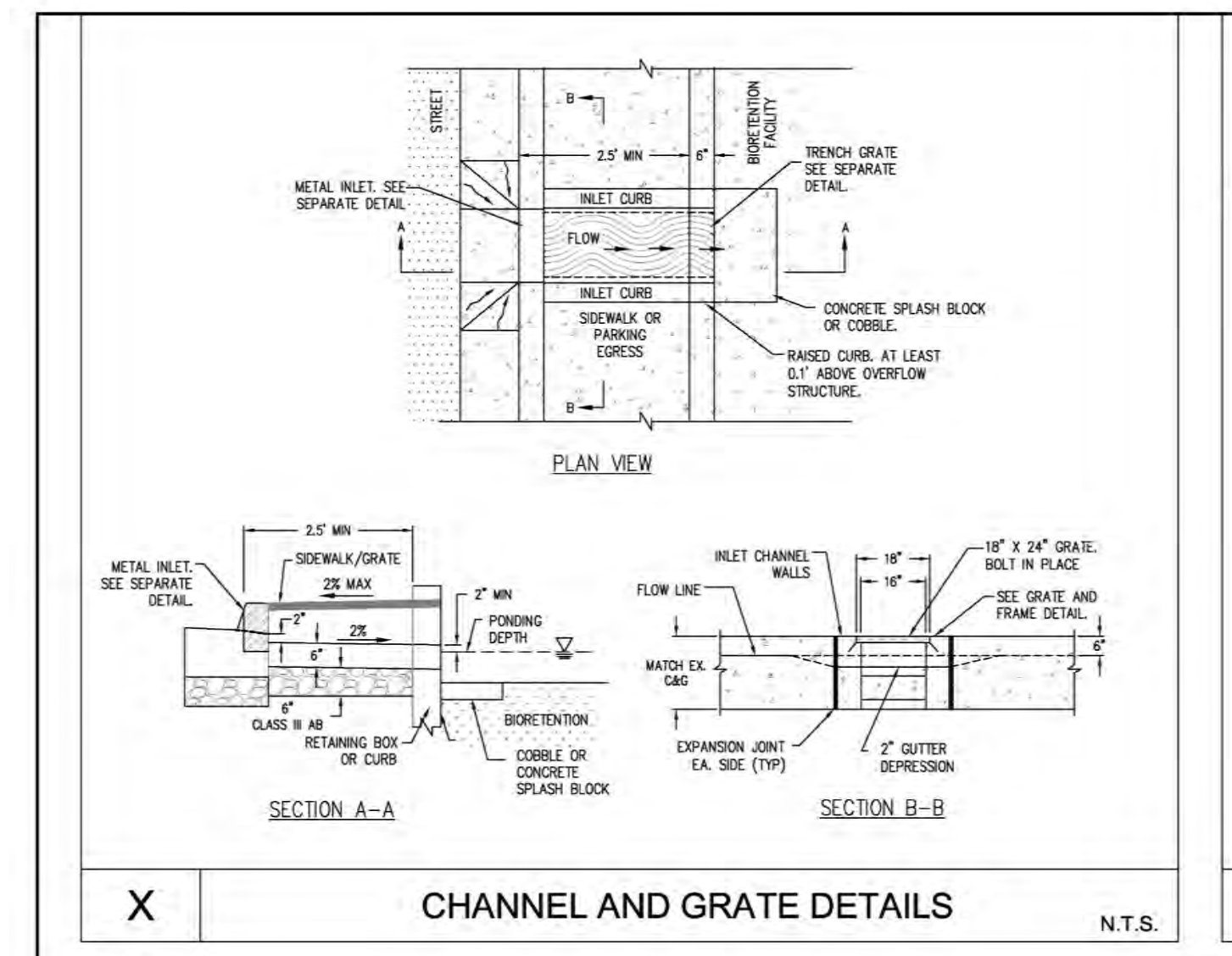
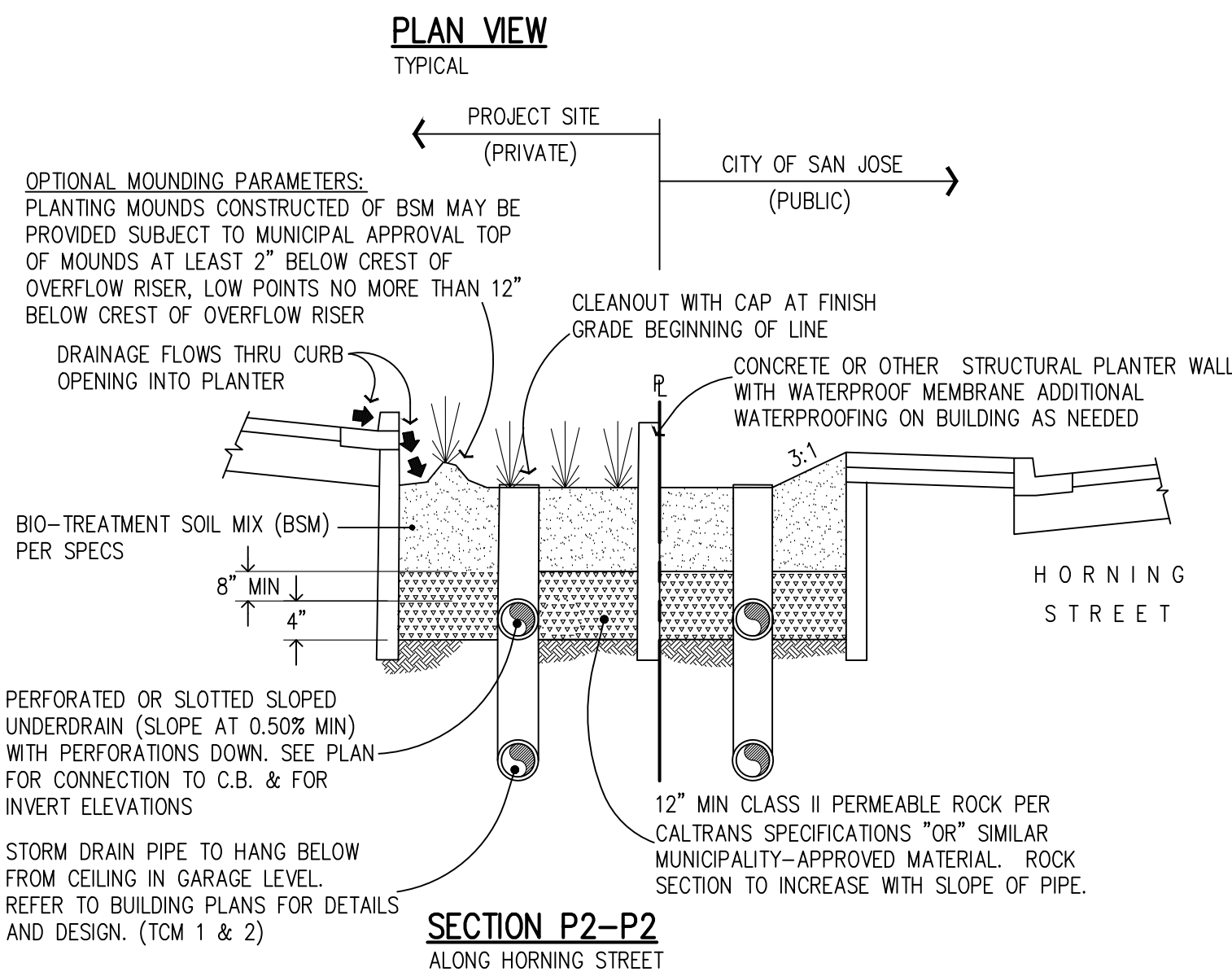
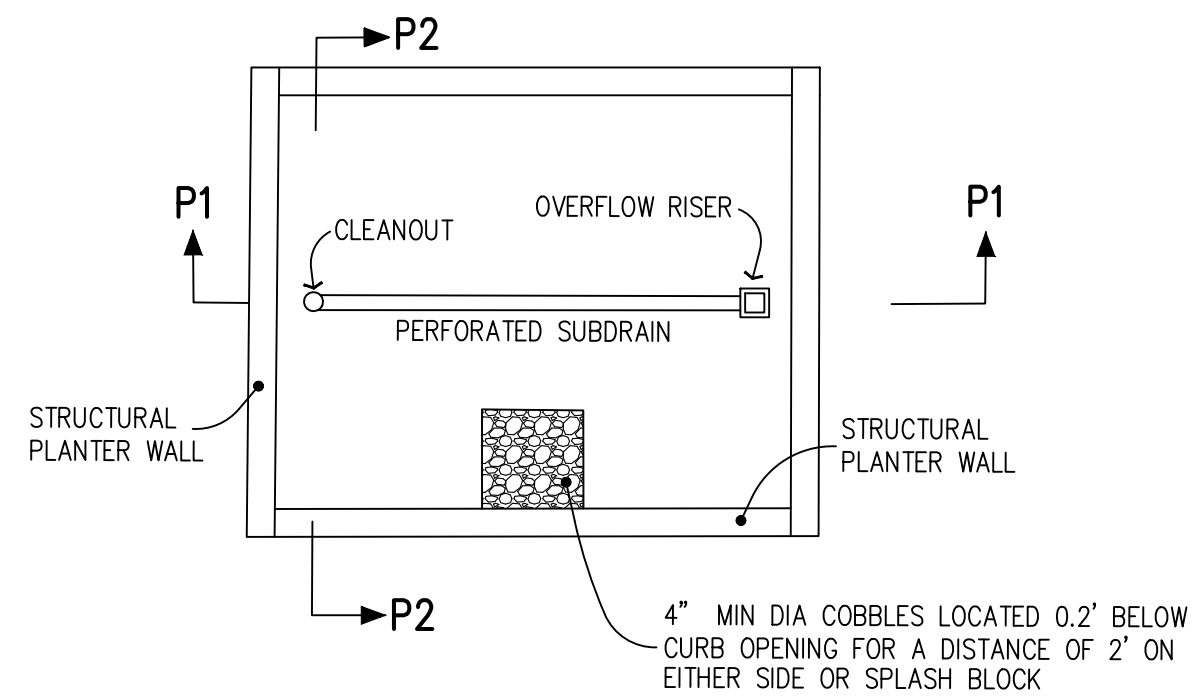
1. INCLUDE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER TREATMENT PLANTINGS.
2. IF ONLY ONE DOWNSPOUT LOCATED WITH THE FLOW-THROUGH PLANTER INCLUDE A FLOW-SPREADER TO EVENLY DISTRIBUTE THE FLOW THROUGHOUT THE PLANTER.
3. IF TOP OF PLANTER WALL TO BOTTOM OF FOOTING IS GREATER THAN OR EQUAL TO 4" WALL SHALL BE STRUCTURALLY DESIGNED AND APPROVED BY PUBLIC WORKS PRIOR TO CONSTRUCTION.



**TYPICAL FLOW-THROUGH PLANTER DETAIL**  
NO SCALE

**FREQUENCY OF TASK**

1. QUARTERLY
2. QUARTERLY
3. QUARTERLY
4. QUARTERLY
5. ANNUALLY, BEFORE THE RAINY SEASON BEGINS
6. ANNUALLY, BEFORE THE RAINY SEASON BEGINS
7. ANNUALLY, BEFORE THE RAINY SEASON BEGINS
8. ANNUALLY, BEFORE THE RAINY SEASON BEGINS
9. ANNUALLY, BEFORE THE RAINY SEASON BEGINS
10. ANNUALLY, AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS
11. ANNUALLY, AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS



| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |



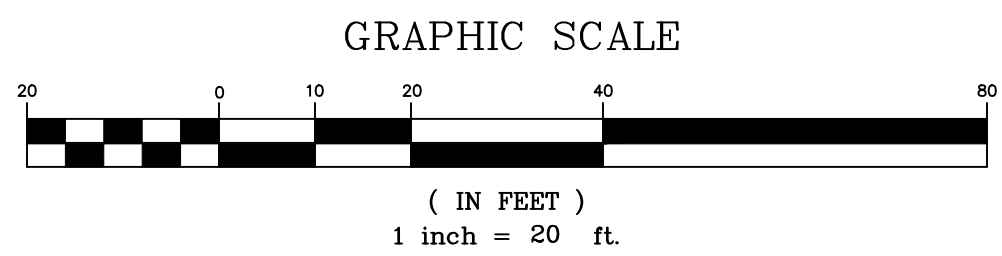
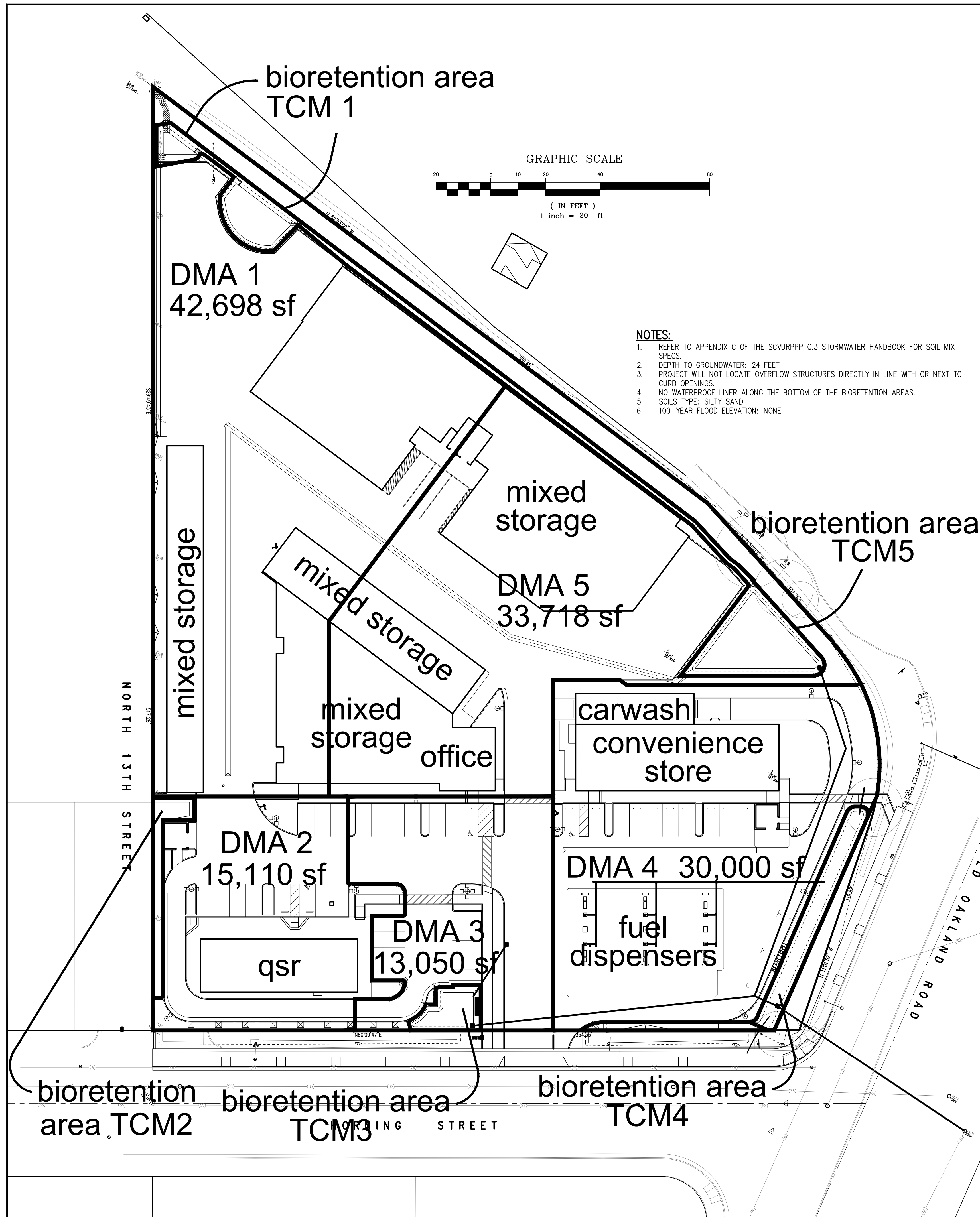
**JIM RUBNITZ**  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

HANNA-BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

PRELIMINARY  
SELF-STORAGE DEVELOPMENT  
GRADING & DRAINAGE PLAN  
SAN JOSE  
Project No: 15062  
Designed: TM  
Checked: AM  
Date: 7/19/18

SHEET  
7  
Of 9 SHEETS  
PW PROJECT #  
3-22046





- NOTES:**
1. REFER TO APPENDIX C OF THE SCVURPPP C.3 STORMWATER HANDBOOK FOR SOIL MIX SPECS.
  2. DEPTH TO GROUNDWATER: 24 FEET
  3. PROJECT WILL NOT LOCATE OVERFLOW STRUCTURES DIRECTLY IN LINE WITH OR NEXT TO CURB OPENINGS.
  4. NO WATERPROOF LINER ALONG THE BOTTOM OF THE BIORETENTION AREAS.
  5. SOILS TYPE: SILTY SAND
  6. 100-YEAR FLOOD ELEVATION: NONE

| PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE         |   |   |               |
|---|---|---|---------------|
| TOTAL SITE (acres):                                       | PROJECT PHASE NUMBER: (N/A, 1, 2, 3, etc.)                |   | N/A           |
|   | 3.23 acres  | TOTAL AREA OF SITE DISTURBED (acres):                     | 3.23 acres    |
| IMPERVIOUS SURFACES                                       | EXISTING CONDITIONED OF SITE AREA DISTURBED (square feet) | PROPOSED CONDITIONED OF SITE AREA DISTURBED (square feet) |               |
|   |   | REPLACED <sup>1</sup>                                     | NEW           |
| ROOF AREA(S)  | 39,481  | 41,130  | 0             |
| PARKING   | 0   | 0   | 0             |
| SIDEWALK, PATIOS, DRIVEWAYS, ETC.                         | 102,346   | 74,570  | 0             |
| STREETS (PUBLIC)  | 0   | 0   | 0             |
| STREETS (PRIVATE)   | 0   | 0   | 0             |
| <b>TOTAL IMPERVIOUS SURFACES:</b>                         | <b>145,275</b>  | <b>115,700</b>  | <b>0</b>      |
| <b>PERVIOUS SURFACES</b>                                  |   |   |               |
| LANDSCAPE AREAS   | 0   | 0   | 25,165        |
| PERVIOUS PAVING   | 0   | 0   | 0             |
| OTHER PERVIOUS SURFACES (green roof, etc.)                | 0   | 0   | 0             |
| <b>TOTAL PERVIOUS SURFACES:</b>                           | <b>0</b>  | <b>0</b>  | <b>25,165</b> |
| <b>TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES:</b> |   | <b>115,700</b>  |               |
| <b>TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES:</b>   |   | <b>25,165</b>   |               |

| TREATMENT CONTROL MEASURE SUMMARY TABLE |       |                |                      |                     |                      |                     |                              |                            |                                   |                                   |                               |                            |                             |                             |
|---|-------|----------------|----------------------|---------------------|----------------------|---------------------|------------------------------|----------------------------|-----------------------------------|-----------------------------------|-------------------------------|----------------------------|-----------------------------|-----------------------------|
| Area                                    | TCM # | Treatment Type | Drainage Area (s.f.) | Asphalt Area (s.f.) | Concrete Area (s.f.) | Rooftop Area (s.f.) | Total Impervious Area (s.f.) | Total Pervious Area (s.f.) | Bioretention Area Required (s.f.) | Bioretention Area Provided (s.f.) | Bioretention Lined or Unlined | Overflow Riser Height (in) | Storage Depth Required (ft) | Storage Depth Provided (ft) |
| 1                                       | 1     | bioretention   | 42,698               | 23,564              | 1,390                | 16,372              | 41,326                       | 289                        | 1653.04                           | 1,083                             | unlined                       | 0.75                       | 0.73                        | 0.8                         |
| 2                                       | 2     | bioretention   | 15,100               | 9,091               | 2,425                | 2,495               | 14,011                       | 425                        | 560                               | 664                               | unlined                       | 0.5                        | 0.09                        | 0.5                         |
| 3                                       | 3     | bioretention   | 13,050               | 11,696              | 520                  | 0                   | 12,216                       | 322                        | 489                               | 512                               | unlined                       | 0.5                        | 0.08                        | 0.5                         |
| 4                                       | 4     | bioretention   | 30,000               | 15,452              | 6,930                | 5,155               | 27,537                       | 1,348                      | 1101                              | 1,115                             | unlined                       | 0.5                        | 0.11                        | 0.5                         |
| 5                                       | 5     | bioretention   | 33,718               | 13,988              | 0                    | 17,112              | 31,100                       | 898                        | 1,244                             | 1,720                             | unlined                       | 0.5                        | 0.10                        | 0.5                         |
| <b>Totals:</b>                          |       |                | <b>134,566</b>       | <b>73,791</b>       | <b>11,265</b>        | <b>41,134</b>       | <b>126,190</b>               | <b>3,282</b>               |                                   |                                   |                               |                            |                             |                             |

\*Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)  
 \*\*Per Chapter 2.3 of the C3 Stormwater Handbook Roadway projects that add new sidewalk along an existing roadway are exempt from Provision C.3.c of the Municipal Stormwater Permit.  
 \*\*\*DMA XX is not being treated but will be treated by Equivalent Treatment Area EQ-1. Area EQ-1 is equal to or greater than the required treatment area of DMA XX.  
 EQ-1 is not required to be treated as it is [insert reason here]

**SITE DESIGN MEASURES**

1. DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.

**SOURCE CONTROL MEASURES**

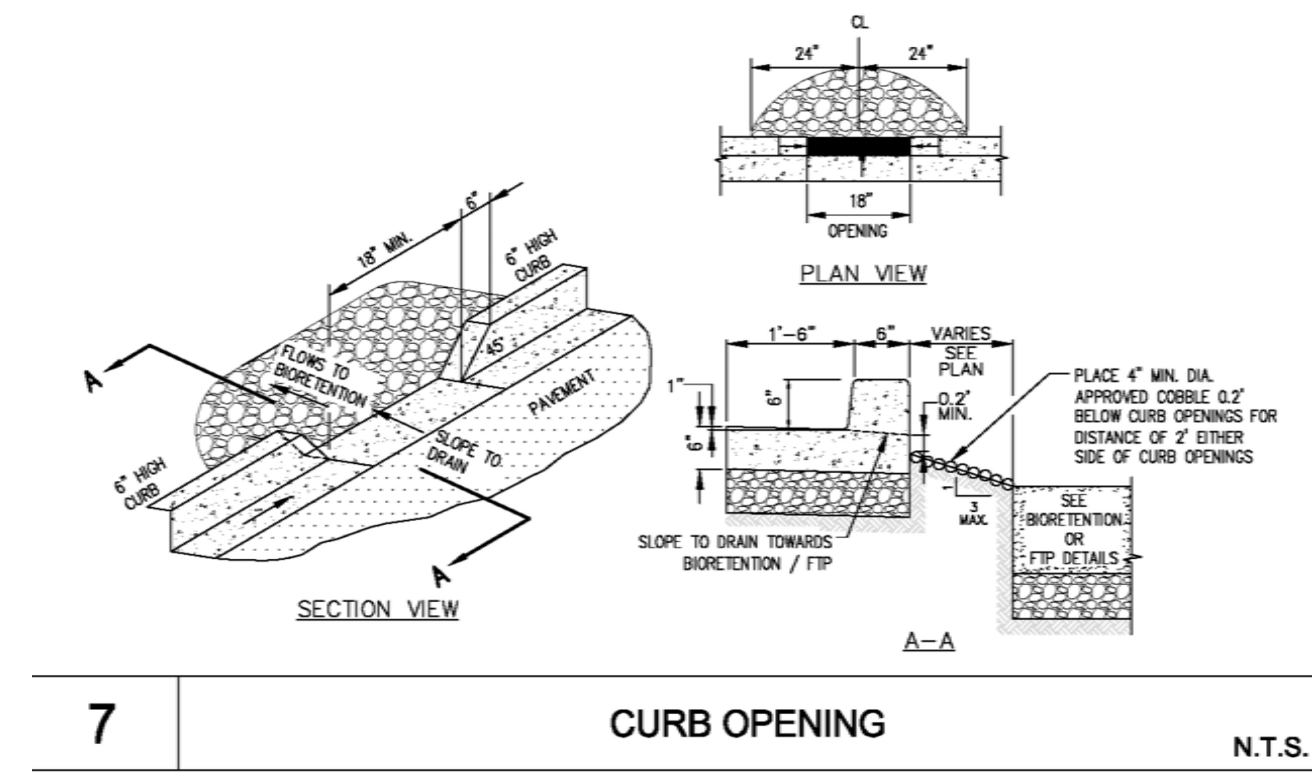
1. COVERED DUMPSTER AREA AND INTERIOR PARKING STRUCTURES DRAIN TO SANITARY SEWER.
2. USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
3. MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
4. STORM DRAIN LABELING.

**POLLUTANTS AND POLLUTANT SOURCE**

LOADING DOCKS, FOOD SERVICE AREAS, REFUSE AREAS, OUTDOOR PROCESSES AND STORAGE, VEHICLE CLEANING, REPAIR OR MAINTENANCE, FUEL DISPENSING.

**OPERATIONS AND MAINTENANCE**

1. RESPONSIBLE PARTY: JIM RUBINTZ  
17610 BLANCHARD DR  
MONTE SERENO, CA 95030



|   |                   |
|---|-------------------|
| REGISTERED PROFESSIONAL ENGINEER<br>HANNA BRUNETTI<br>NO. 69278<br>EXP. 6-30-18<br>CIVIL<br>STATE OF CALIFORNIA                                   | REVISIONS         |
| JIM RUBINTZ<br>17610 BLANCHARD DRIVE<br>MONTE SERENO, CA 95030  | DATE              |
| HANNA-BRUNETTI<br>7651 EIGLEBERRY STREET<br>GILROY, CA 95020<br>OFFICE: 408 842-2173<br>FAX: 408 842-3662<br>EMAIL: ENGINEERING@HANNABRUNETTI.COM | BY CSJ            |
| PRELIMINARY<br>SELF-STORAGE DEVELOPMENT<br>STORMWATER CONTROL PLAN  | DATE: 7/19/18     |
| SHEET<br>8<br>Of 9 SHEETS   | Project No: 15062 |
| PW PROJECT #<br>3-22046   | Checked: AM       |
| HB JOB NO.: 15062   |                   |



| SIZING FOR VOLUME BASED TREATMENT  |                                   |
|--|-----------------------------------|
| DMA # <b>1</b>   |                                   |
| A = 42698 s.f.   |                                   |
| Impervious Area = 41326 s.f.   | % Imperviousness = 96.79%         |
| MAPsite = 15   | Correction Factor = 1.07914       |
| MAPgage = 13.9   |                                   |
| Clay (D):  | Sandy Clay (D): Clay Loam (D):    |
| Silt Loam/Loam (B): <b>x</b>   | Not Applicable (100% Impervious): |
| Are the soils outside the building footprint not graded/compacted? <b>y</b> Yes/No   |                                   |
| If no, and the soil will be compacted during site preparation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (eg. Silt Loam to Clay) |                                   |
| Modified Soil Type:  |                                   |
| S = 1.50%  |                                   |
| UBS Volume for 1% Slope (UBS1%) = 0.562102113 inches (Use Figure B-2)  |                                   |
| UBS Volume for 15% Slope (UBS15%) = 0.581170266 inches (Use Figure B-5)  |                                   |
| UBS Volume for X% Slope (UBSX%) = 0.562783118 inches (Corrected Slope for the site)  |                                   |
| Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)   |                                   |
| Adjusted UBS = 0.60731991 inches   |                                   |
| Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch  |                                   |
| Design Volume = 2,160.95 ft <sup>3</sup>   |                                   |

| SIZING FOR VOLUME BASED TREATMENT  |                                   |
|--|-----------------------------------|
| DMA # <b>2</b>   |                                   |
| A = 15100 s.f.   |                                   |
| Impervious Area = 14011 s.f.   | % Imperviousness = 92.79%         |
| MAPsite = 15   | Correction Factor = 1.07914       |
| MAPgage = 13.9   |                                   |
| Clay (D):  | Sandy Clay (D): Clay Loam (D):    |
| Silt Loam/Loam (B): <b>x</b>   | Not Applicable (100% Impervious): |
| Are the soils outside the building footprint not graded/compacted? <b>y</b> Yes/No   |                                   |
| If no, and the soil will be compacted during site preparation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (eg. Silt Loam to Clay) |                                   |
| Modified Soil Type:  |                                   |
| S = 1.50%  |                                   |
| UBS Volume for 1% Slope (UBS1%) = 0.539829603 inches (Use Figure B-2)  |                                   |
| UBS Volume for 15% Slope (UBS15%) = 0.557738146 inches (Use Figure B-5)  |                                   |
| UBS Volume for X% Slope (UBSX%) = 0.540469193 inches (Corrected Slope for the site)  |                                   |
| Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)   |                                   |
| Adjusted UBS = 0.58324014 inches   |                                   |
| Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch  |                                   |
| Design Volume = 733.91 ft <sup>3</sup>   |                                   |

| SIZING FOR VOLUME BASED TREATMENT  |                                   |
|--|-----------------------------------|
| DMA # <b>3</b>   |                                   |
| A = 13050 s.f.   |                                   |
| Impervious Area = 12216 s.f.   | % Imperviousness = 93.61%         |
| MAPsite = 15   | Correction Factor = 1.07914       |
| MAPgage = 13.9   |                                   |
| Clay (D):  | Sandy Clay (D): Clay Loam (D):    |
| Silt Loam/Loam (B): <b>x</b>   | Not Applicable (100% Impervious): |
| Are the soils outside the building footprint not graded/compacted? <b>y</b> Yes/No   |                                   |
| If no, and the soil will be compacted during site preparation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (eg. Silt Loam to Clay) |                                   |
| Modified Soil Type:  |                                   |
| S = 1.50%  |                                   |
| UBS Volume for 1% Slope (UBS1%) = 0.544403218 inches (Use Figure B-2)  |                                   |
| UBS Volume for 15% Slope (UBS15%) = 0.562549885 inches (Use Figure B-5)  |                                   |
| UBS Volume for X% Slope (UBSX%) = 0.545051314 inches (Corrected Slope for the site)  |                                   |
| Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)   |                                   |
| Adjusted UBS = 0.58818487 inches   |                                   |
| Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch  |                                   |
| Design Volume = 639.65 ft <sup>3</sup>   |                                   |

| COMBO FLOW & VOLUME BIORETENTION CALCULATION  |  |
|---|--|
| Total Drainage Area = 42,698 sq. ft   |  |
| Impervious Area = 41,326 sq. ft   |  |
| Pervious Area = 1,372 sq. ft  |  |
| Equivalent Impervious Area = 137 sq. ft   | Total Equivalent Impervious = 41,463 sq. ft    |
| Rainfall intensity = 0.2 in/hr  |  |
| Duration = Adjusted UBS (Step 6) / Rainfall Intensity   |  |
| Duration = 3.03659956 hrs   |  |
| Estimate the Surface Area = 1083 sq. ft   | (Typically start with Total Impervious x 0.03) |
| Volume of Treated Runoff = 1370.26555 cu. ft  |  |
| Volume in Ponding Area = 790.679915 cu. ft  |  |
| Depth of Ponding = 0.73008302 ft  | Depth of Ponding = 8.8 inches (Round up)       |
| If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)           |  |
| If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)                         |  |
| If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters. |  |

| COMBO FLOW & VOLUME BIORETENTION CALCULATION  |  |
|---|--|
| Total Drainage Area = 15,100 sq. ft   |  |
| Impervious Area = 14,011 sq. ft   |  |
| Pervious Area = 1,089 sq. ft  |  |
| Equivalent Impervious Area = 109 sq. ft   | Total Equivalent Impervious = 14,120 sq. ft    |
| Rainfall intensity = 0.2 in/hr  |  |
| Duration = Adjusted UBS (Step 6) / Rainfall Intensity   |  |
| Duration = 2.91620068 hrs   |  |
| Estimate the Surface Area = 560 sq. ft  | (Typically start with Total Impervious x 0.03) |
| Volume of Treated Runoff = 680.446826 cu. ft  |  |
| Volume in Ponding Area = 53.4636792 cu. ft  |  |
| Depth of Ponding = 0.09547086 ft  | Depth of Ponding = 1.1 inches (Round up)       |
| If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)           |  |
| If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)                         |  |
| If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters. |  |

| COMBO FLOW & VOLUME BIORETENTION CALCULATION  |  |
|---|--|
| Total Drainage Area = 13,050 sq. ft   |  |
| Impervious Area = 12,216 sq. ft   |  |
| Pervious Area = 834 sq. ft  |  |
| Equivalent Impervious Area = 83 sq. ft  | Total Equivalent Impervious = 12,299 sq. ft    |
| Rainfall intensity = 0.2 in/hr  |  |
| Duration = Adjusted UBS (Step 6) / Rainfall Intensity   |  |
| Duration = 2.94092435 hrs   |  |
| Estimate the Surface Area = 489 sq. ft  | (Typically start with Total Impervious x 0.03) |
| Volume of Treated Runoff = 599.213337 cu. ft  |  |
| Volume in Ponding Area = 40.4377099 cu. ft  |  |
| Depth of Ponding = 0.0826947 ft   | Depth of Ponding = 1 inches (Round up)         |
| If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)           |  |
| If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)                         |  |
| If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters. |  |

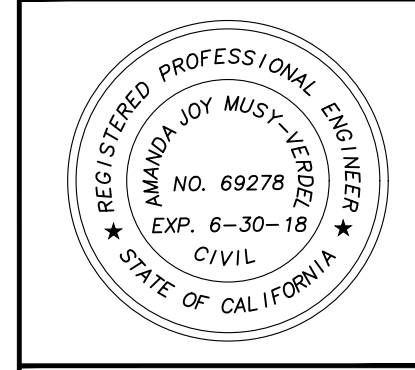
| SIZING FOR VOLUME BASED TREATMENT  |                                   |
|--|-----------------------------------|
| DMA # <b>4</b>   |                                   |
| A = 30000 s.f.   |                                   |
| Impervious Area = 27537 s.f.   | % Imperviousness = 91.79%         |
| MAPsite = 15   | Correction Factor = 1.07914       |
| MAPgage = 13.9   |                                   |
| Clay (D):  | Sandy Clay (D): Clay Loam (D):    |
| Silt Loam/Loam (B): <b>x</b>   | Not Applicable (100% Impervious): |
| Are the soils outside the building footprint not graded/compacted? <b>y</b> Yes/No   |                                   |
| If no, and the soil will be compacted during site preparation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (eg. Silt Loam to Clay) |                                   |
| Modified Soil Type:  |                                   |
| S = 1.50%  |                                   |
| UBS Volume for 1% Slope (UBS1%) = 0.5342703 inches (Use Figure B-2)  |                                   |
| UBS Volume for 15% Slope (UBS15%) = 0.5518894 inches (Use Figure B-5)  |                                   |
| UBS Volume for X% Slope (UBSX%) = 0.534899554 inches (Corrected Slope for the site)  |                                   |
| Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)   |                                   |
| Adjusted UBS = 0.57722973 inches   |                                   |
| Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch  |                                   |
| Design Volume = 1,443.07 ft <sup>3</sup>   |                                   |

| SIZING FOR VOLUME BASED TREATMENT  |                                   |
|--|-----------------------------------|
| DMA # <b>5</b>   |                                   |
| A = 33718 s.f.   |                                   |
| Impervious Area = 31100 s.f.   | % Imperviousness = 92.24%         |
| MAPsite = 15   | Correction Factor = 1.07914       |
| MAPgage = 13.9   |                                   |
| Clay (D):  | Sandy Clay (D): Clay Loam (D):    |
| Silt Loam/Loam (B): <b>x</b>   | Not Applicable (100% Impervious): |
| Are the soils outside the building footprint not graded/compacted? <b>y</b> Yes/No   |                                   |
| If no, and the soil will be compacted during site preparation and grading, the soils infiltration ability will be decreased. Modify your answer to a soil with a lower infiltration rate (eg. Silt Loam to Clay) |                                   |
| Modified Soil Type:  |                                   |
| S = 1.50%  |                                   |
| UBS Volume for 1% Slope (UBS1%) = 0.536752298 inches (Use Figure B-2)  |                                   |
| UBS Volume for 15% Slope (UBS15%) = 0.554500623 inches (Use Figure B-5)  |                                   |
| UBS Volume for X% Slope (UBSX%) = 0.537386167 inches (Corrected Slope for the site)  |                                   |
| Adjusted UBS = Correction Factor (Step 2) x UBSx% (Step 5)   |                                   |
| Adjusted UBS = 0.57991313 inches   |                                   |
| Design Volume = Adjusted UBS (Step 6) x Drainage Area (Step 1) x 1ft/12inch  |                                   |
| Design Volume = 1,629.46 ft <sup>3</sup>   |                                   |

| COMBO FLOW & VOLUME BIORETENTION CALCULATION  |  |
|---|--|
| Total Drainage Area = 30,000 sq. ft   |  |
| Impervious Area = 27,537 sq. ft   |  |
| Pervious Area = 2,463 sq. ft  |  |
| Equivalent Impervious Area = 246 sq. ft   | Total Equivalent Impervious = 27,783 sq. ft    |
| Rainfall intensity = 0.2 in/hr  |  |
| Duration = Adjusted UBS (Step 6) / Rainfall Intensity   |  |
| Duration = 2.88614867 hrs   |  |
| Estimate the Surface Area = 1101 sq. ft   | (Typically start with Total Impervious x 0.03) |
| Volume of Treated Runoff = 1324.0207 cu. ft   |  |
| Volume in Ponding Area = 119.053633 cu. ft  |  |
| Depth of Ponding = 0.10813227 ft  | Depth of Ponding = 1.3 inches (Round up)       |
| If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)           |  |
| If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)                         |  |
| If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters. |  |

| COMBO FLOW & VOLUME BIORETENTION CALCULATION  |  |
|---|--|
| Total Drainage Area = 33,718 sq. ft   |  |
| Impervious Area = 31,100 sq. ft   |  |
| Pervious Area = 2,618 sq. ft  |  |
| Equivalent Impervious Area = 262 sq. ft   | Total Equivalent Impervious = 31,362 sq. ft    |
| Rainfall intensity = 0.2 in/hr  |  |
| Duration = Adjusted UBS (Step 6) / Rainfall Intensity   |  |
| Duration = 2.89956565 hrs   |  |
| Estimate the Surface Area = 1244 sq. ft   | (Typically start with Total Impervious x 0.03) |
| Volume of Treated Runoff = 1502.94153 cu. ft  |  |
| Volume in Ponding Area = 126.517715 cu. ft  |  |
| Depth of Ponding = 0.10170234 ft  | Depth of Ponding = 1.2 inches (Round up)       |
| If Depth of Ponding is less than 6" the design can be optimized with a smaller surface area. (repeat)           |  |
| If Depth of Ponding is greater than 12" a larger surface area will be required (repeat)                         |  |
| If Depth of Ponding is between 6" to 12" this is the range allowable for bioretention of flow through planters. |  |

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |



**JIM RUBNITZ**  
 17610 BLANCHARD DRIVE  
 MONTE SERENO, CA 95030

HANNA-BRUNETTI  
 7651 EIGLEBERRY STREET  
 GILROY, CA 95020  
 OFFICE: 408 842-2173  
 FAX: 408 842-3662  
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

PRELIMINARY  
 SELF-STORAGE DEVELOPMENT  
 BIORETENTION DMA SHEETS  
 Project No: 15062  
 Date: 7/19/18  
 Checked: AM  
 Designed: TM

SHEET  
 9  
 Of 9 SHEETS  
 PW PROJECT #  
 3-22046



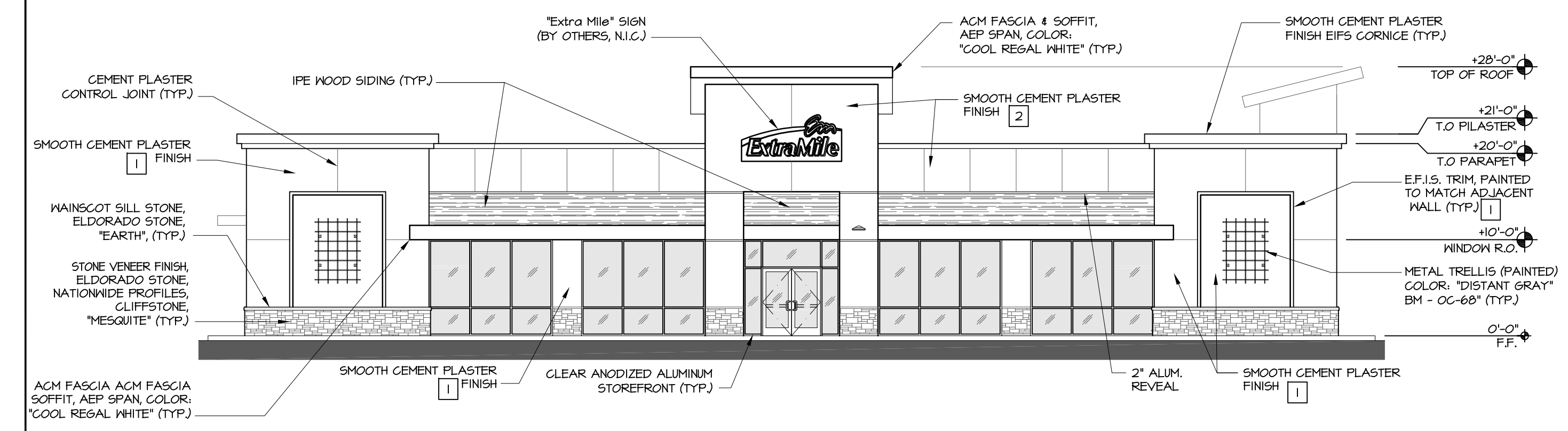


Architects

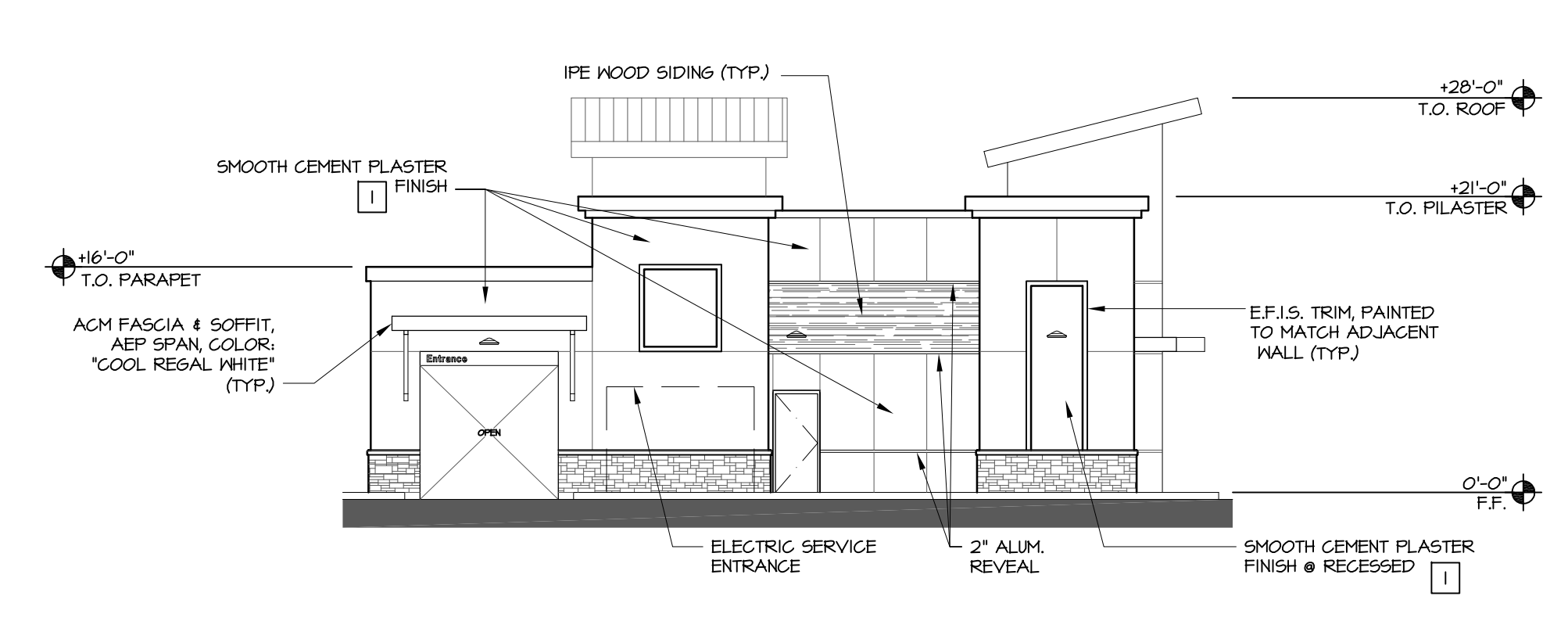
M I Architects, Inc.  
ARCHITECTURE  
PLANNING  
MANAGEMENT  
DESIGN  
2221 OLYMPIC BLVD.,  
SUITE 100  
WALNUT CREEK, CA  
94545  
925-287-1174 Tel  
925-943-1581 Fax  
925-878-9875 Cell  
mihana@miarchitect.com  
www.miarchitect.com

### COLOR & MATERIAL NOTES

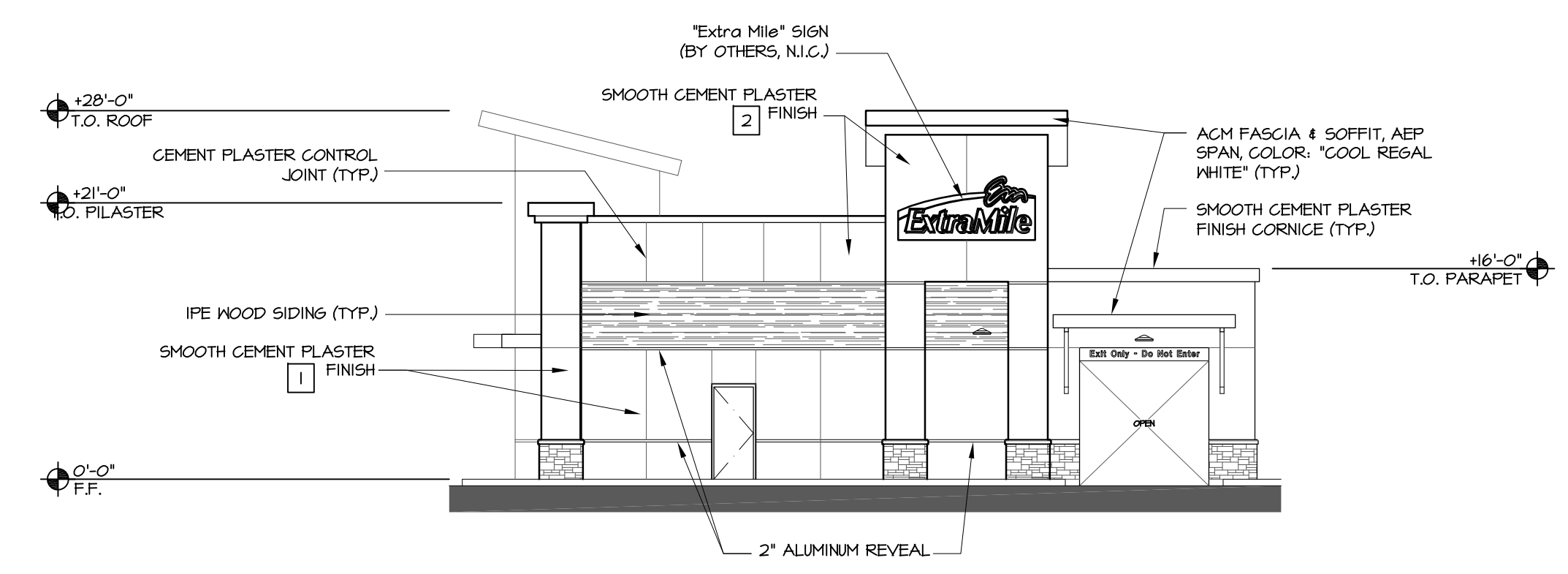
- 1 COLOR: PPG 1012-4 "GRAY FROST"
- 2 COLOR: PPG 1011-4 "UFO"
- 3 METAL SIDING "OLD TOWN GRAY" (TYP.)
- 4 NOT USED
- 5 STOREFRONT WINDOWS "CLEAR ANODIZED ALUMINUM" (TYP.)
- 6 SPLIT-FACE INTEGRAL-COLOR CMU (BURGANDY RED)
- 7 HARDIE-PANEL "REVEAL" SYSTEM (LIGHT MIST)
- 8 DOOR & ROLL-UP UNIT DOOR (SILHOUETTE GRAY)
- 9 12" METAL COPING (WEATHERED COPPER)
- 10 8" METAL COPING (TERRA COTTA)



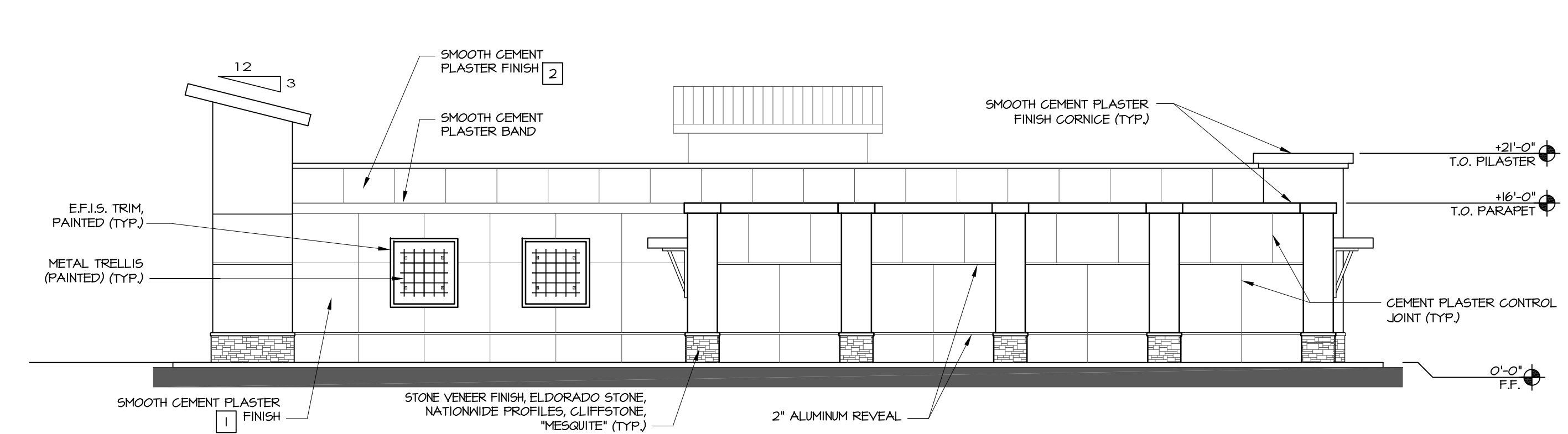
**A** SOUTHEAST CONVENIENCE STORE BUILDING ELEVATION  
3/32" = 1'-0"



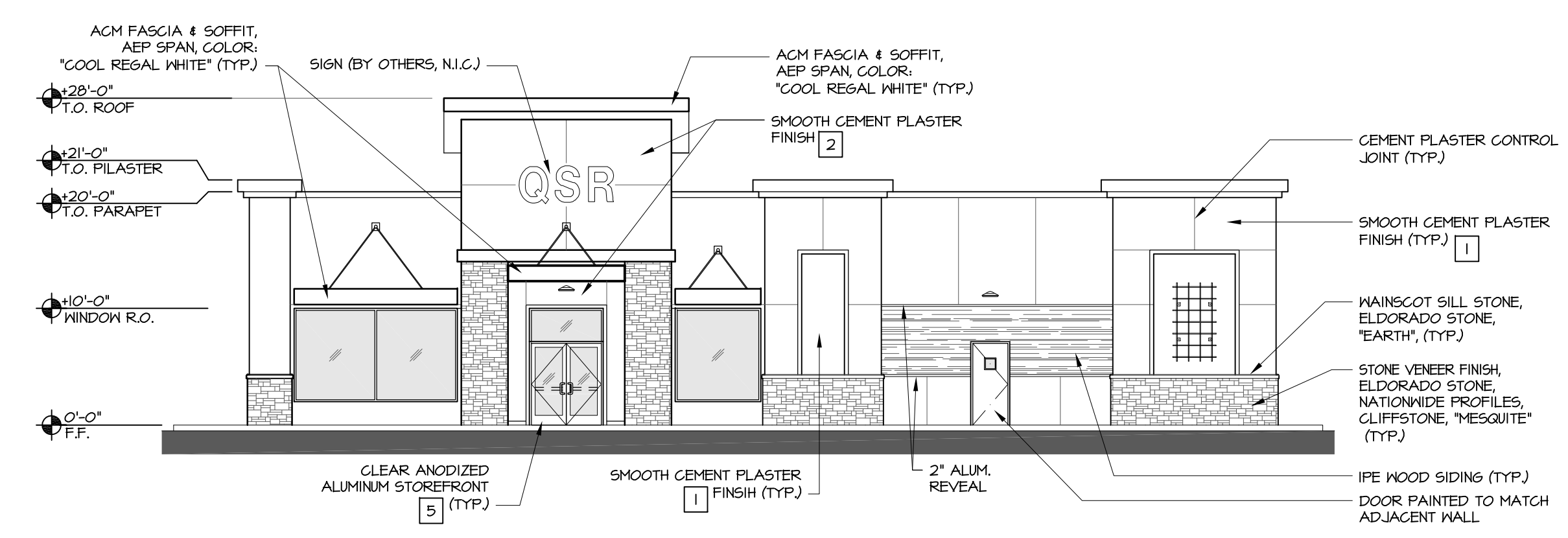
**B** SOUTHWEST CONVENIENCE STORE BUILDING ELEVATION  
3/32" = 1'-0"



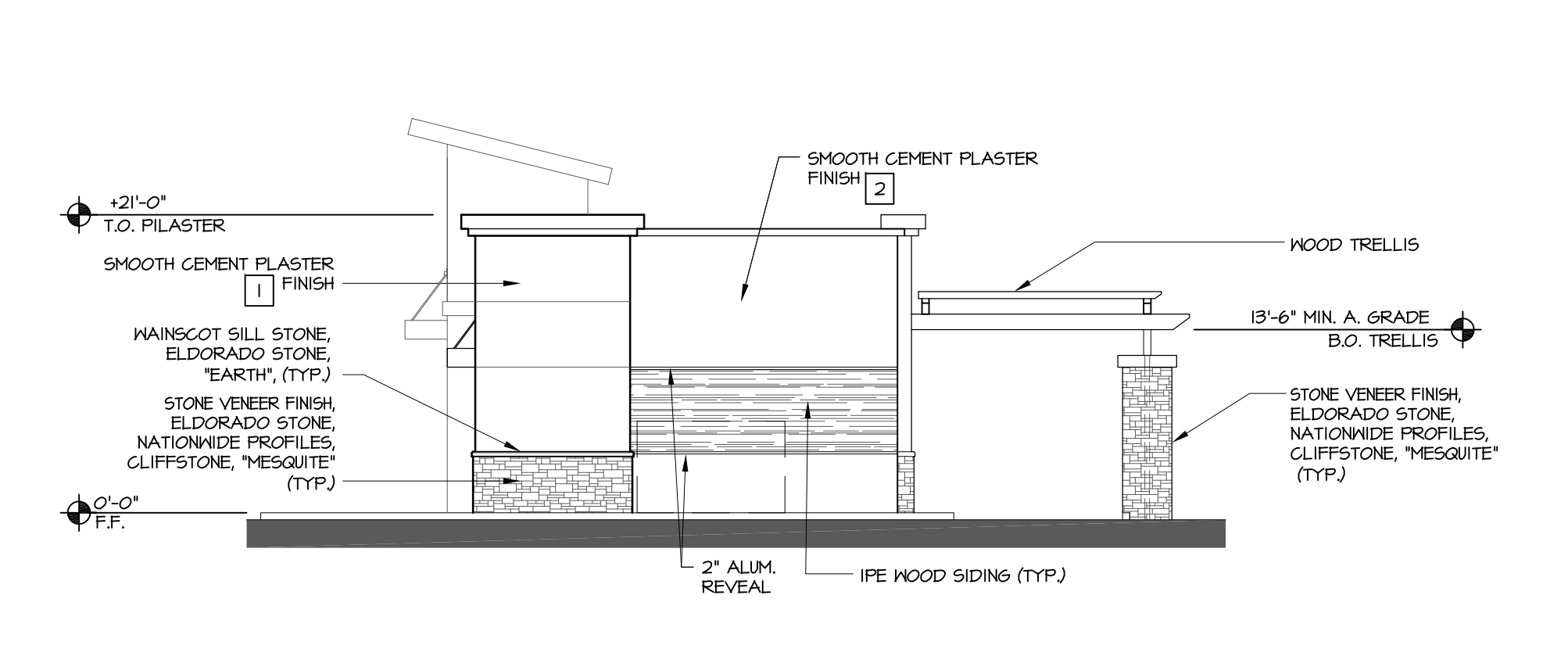
**C** NORTHEAST CONVENIENCE STORE BUILDING ELEVATION  
3/32" = 1'-0"



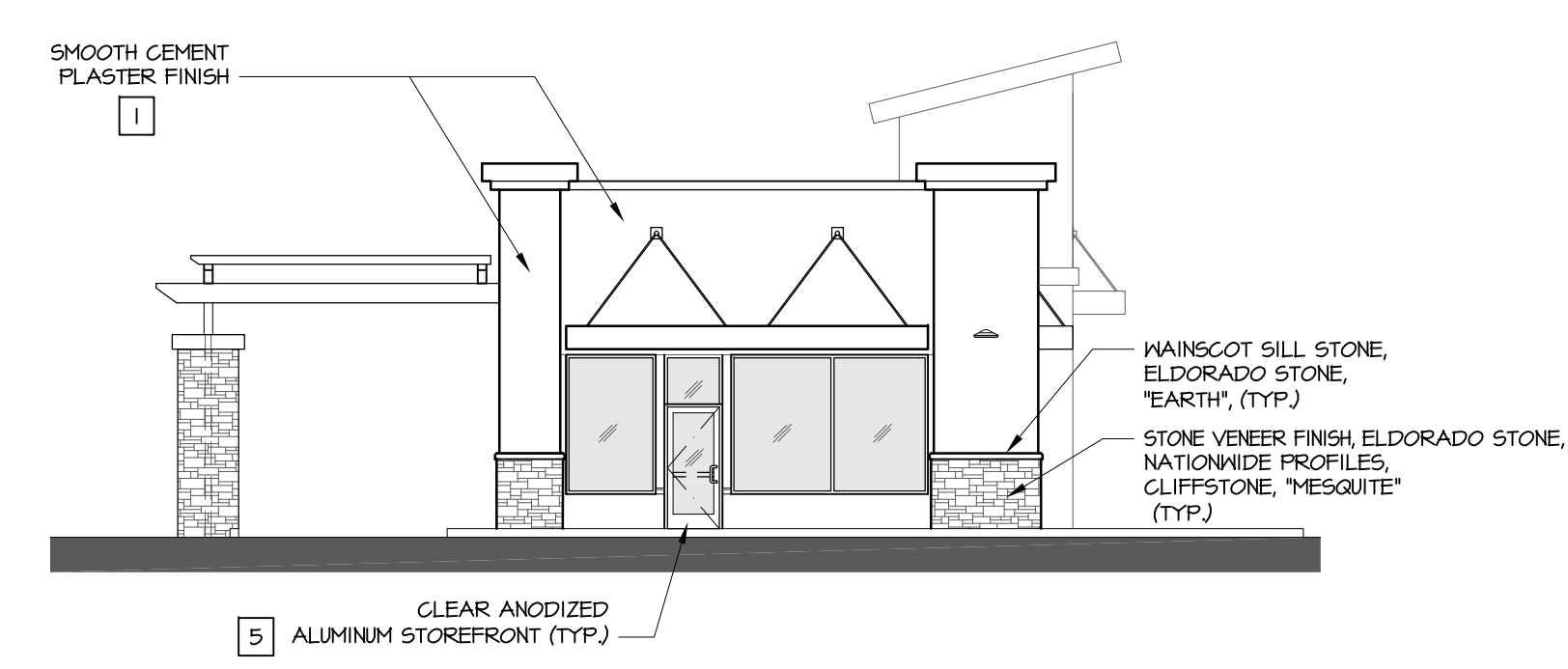
**D** NORTHWEST CONVENIENCE STORE BUILDING ELEVATION  
3/32" = 1'-0"



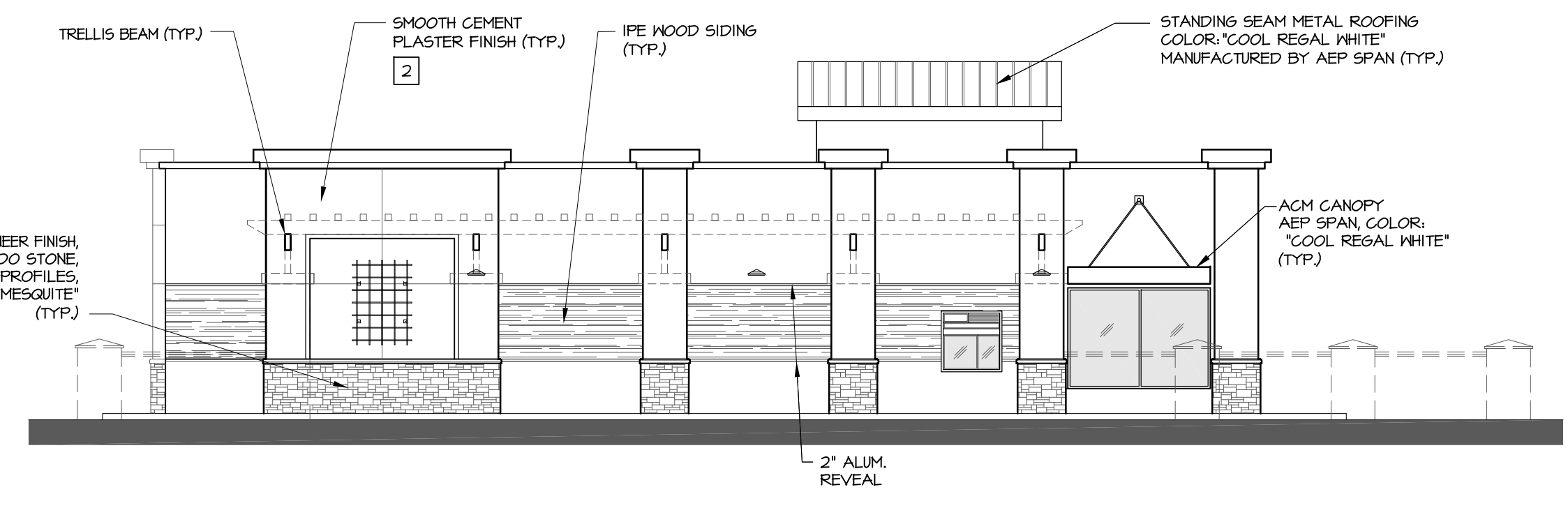
**E** NORTHWEST QSR BUILDING ELEVATION  
3/32" = 1'-0"



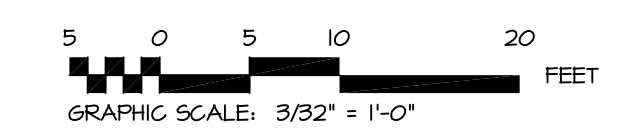
**F** NORTHEAST QSR BUILDING ELEVATION  
3/32" = 1'-0"



**G** SOUTHWEST QSR BUILDING ELEVATION  
3/32" = 1'-0"



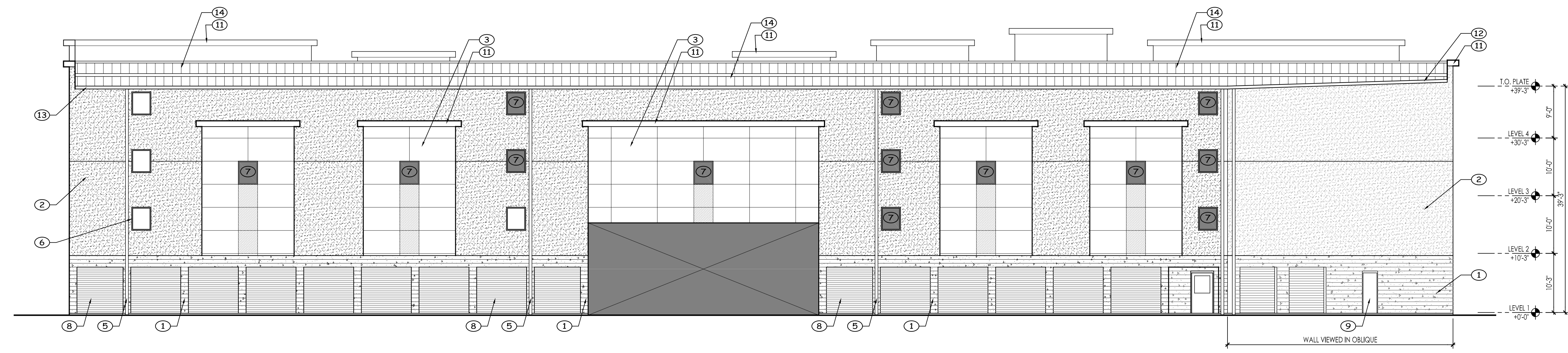
**H** SOUTHEAST QSR BUILDING ELEVATION  
3/32" = 1'-0"



GAS STATION, CONVENIENCE STORE,  
CARWASH, QSR & MINI STORAGE  
645 HORNING STREET  
SAN JOSE, CA

| -   | ISSUED FOR CONSTRUCTION |                |
|---|-------------------------|----------------|
| -   | ISSUED FOR PLAN CHECK   |                |
| 3-22-18                                     | ISSUED FOR PLANNING     |                |
| NO.   | DATE                    | DESCRIPTION    |
| △   |                         |                |
| △   |                         |                |
| △   |                         |                |
| △   |                         |                |
| △   |                         |                |
| CONVENIENCE STORE & QSR BUILDING ELEVATIONS |                         |                |
| PROJECT #:                                  | 15-6609                 |                |
| DRAWN BY:                                   | BM                      | CHECKED: MI    |
| SCALE:                                      | AS NOTED                | DATE: 04-01-18 |

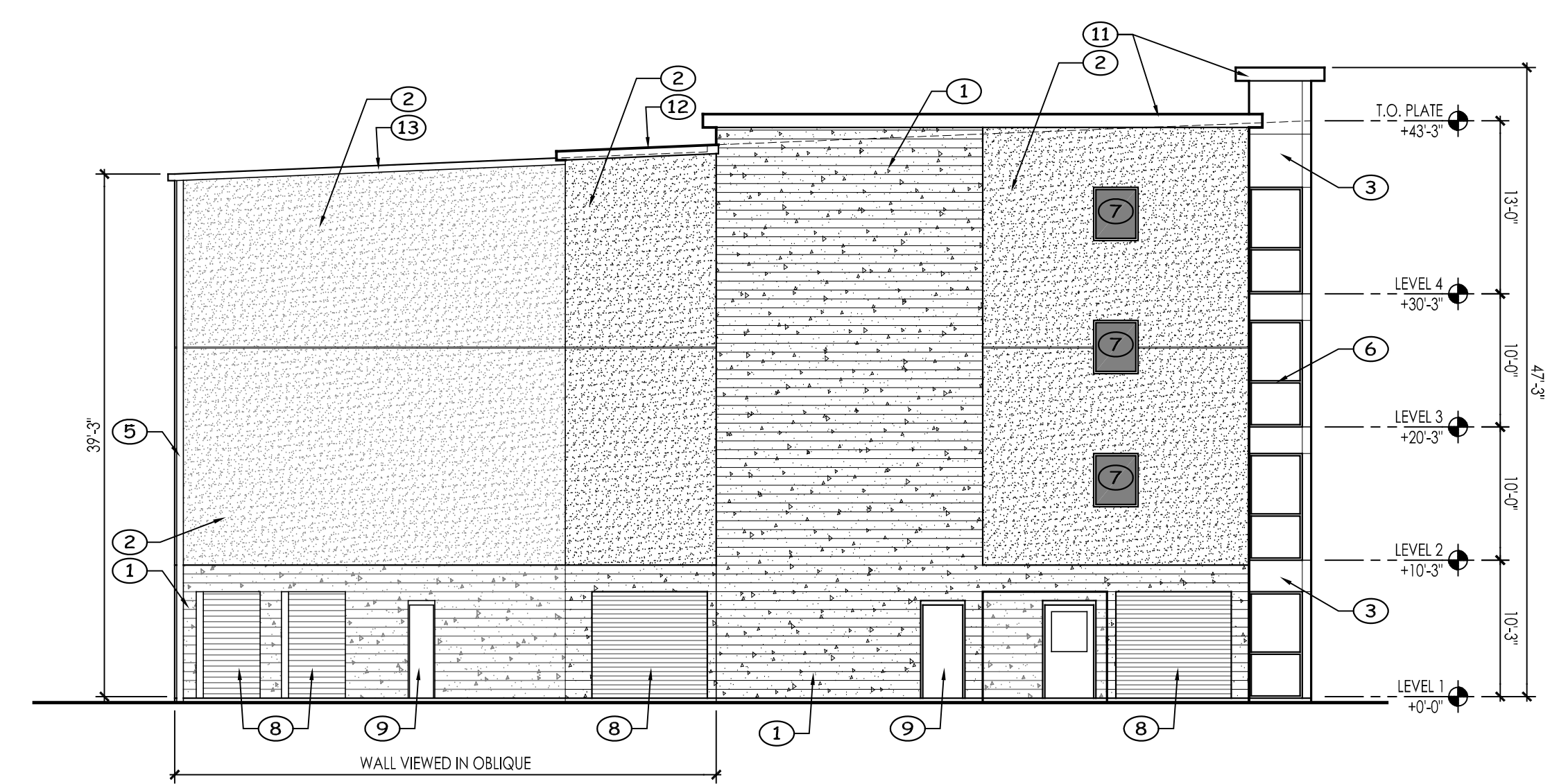
S:\1-Projects\15-6609 Gas Station\15-6609-7A-7C.dwg modified by mihana at Mar 22, 2018 - 2:27pm



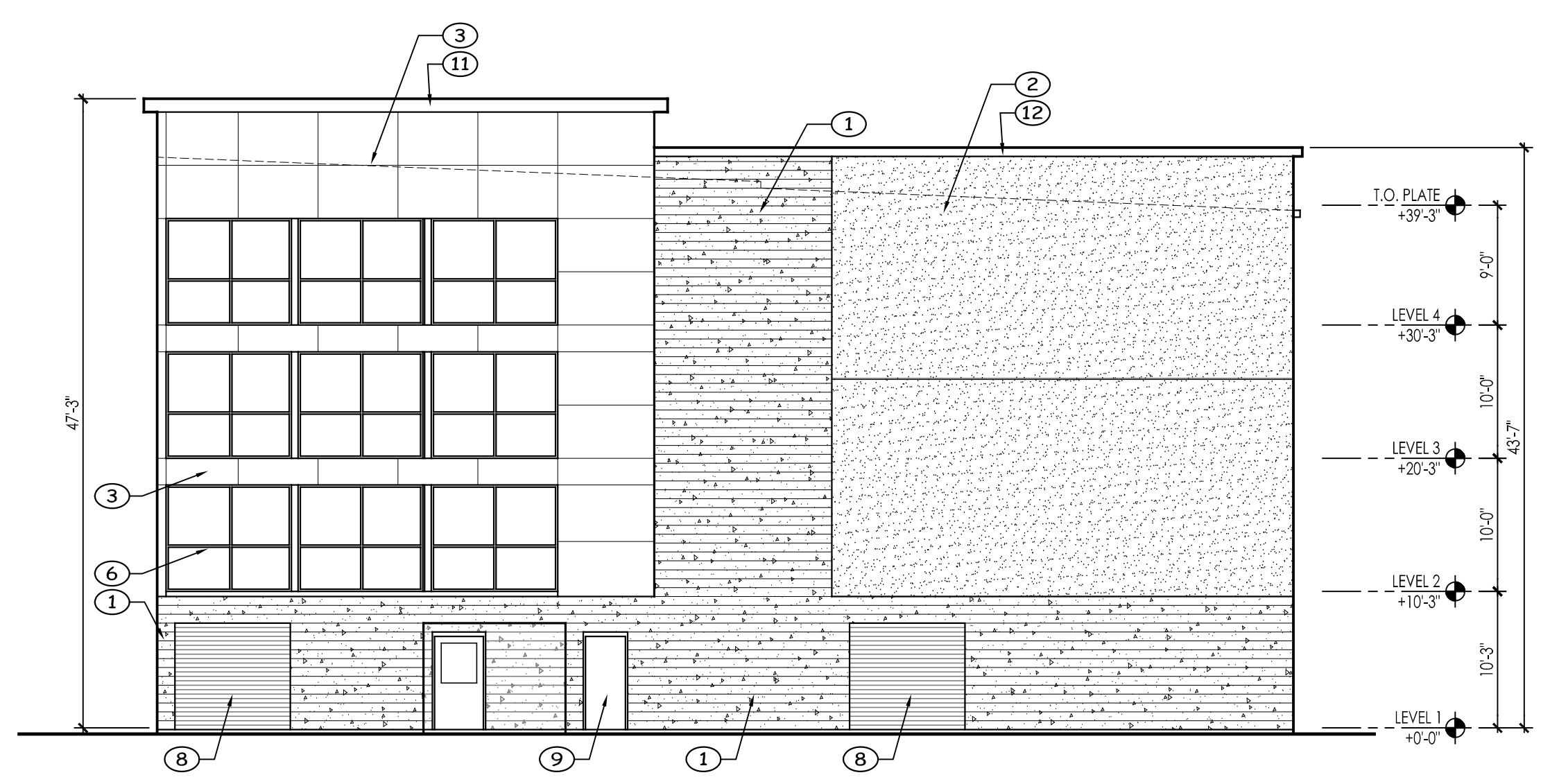
**D SOUTH ELEVATION**  
SCALE: 1" = 10'-0"

**MATERIAL KEY**

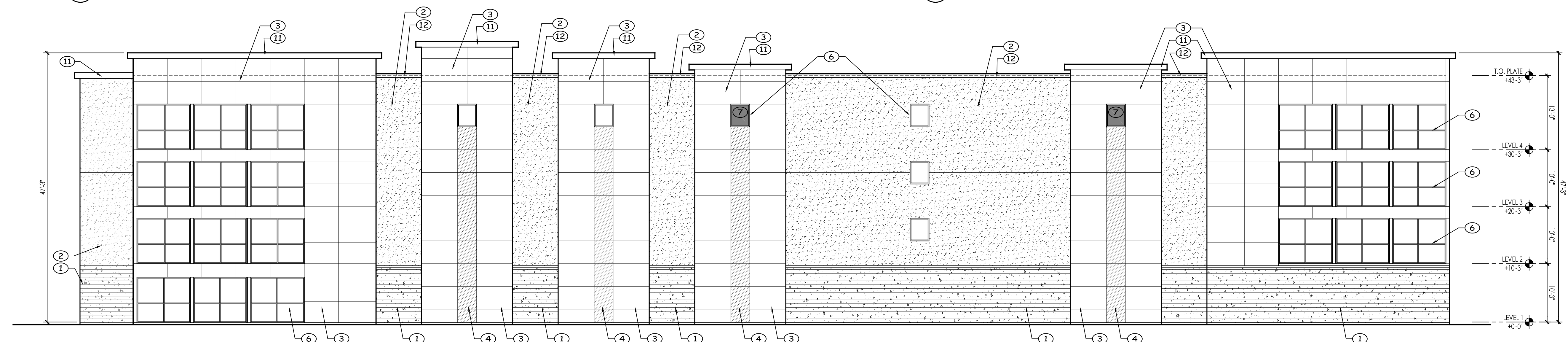
- 1 SPLIT-FACE INTEGRAL-COLOR CMU (BURGANDY RED)
- 2 3-COAT STUCCO MEDIUM SAND FINISH (ANTIQUE WHITE)
- 3 HARDIE-PANEL "REVEAL" SYSTEM (LIGHT MIST)
- 4 HARDIE-PANEL "REVEAL" SYSTEM (TIMBER BARK)
- 5 DOWNSPOUT (TERRA COTTA)
- 6 ALUM. STOREFRONT SYSTEM (MATTE BLACK)
- 7 SPANDREL GLAZING (MED. BRONZE)
- 8 ROLL-UP UNIT DOOR (SILHOUETTE GRAY)
- 9 FIRE EXIT/UTILITY ROOM DOOR
- 10 GOOSENECK LIGHT
- 11 12" METAL COPING (WEATHERED COPPER)
- 12 8" METAL COPING (TERRA COTTA)
- 13 METAL GUTTER (TERRA COTTA)
- 14 CLIP-RIB METAL ROOFING (GALVANIZED)



**C EAST ELEVATION**  
SCALE: 1" = 10'-0"



**B WEST ELEVATION**  
SCALE: 1" = 10'-0"



**A NORTH ELEVATION**  
SCALE: 1" = 10'-0"

**HORNING STREET MINI  
A NEW STORAGE FACILITY**

SAN JOSE, CA

| NO. | DATE | REVISION |
|-----|------|----------|
|     |      |          |
|     |      |          |
|     |      |          |
|     |      |          |
|     |      |          |
|     |      |          |
|     |      |          |
|     |      |          |
|     |      |          |

PROJECT ARCHITECT  
DRAWN BY  
CHECKED BY

**SCHEMATIC ELEVATIONS**

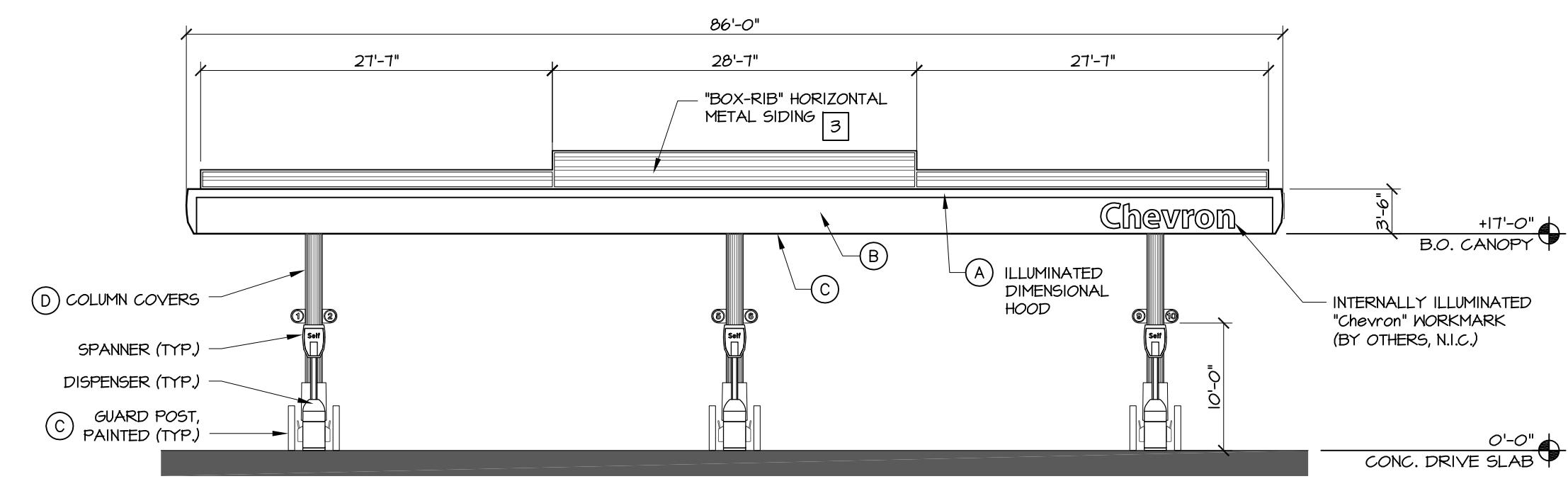
PROJECT NO.  
06 MARCH 2017  
DATE  
DESIGN ELEVATIONS  
TITLE



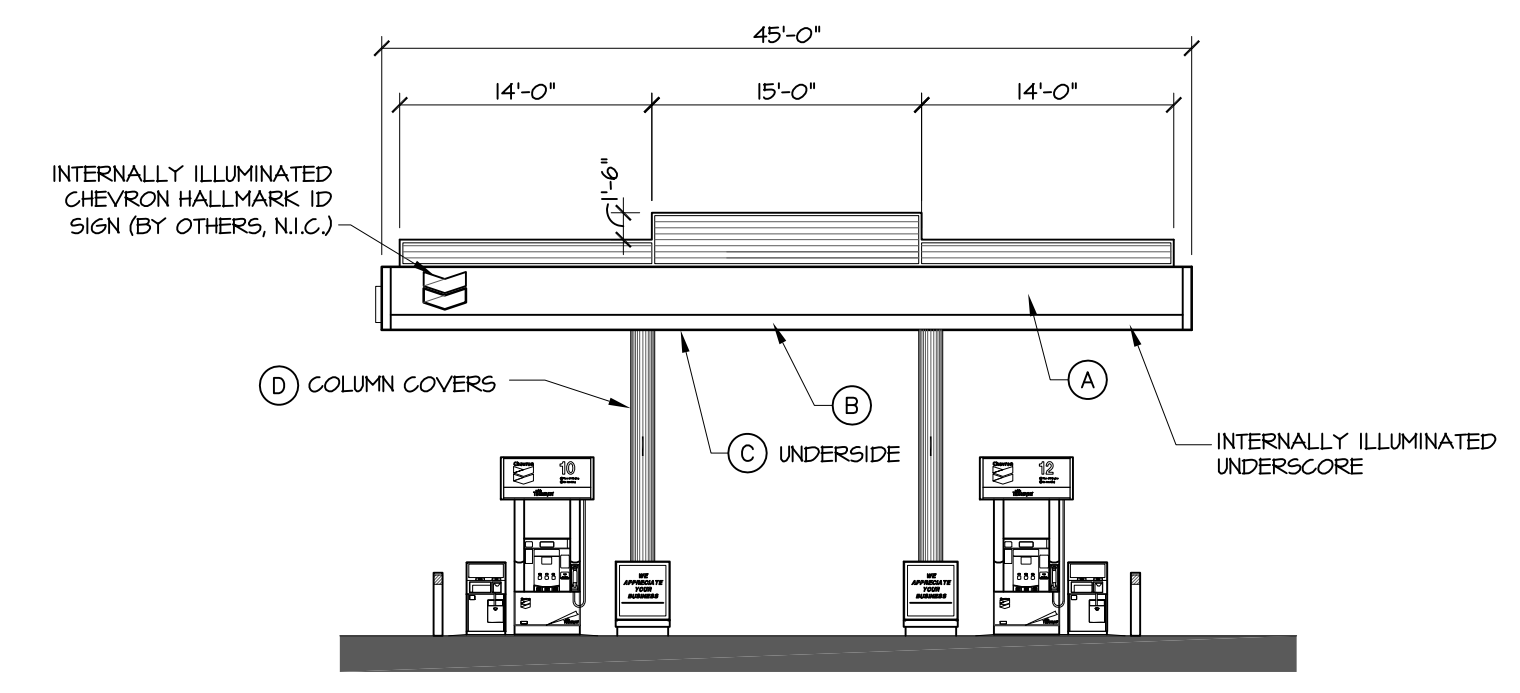
| CANOPY COLOR LEGEND |          |                            |                        |     |
|---------------------|----------|----------------------------|------------------------|-----|
| COLOR               | FMS      | FILM                       | FINISHES               | (X) |
| PEARL WHITE         | N/A      | 3M REFLECTIVE WHITE 600-10 | JONES BLAIR HIGH GLOSS | (A) |
| BLUE                | FMS 2936 | 3M BRISTOL BLUE            | N/A                    | (B) |
| WHITE               |          | N/A                        | PPG MH-835             | (C) |
| SILVER              | FMS 424  | N/A                        | JONES BLAIR #36        | (D) |
| DARK GRAY           | FMS 431  | N/A                        | PPG 6Y-210             | (E) |

ALL PAINT TO BE V.O.C. COMPLIANT URETHANE

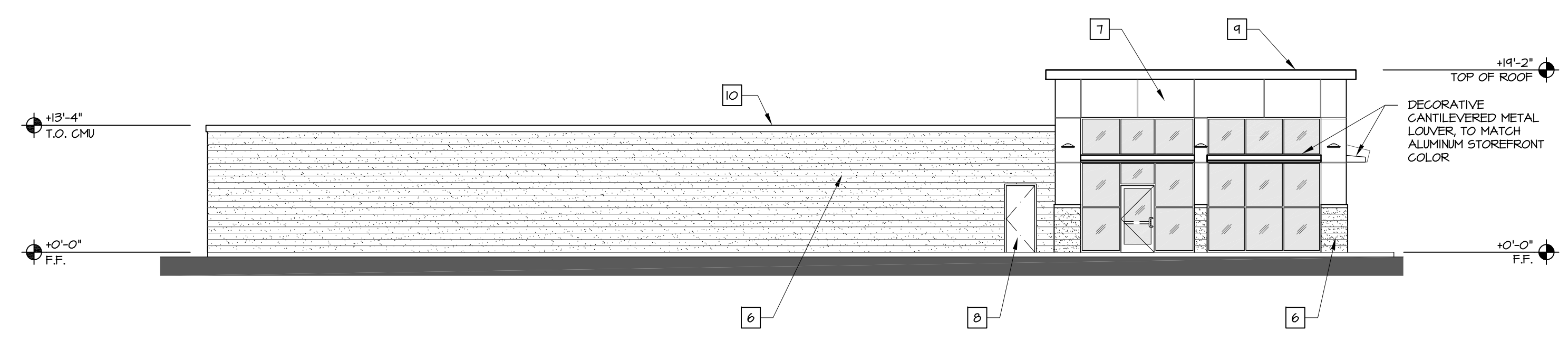
- COLOR & MATERIAL NOTES**
- COLOR: PPG 1012-4 "GRAY FROST"
  - COLOR: PPG 1011-4 "UFO"
  - METAL SIDING "OLD TOWN GRAY" (TYP.)
  - NOT USED
  - STOREFRONT WINDOWS "CLEAR ANODIZED ALUMINUM" (TYP.)
  - SPLIT-FACE INTEGRAL-COLOR CMU (BURGANDY RED)
  - HARDIE-PANEL "REVEAL" SYSTEM (LIGHT MIST)
  - DOOR & ROLL-UP UNIT DOOR (SILHOUETTE GRAY)
  - 12" METAL COPING (WEATHERED COPPER)
  - 8" METAL COPING (TERRA COTTA)



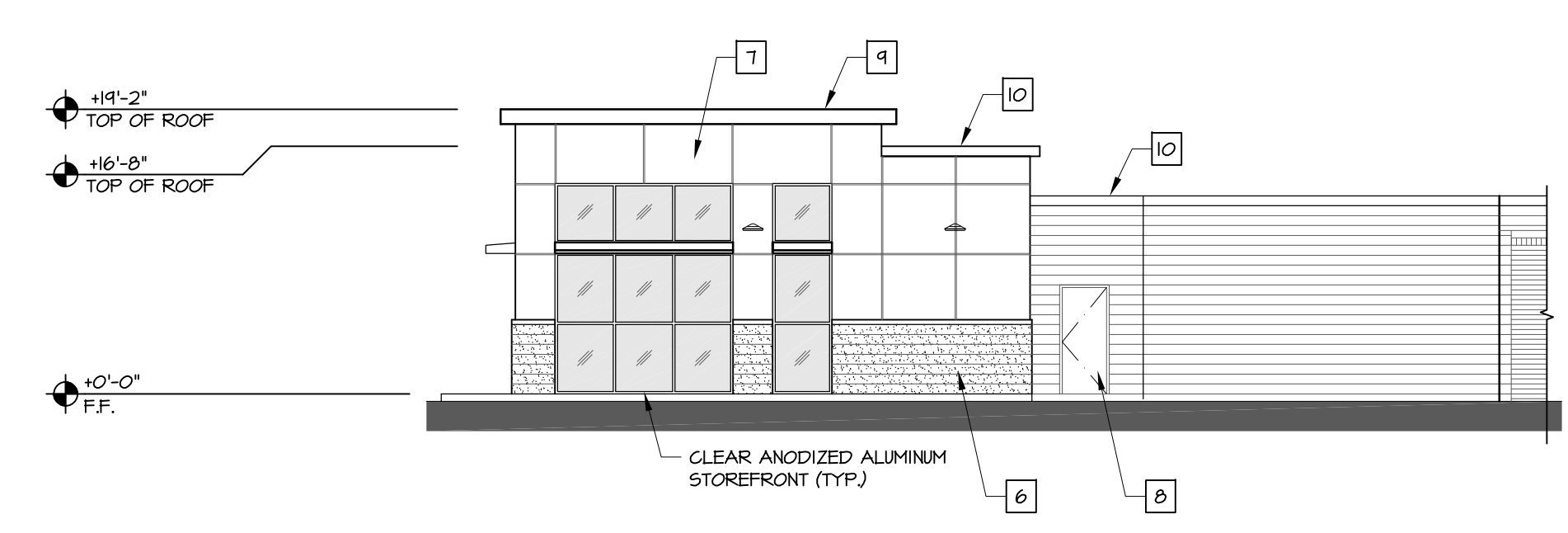
**A** SOUTHEAST FUEL CANOPY ELEVATION  
 3/32" = 1'-0"



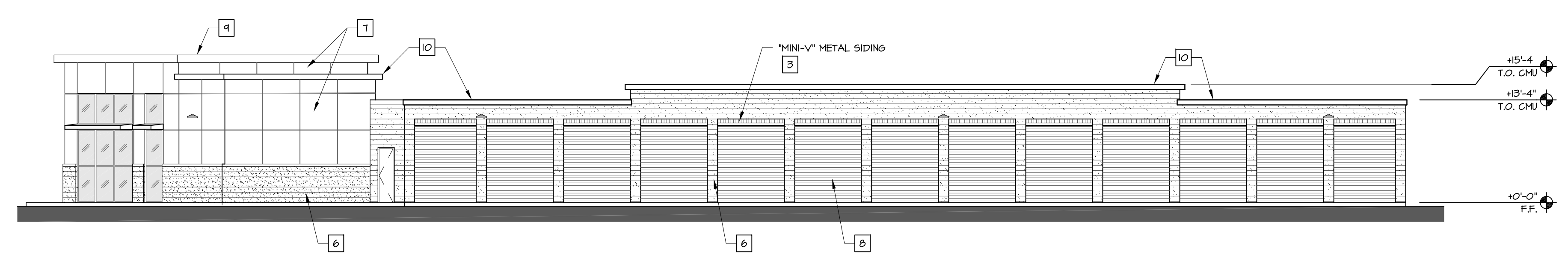
**B** NORTHEAST FUEL CANOPY ELEVATION  
 3/32" = 1'-0"



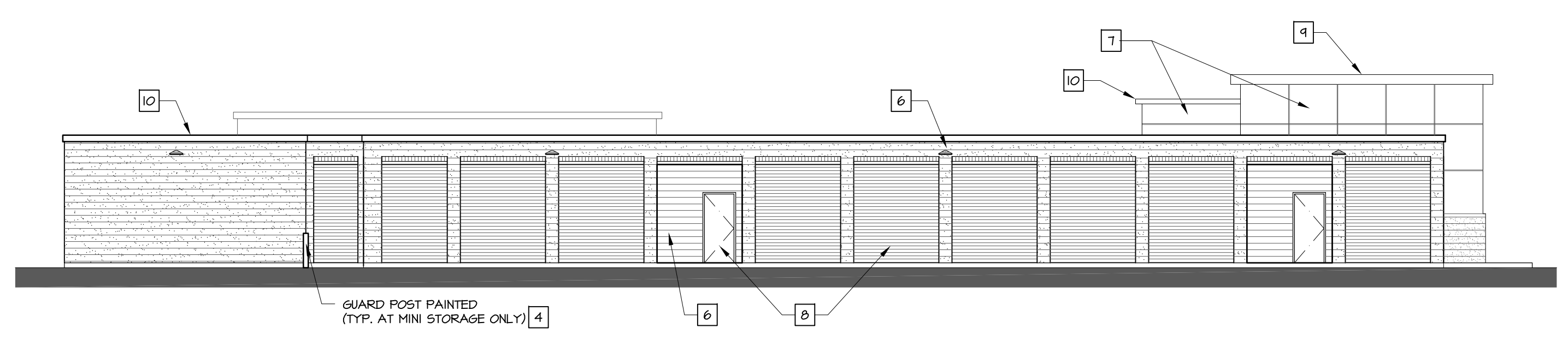
**C** SOUTHEAST STORAGE BUILDING "A" ELEVATION  
 3/32" = 1'-0"



**D** NORTHEAST STORAGE BUILDING "A" ELEVATION  
 3/32" = 1'-0"



**E** NORTH STORAGE BUILDING "A" ELEVATION  
 3/32" = 1'-0"



**F** SOUTHEAST STORAGE BUILDING "A" ELEVATION  
 3/32" = 1'-0"

**GAS STATION, CONVENIENCE STORE,  
 CARWASH, QSR & MINI STORAGE  
 645 HORNING STREET  
 SAN JOSE, CA**

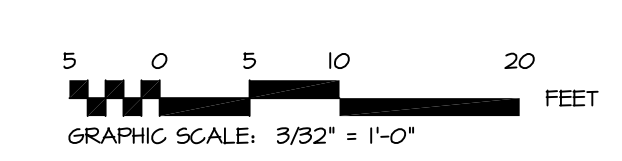
DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M I ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THESE DOCUMENTS WITHOUT EXPRESSED WRITTEN CONSENT FROM M I ARCHITECTS, INC. IS PROHIBITED.

|         |                         |
|---------|-------------------------|
| -       | ISSUED FOR CONSTRUCTION |
| -       | ISSUED FOR PLAN CHECK   |
| 3-22-18 | ISSUED FOR PLANNING     |

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

FUEL CANOPY &  
 STORAGE BLDG "A" ELEVATIONS

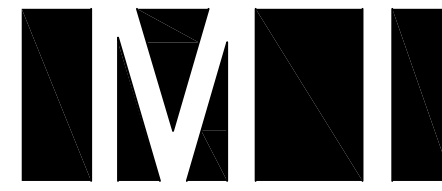
PROJECT #: 15-6609  
 DRAWN: BM CHECKED: MI  
 SCALE: AS NOTED DATE: 04-01-18



S:\1-Projects\15-6609 645 Horning St San Jose (Jug 3 Planning)\15-6609-7A-7C.dwg modified by mhauser2 at Mar 22, 2018 - 2:32pm

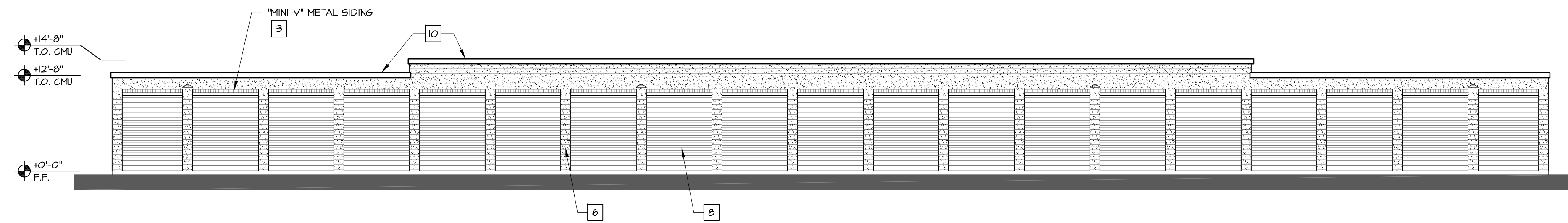
**COLOR & MATERIAL NOTES**

- 1 COLOR: PP6 1012-4 "GRAY FROST"
- 2 COLOR: PP6 1011-4 "UFO"
- 3 METAL SIDING "OLD TOWN GRAY" (TYP.)
- 4 NOT USED
- 5 STOREFRONT WINDOWS "CLEAR ANODIZED ALUMINUM" (TYP.)
- 6 SPLIT-FACE INTEGRAL-COLOR CMU (BURGANDY RED)
- 7 HARDIE-PANEL "REVEAL" SYSTEM (LIGHT MIST)
- 8 DOOR & ROLL-UP UNIT DOOR (SILHOUETTE GRAY)
- 9 12" METAL COPING (WEATHERED COPPER)
- 10 8" METAL COPING (TERRA COTTA)

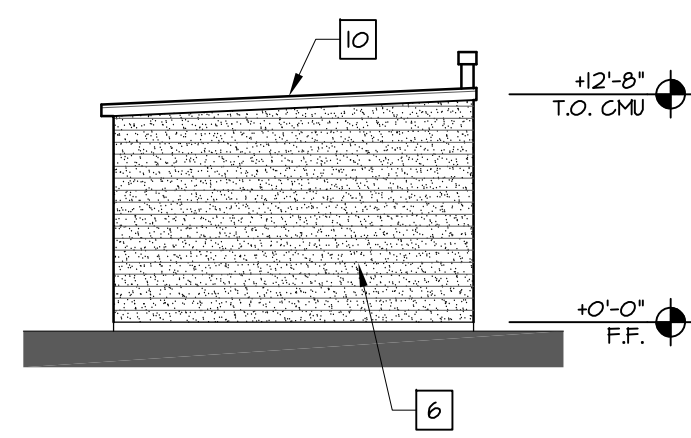


**Architects**

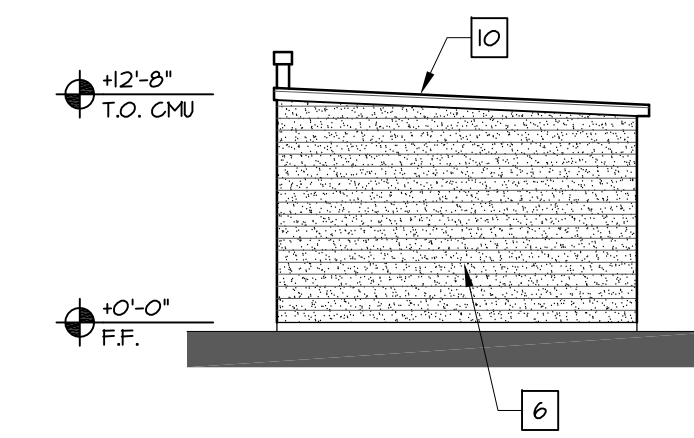
M | Architects, Inc.  
 ARCHITECTURE  
 PLANNING  
 MANAGEMENT  
 DESIGN  
 2221 OLYMPIC BLVD.,  
 SUITE 100  
 WALNUT CREEK, CA  
 94595  
 925-287-1174 Tel  
 925-943-1581 Fax  
 925-878-9875 Cell  
 mthana@miarchitect.com  
 www.miarchitect.com



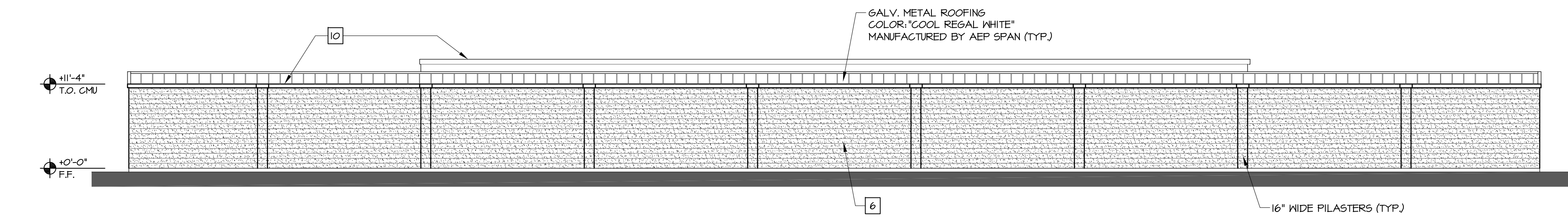
**A** NORTHEAST STORAGE BUILDING "C" ELEVATION  
 3/32" = 1'-0"



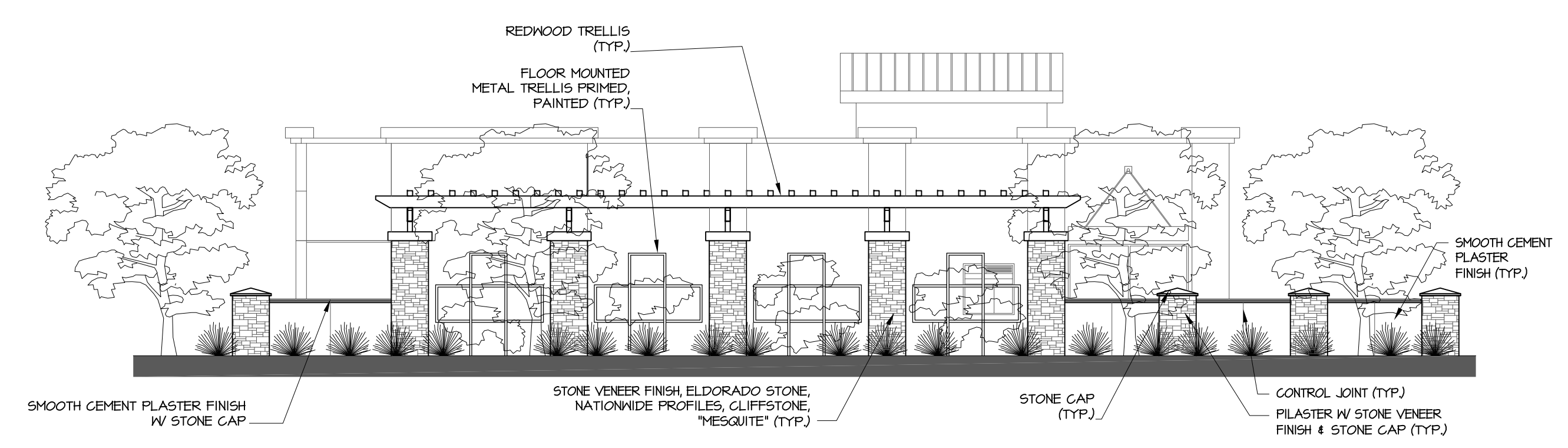
**B** SOUTHEAST STORAGE BUILDING "C" ELEVATION  
 3/32" = 1'-0"



**C** NORTHWEST STORAGE BUILDING "C" ELEVATION  
 3/32" = 1'-0"



**D** SOUTHWEST STORAGE BUILDING "C" ELEVATION  
 3/32" = 1'-0"



**E** DRIVE THRU SCREEN ELEVATION AT QSR BUILDING  
 3/32" = 1'-0"

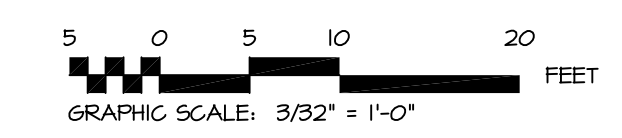
**GAS STATION, CONVENIENCE STORE,  
 CARWASH, QSR & MINI STORAGE  
 645 HORNING STREET  
 SAN JOSE, CA**

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M | ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THESE DRAWINGS OR DOCUMENTS WITHOUT EXPRESSED WRITTEN CONSENT FROM M | ARCHITECTS, INC. IS PROHIBITED.

- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- 3-22-18 ISSUED FOR PLANNING

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

STORAGE BUILDING "C"  
 ELEVATIONS  
 PROJECT #: 15-6609  
 DRAWN: BM CHECKED: MI  
 SCALE: AS NOTED DATE: 04-01-18



S:\\_Projects\15-6609 645 Horning St. San Jose (Jag A) (Planning) 15-6609-7A-7C.dwg modified by mthana at Mar 22, 2018 - 2:32pm





SITE VIEW FROM THE OFF RAMP



BUILDINGS TO THE NORTH OF THE PROPERTY AT BAYSHORE FWY



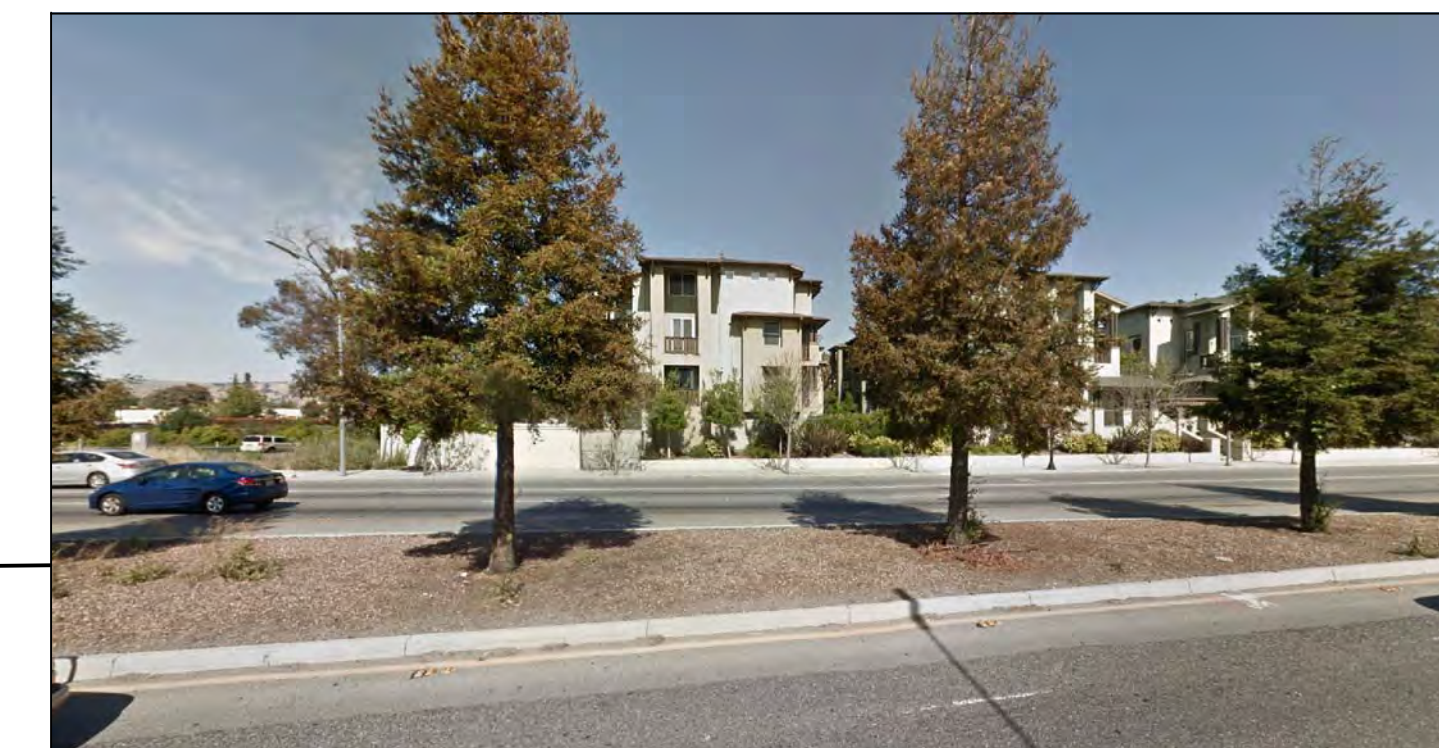
SITE VIEW AT INTERSECTION OF OAKLAND RD & BAYSHORE OFF RAMP



SITE VIEW FROM N. 13TH ST.



EXISTING SITE 645 HORNING ST



BUILDINGS TO THE EAST ON OAKLAND RD



SITE VIEW AT INTERSECTION OF HORNING ST & OAKLAND RD



BUILDINGS TO THE WEST AT N. 13TH ST.

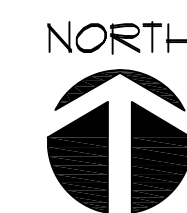


PROPERTY TO THE SOUTH AT HORNING STREET



SITE VIEW FROM HORNIN ST.

**1 BUILDING AND SITE PHOTOS**  
 SCALE: 1" = 200'-0"



**GAS STATION, CONVENIENCE STORE,  
 CARWASH, QSR & MINI STORAGE  
 645 HORNING STREET  
 SAN JOSE, CA**

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M I ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF M I ARCHITECTS, INC. IS PROHIBITED.

|         |                         |
|---------|-------------------------|
| -       | ISSUED FOR CONSTRUCTION |
| -       | ISSUED FOR PLAN CHECK   |
| 3-22-16 | ISSUED FOR PLANNING     |

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| △   |      |             |
| △   |      |             |
| △   |      |             |
| △   |      |             |

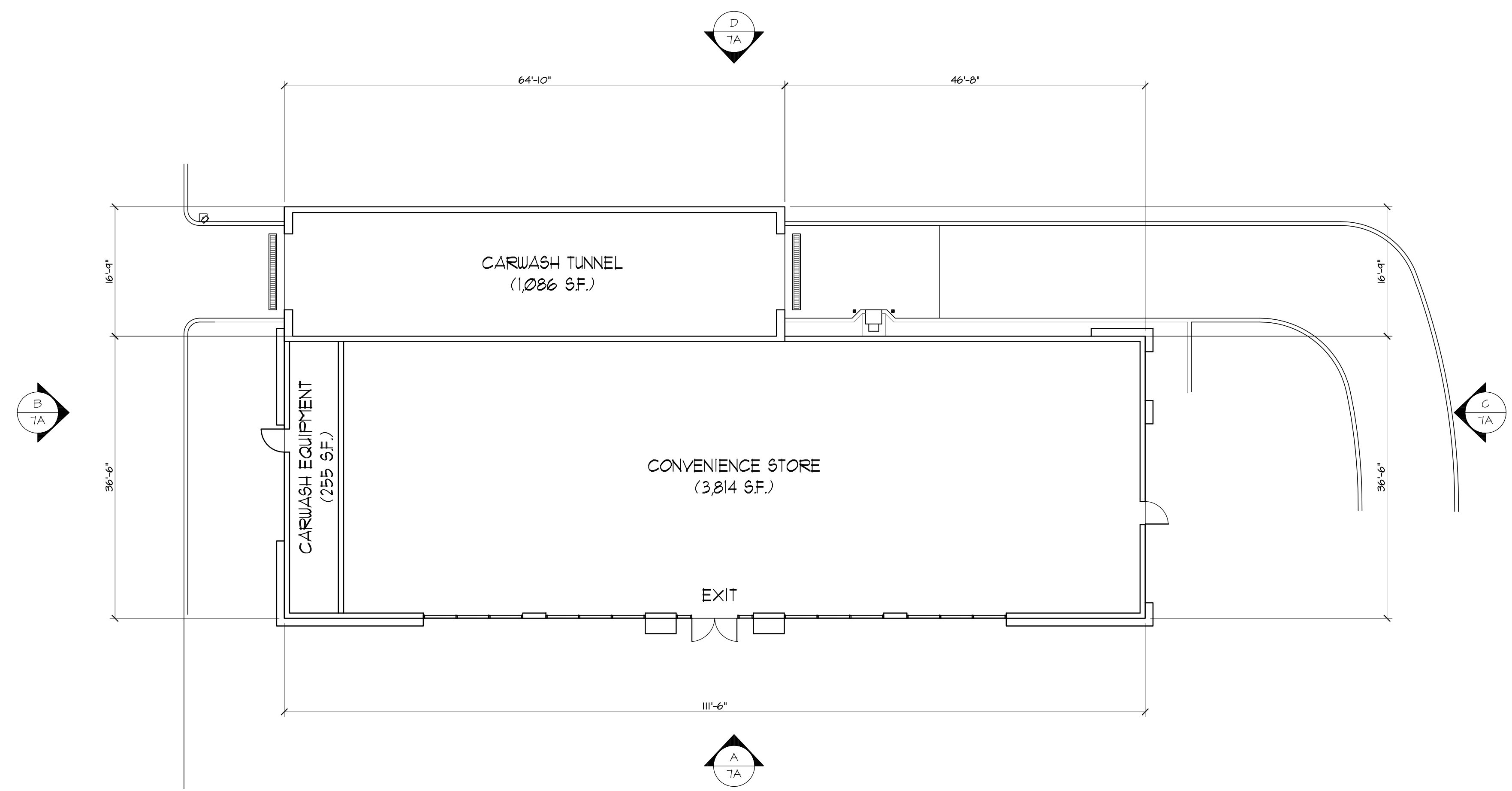
BUILDING AND SITE PHOTOS

PROJECT #: 15-6609  
 DRAWN: BB CHECKED: MII  
 SCALE: AS NOTED DATE: 08-18-16

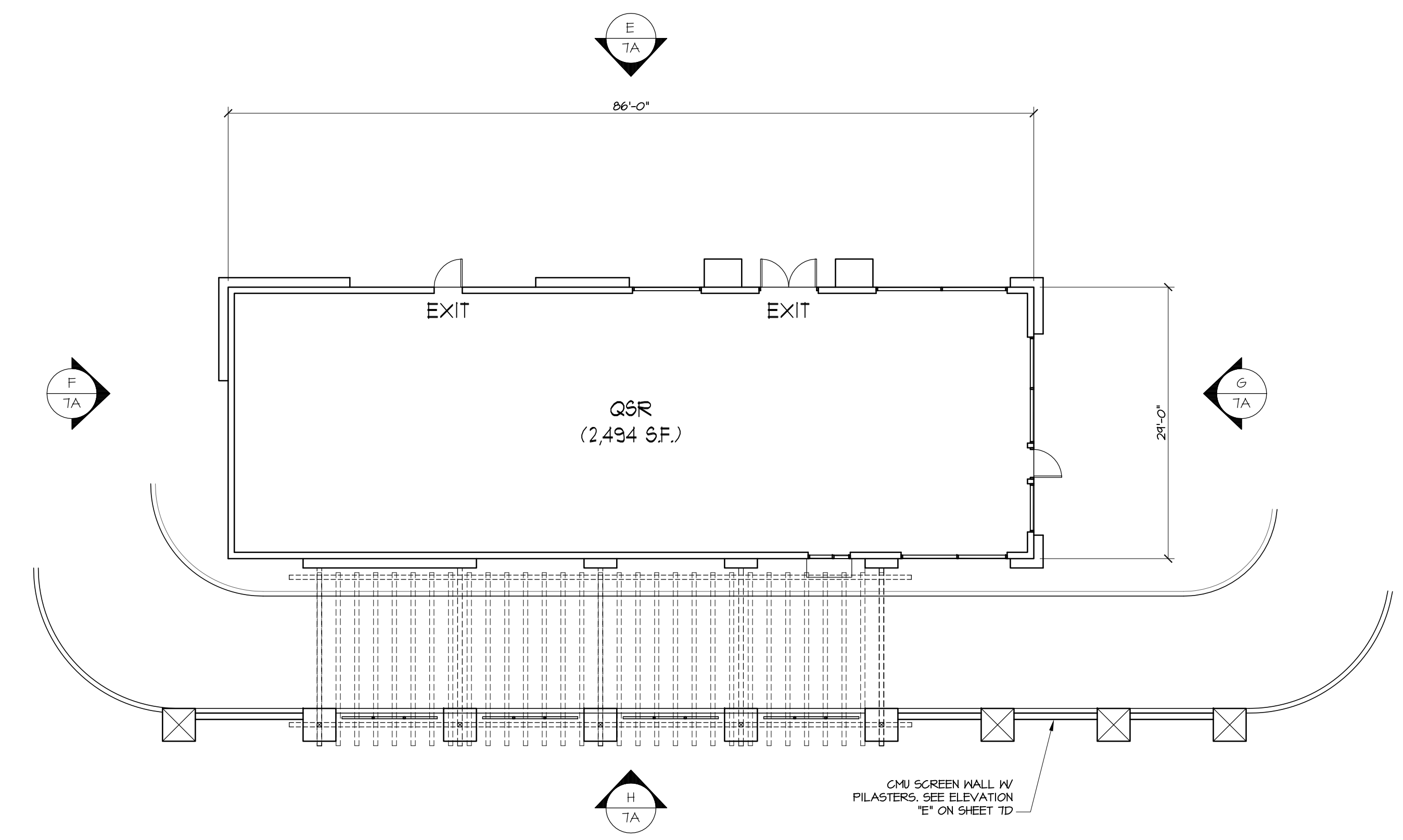
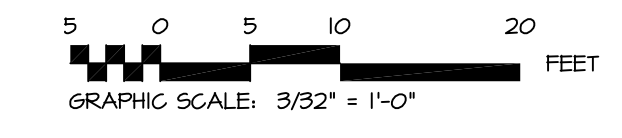




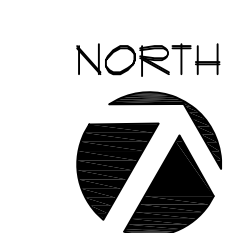
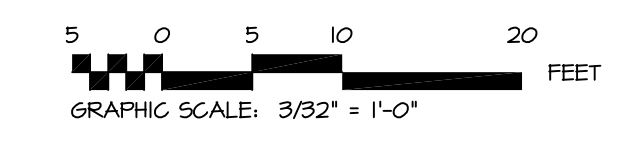
M I Architects, Inc.  
 ARCHITECTURE  
 PLANNING  
 MANAGEMENT  
 DESIGN  
 2221 OLYMPIC BLVD.,  
 SUITE 100  
 WALNUT CREEK, CA  
 94595  
 925-287-1174 Tel  
 925-943-1581 Fax  
 925-878-9875 Cell  
 mihana@miarchitect.com  
 www.miarchitect.com



**1 CONVENIENCE STORE & CARWASH FLOOR PLAN**  
 3/32" = 1'-0"



**2 QSR FLOOR PLAN**  
 3/32" = 1'-0"



| FLOOR AREA                                 |  |
|--|--|
| • CONVENIENCE GROSS FLOOR AREA= 3,814 S.F. | NET LEASABLE FLOOR AREA= 3,814 X 85% = 3,242 S.F.  |
| • QSR TOTAL GROSS FLOOR AREA= 2,494 S.F.   | NET LEASABLE FLOOR AREA= 19,251 X 85% = 2,120 S.F. |

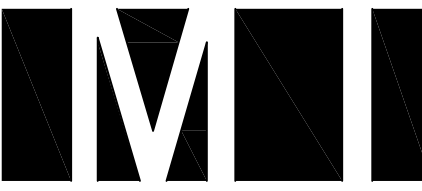
**GAS STATION, CONVENIENCE STORE,  
 CARWASH, QSR & MINI STORAGE  
 645 HORNING STREET  
 SAN JOSE, CA**

- ISSUED FOR CONSTRUCTION  
 - ISSUED FOR PLAN CHECK  
 3-22-18 ISSUED FOR PLANNING

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

CONVENIENCE STORE  
 & QSR FLOOR PLANS  
 PROJECT #: 15-6609  
 DRAWN: BM CHECKED: MI  
 SCALE: AS NOTED DATE: 04-01-18

**9A**  
 SHEET OF

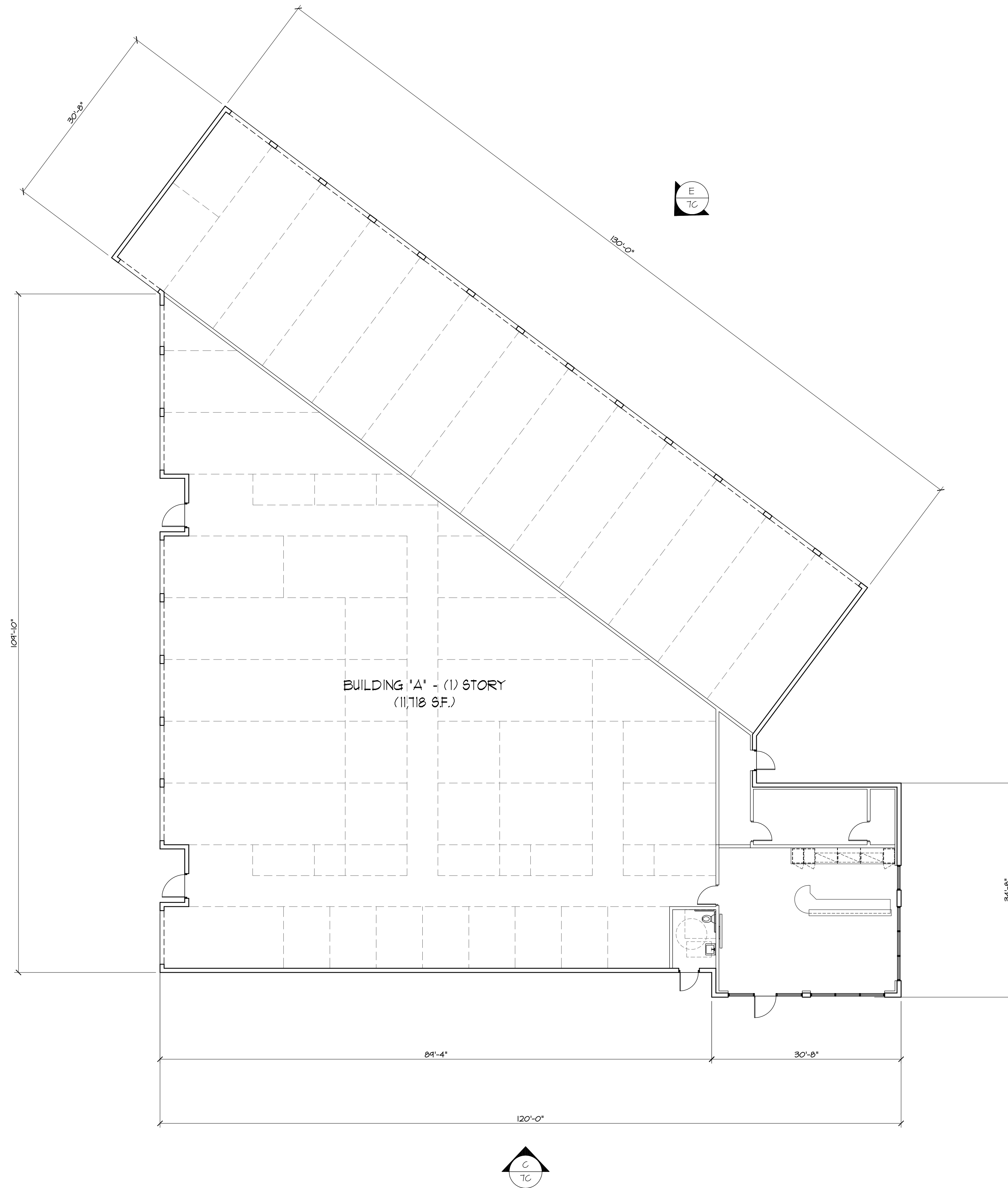


Architects

M I Architects, Inc.  
ARCHITECTURE  
PLANNING  
MANAGEMENT  
DESIGN  
2221 OLYMPIC BLVD.,  
SUITE 100  
WALNUT CREEK, CA  
94595  
925-287-1174 Tel  
925-943-1501 Fax  
925-878-9875 Cell  
mihana@miarchitect.com  
www.miarchitect.com

**GAS STATION, CONVENIENCE STORE,  
CARWASH, QSR & MINI STORAGE  
645 HORNING STREET  
SAN JOSE, CA**

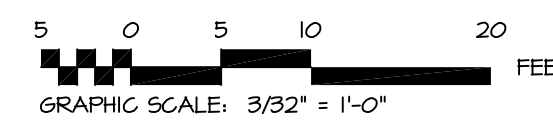
DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF MI ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THESE DOCUMENTS WITHOUT EXPRESS WRITTEN CONSENT FROM MI ARCHITECTS, INC. IS PROHIBITED.



BUILDING 'A' - (1) STORY  
(11,718 S.F.)

S:\1-Projects\15-6609-645 Horning St San Jose\Jwg's\Planning\15-6609-9A, 9B, 9C & 9D.dwg modified by mihana2 at Mar 22, 2018 - 2:34pm

**1 BUILDING "A" FLOOR PLAN**  
3/32" = 1'-0"



| FLOOR AREA   |  |
|--|--|
| • BUILDING "A" TOTAL GROSS FLOOR AREA= 11,718 S.F.<br>NET LEASABLE FLOOR AREA= 10,574 S.F. |  |

|         |                         |
|---------|-------------------------|
| -       | ISSUED FOR CONSTRUCTION |
| -       | ISSUED FOR PLAN CHECK   |
| 3-22-18 | ISSUED FOR PLANNING     |

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| △   |      |             |
| △   |      |             |
| △   |      |             |
| △   |      |             |

BUILDING "A"  
FLOOR PLAN  
PROJECT #: 15-6609  
DRAWN: BM CHECKED: MII  
SCALE: AS NOTED DATE: 04-01-15

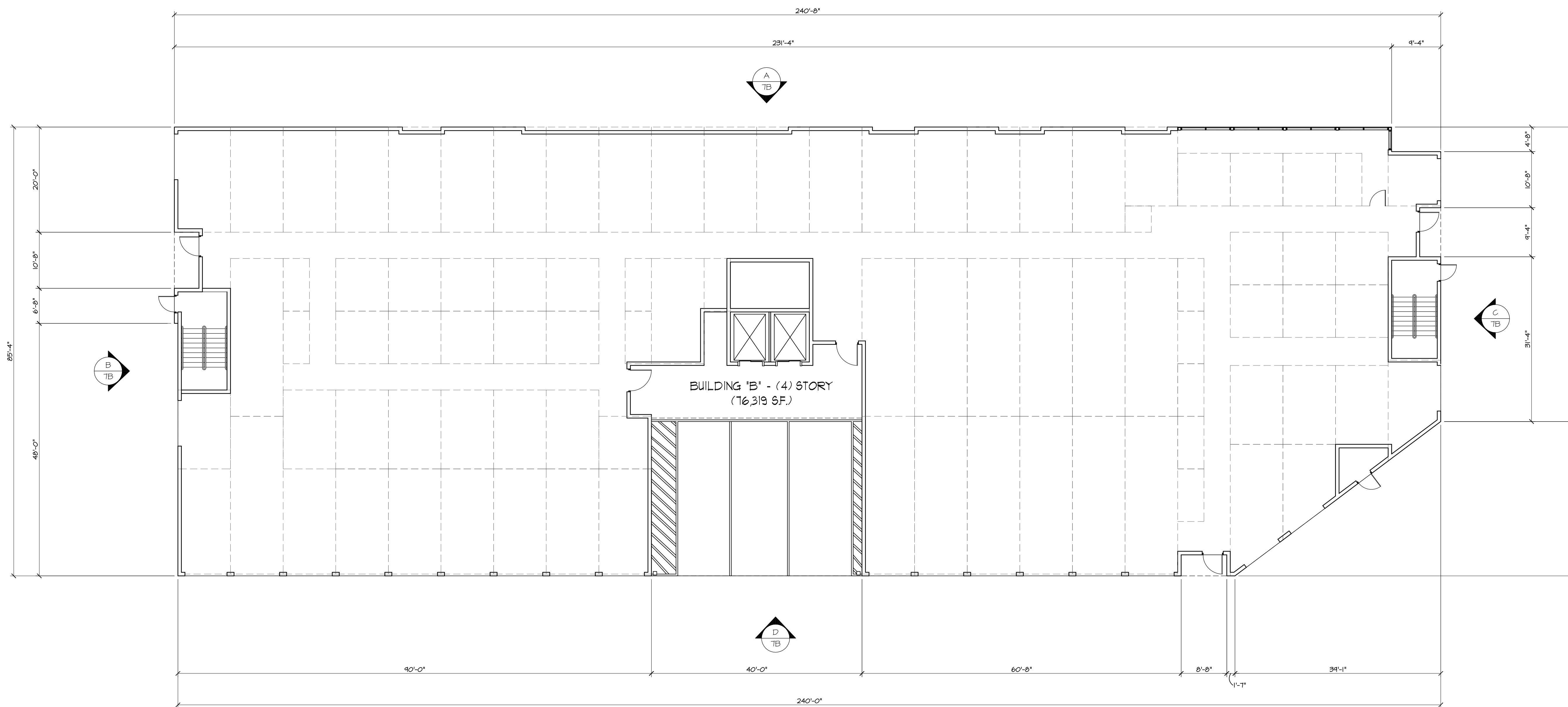


Architects

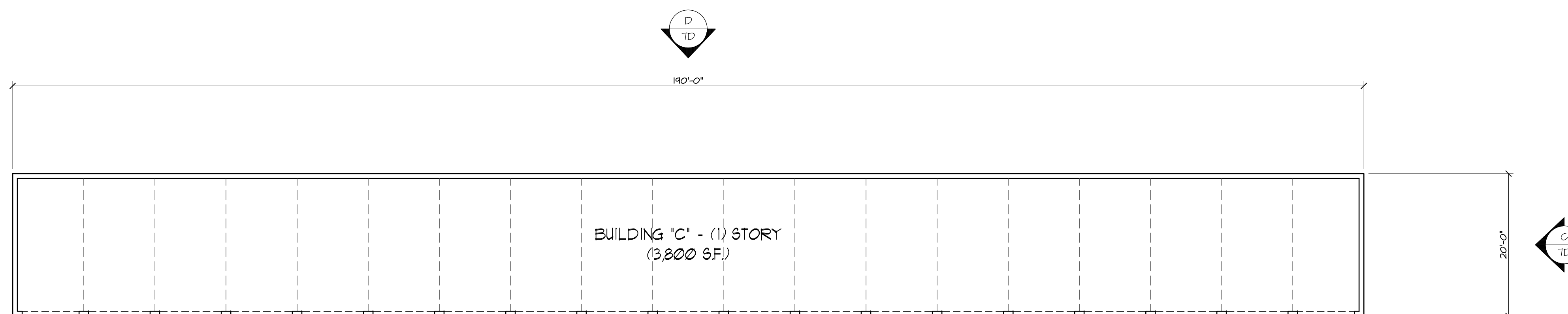
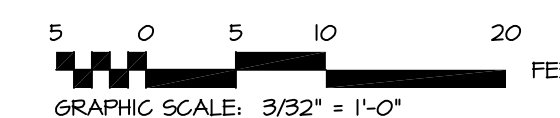
M I Architects, Inc.

ARCHITECTURE  
PLANNING  
MANAGEMENT  
DESIGN  
2221 OLYMPIC BLVD.,  
SUITE 100  
WALNUT CREEK, CA  
94595  
925-287-1174 Tel  
925-943-1581 Fax  
925-878-9875 Cell  
mihana@miarchitect.com  
www.miarchitect.com

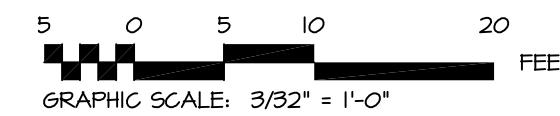
**GAS STATION, CONVENIENCE STORE,  
CARWASH, QSR & MINI STORAGE  
645 HORNING STREET  
SAN JOSE, CA**  
DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF MI ARCHITECTS, INC. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF MI ARCHITECTS, INC. IS PROHIBITED.



**1 BUILDING "B" FLOOR PLAN (TYP. FOR 3 FLOORS)**  
3/32" = 1'-0"



**2 BUILDING "C" FLOOR PLAN**  
3/32" = 1'-0"



| FLOOR AREA   |  |
|--|--|
| • BUILDING 'B' TOTAL GROSS FLOOR AREA= 76,319 SF.<br>NET LEASABLE FLOOR AREA= 56,453 SF. |  |
| • BUILDING 'C' TOTAL GROSS FLOOR AREA= 3,800 SF.<br>NET LEASABLE FLOOR AREA= 3,800 SF.   |  |

|         |                         |
|---------|-------------------------|
| -       | ISSUED FOR CONSTRUCTION |
| -       | ISSUED FOR PLAN CHECK   |
| 3-22-18 | ISSUED FOR PLANNING     |

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| △   |      |             |
| △   |      |             |
| △   |      |             |
| △   |      |             |

BUILDINGS "B" & "C"  
FLOOR PLANS

PROJECT #: 15-6609  
DRAWN: BM CHECKED: MII  
SCALE: AS NOTED DATE: 04-01-15





Architects

M I Architects, Inc.
ARCHITECTURE
PLANNING
MANAGEMENT
DESIGN
2221 OLYMPIC BLVD.,
SUITE 100
WALNUT CREEK, CA
94595
925-287-1174 Tel
925-443-1501 Fax
925-878-4875 Cell
muthana@miarchitect.com
www.miarchitect.com

eha logo square.jpg

GAS STATION, CONVENIENCE STORE,
CARWASH, QSR & MINI STORAGE
645 HORNING STREET
SAN JOSE, CA

PLANNING AND SPECIFICATIONS AND THE CONTRACTS EMPLOYED WITHIN THESE DOCUMENTS ARE THE ORIGINAL UNPUBLISHED WORKS OF MI ARCHITECTS, INC. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE OF PROFESSIONAL SERVICE AND REMAIN THE PROPERTY OF THE ARCHITECT. THE USE, REPRODUCTION OR DISSEMINATION OF THESE DOCUMENTS WITHOUT THE WRITTEN PERMISSION OF MI ARCHITECTS, INC. IS STRICTLY PROHIBITED.

PLANTING LEGEND

Symbol BOTANICAL NAME COMMON NAME H2O SIZE

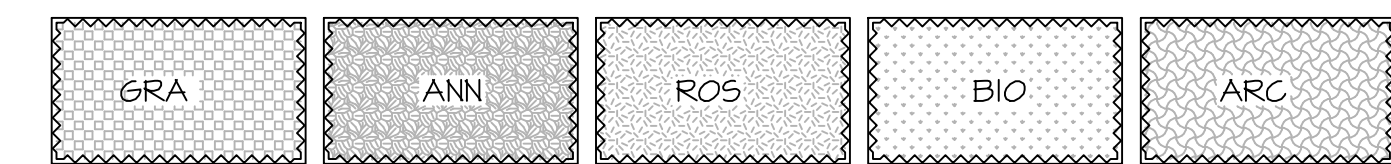
- Tree
Quercus lobata Valley Oak L 24" Box
Gleditsia triacanthos shademaster Honey Locust L 24" Box
Robinia x ambigua 'Purple Robe' Purple Flowering Locust L 24" Box
Tilia tomentosa 'Sterling' Sterling Silver Linden L 24" Box
Street Tree (Sected by City Arborist) L 24" Box

Shrubs and Vines

- Myrtila californica Pacific Wax Myrtle L 5 Gallon
Campsis radicans 'Flava' Yellow Trumpet Vine L 1 Gallon

Ground Cover

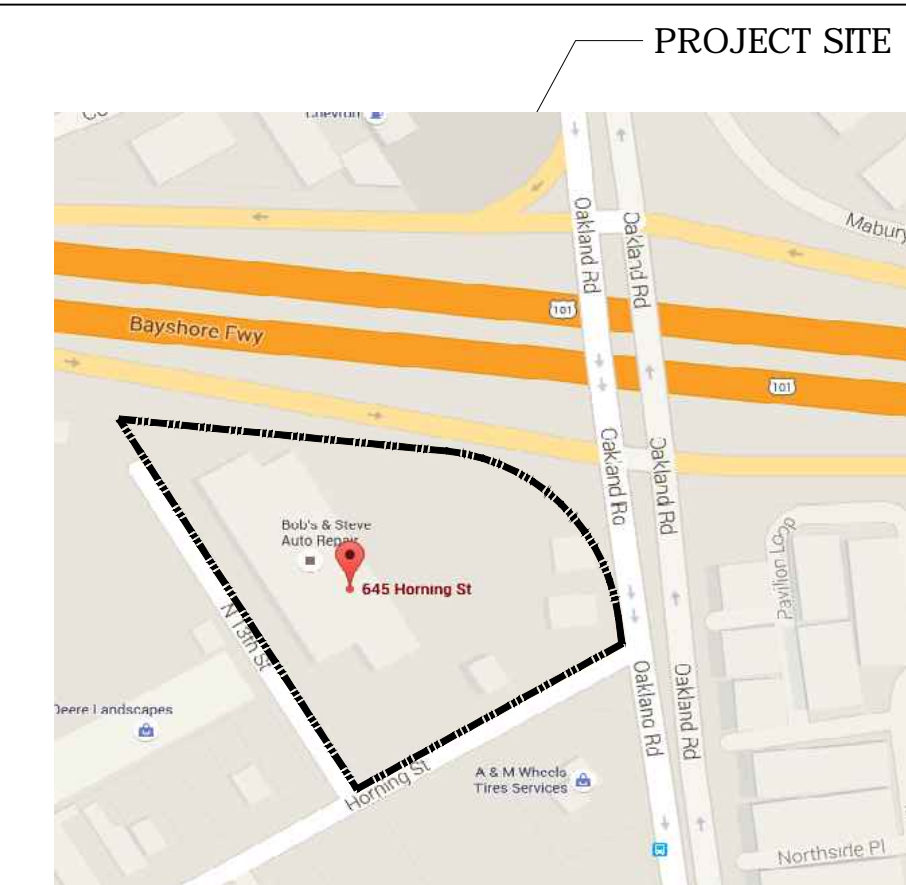
- ROS Rosemarinus offic. 'Hunt.Gar.' Huntington L 1 Gallon @ 30" oc
ARC Arctostaphylos 'Emerald Carpet' Carpet Manzanita L 1 Gallon @ 36" oc
BIO Biofiltration Sod (Delta B.G.) Fescue Blend L Sod
GRA Juncus patens California Gray Rush L 1 Gallon @ 24" oc
ANN Mexican Tarragon Tagetes lucida Marigold L 4" Pot @ 14" oc



PLANTING NOTES

- 1. All trees are to be staked as shown in the staking diagram per city requirement.
2. Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
3. All ground cover and shrub areas shall be top-dressed with a 3" layer of bark mulch.
4. All ground cover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
5. There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species as size as those damaged.
6. All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
7. Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect.
8. Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
9. All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by freeform curves.
10. HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.
11. Landscaping shall be maintained in a manner to prevent landscaping from growing above 3' in height in the areas indicated in the plans as being located within a safety visibility triangle area.
12. CERTIFICATION: Prior to occupancy, the Landscape Architect shall certify in writing in a manner acceptable to the Building Inspection Division, that the landscaping has been installed in accordance with all aspects of the approved landscape plans.

VICINITY MAP



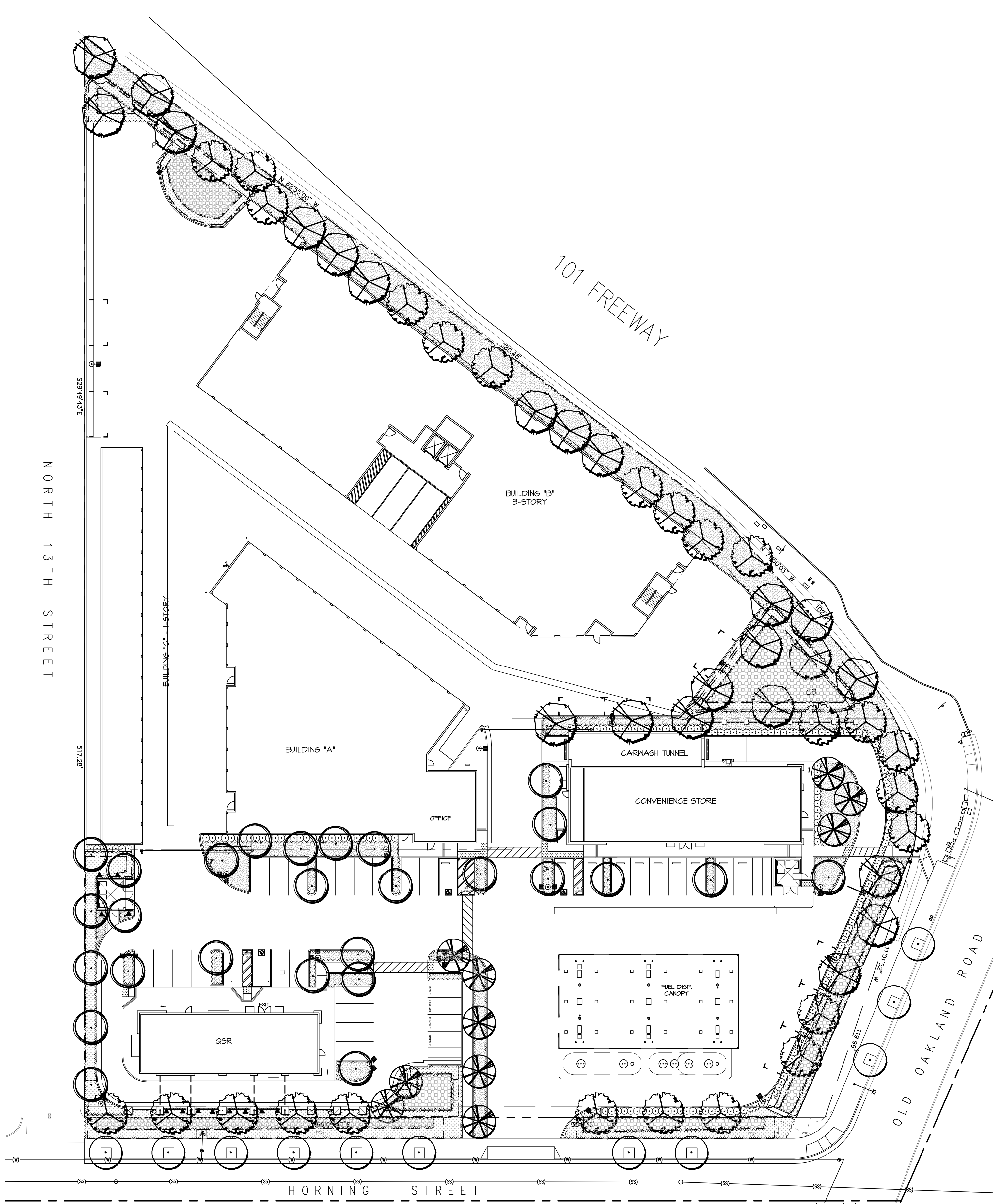
Maximum Applied Water Allowance table with columns: Eto, X, T, X, Ptg S, X, Gal/SF, MAMA

Estimated Total Water Use table with columns: Plant Water Use, Eto, X, Ptg S, X, Gal/SF, ETVU

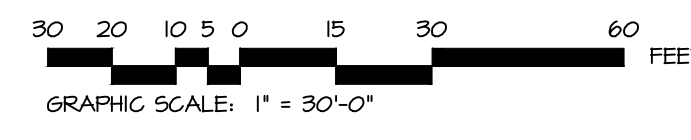
Proposed Landscape Water Use table with columns: Plant Type, H2o Use, Ptg SF, Gallons, % of Land



Ciardella associates
640 Menlo Ave, Suite 10
Menlo Park, CA 94025
Tel 650 326 6100
Landscape Architecture F 650 285 4537
Urban Design ca@ciardella-assoc.com



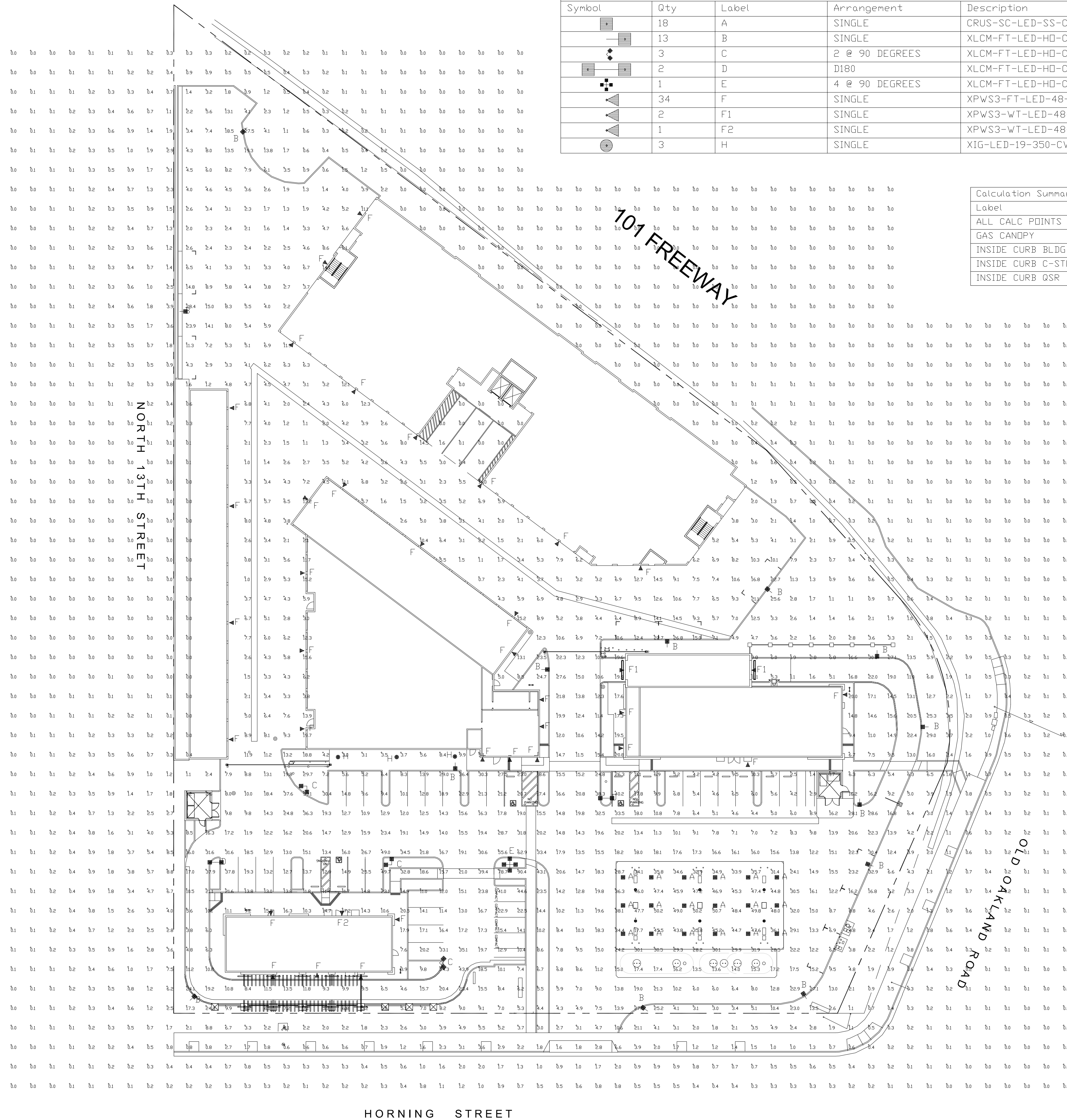
1 LANDSCAPE PLAN
1" = 30'-0"



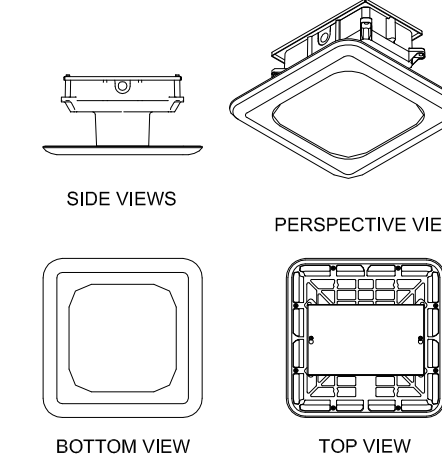


| Luminaire Schedule |     |       |                |   |       |                  |            |            |
|--------------------|-----|-------|----------------|---|-------|------------------|------------|------------|
| Symbol             | Qty | Label | Arrangement    | Description                             | LLF   | Arr. Lum. Lumens | Arr. Watts | BUG Rating |
|                    | 18  | A     | SINGLE         | CRUS-SC-LED-SS-CW MTD @ 16'-4"          | 1.000 | 13554            | 114        | B3-U0-G1   |
|                    | 13  | B     | SINGLE         | XLCM-FT-LED-HO-CW-SINGLE-18'POLE+2'BASE | 1.000 | 30937            | 275.6      | B4-U0-G4   |
|                    | 3   | C     | 2 @ 90 DEGREES | XLCM-FT-LED-HO-CW-D90-18'POLE+2'BASE    | 1.000 | 61874            | 551.2      | B4-U0-G4   |
|                    | 2   | D     | D180           | XLCM-FT-LED-HO-CW-D180-18'POLE+2'BASE   | 1.000 | 61874            | 551.2      | B4-U0-G4   |
|                    | 1   | E     | 4 @ 90 DEGREES | XLCM-FT-LED-HO-CW-Q90-18'POLE+2'BASE    | 1.000 | 123748           | 1102.4     | B4-U0-G4   |
|                    | 34  | F     | SINGLE         | XPWS3-FT-LED-48-450-CW-UE MTD @ 10'     | 1.000 | 6159             | 72         | B2-U0-G1   |
|                    | 2   | F1    | SINGLE         | XPWS3-WT-LED-48-450-CW-UE MTD @ 11'     | 1.000 | 6144             | 72         | B2-U0-G1   |
|                    | 1   | F2    | SINGLE         | XPWS3-WT-LED-48-450-CW-UE MTD @ 11'-6"  | 1.000 | 6144             | 72         | B2-U0-G1   |
|                    | 3   | H     | SINGLE         | XIG-LED-19-350-CW-UE-NFL25              | 1.000 | 2076             | 23         | B0-U5-G0   |

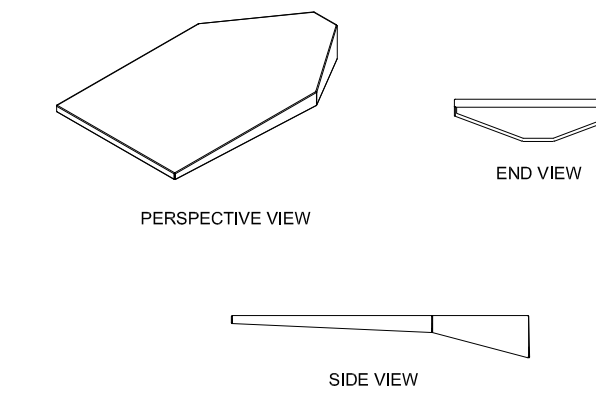
| Calculation Summary   |             |       |       |      |      |         |         |
|-----------------------|-------------|-------|-------|------|------|---------|---------|
| Label                 | CalcType    | Units | Avg   | Max  | Min  | Avg/Min | Max/Min |
| ALL CALC POINTS       | Illuminance | Fc    | 5.10  | 90.4 | 0.0  | N.A.    | N.A.    |
| GAS CANOPY            | Illuminance | Fc    | 39.00 | 50.7 | 17.7 | 2.20    | 2.86    |
| INSIDE CURB BLDG AREA | Illuminance | Fc    | 6.30  | 28.4 | 0.6  | 10.50   | 47.33   |
| INSIDE CURB C-STORE   | Illuminance | Fc    | 13.90 | 40.2 | 1.1  | 12.64   | 36.55   |
| INSIDE CURB QSR       | Illuminance | Fc    | 18.06 | 62.9 | 3.8  | 4.75    | 16.55   |



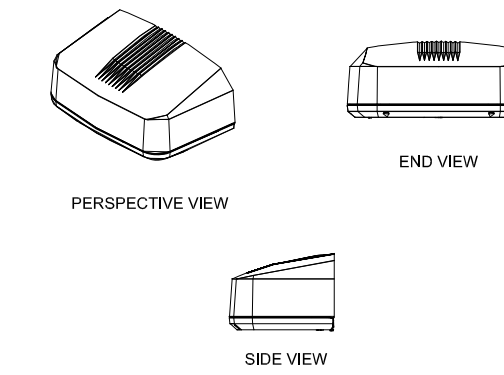
**CRUS-SC-LED**  
LED CANOPY LIGHT - LEGACY



**XLCM**  
LED Area Light



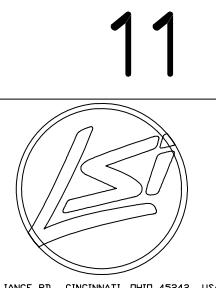
**XPWS3**  
LED Wall Mount Light



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts\_1  
Total Watts = 122262



LIGHTING PROPOSAL LD-129206-3  
C-STORE  
645 HORNING STREET  
SAN JOSE, CA  
BY: MVE DATE: 09-15 REV: 02-18 SHEET 1 OF 1  
SCALE: 1"=30'

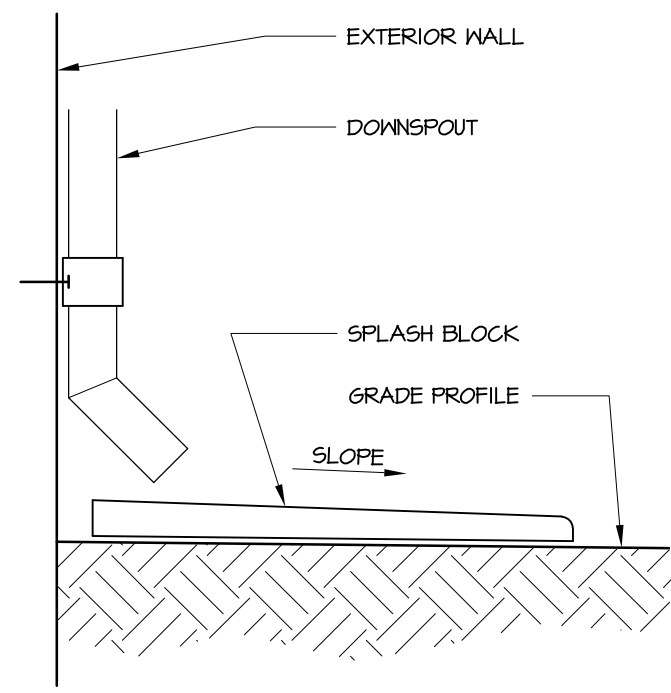


M I Architects

M I Architects, Inc.  
ARCHITECTURE  
PLANNING  
MANAGEMENT  
DESIGN  
2221 OLYMPIC BLVD.,  
SUITE 100  
WALNUT CREEK, CA  
94595  
925-287-1174 Tel  
925-943-1501 Fax  
925-878-9875 Cell  
mihana@miarchitect.com  
www.miarchitect.com

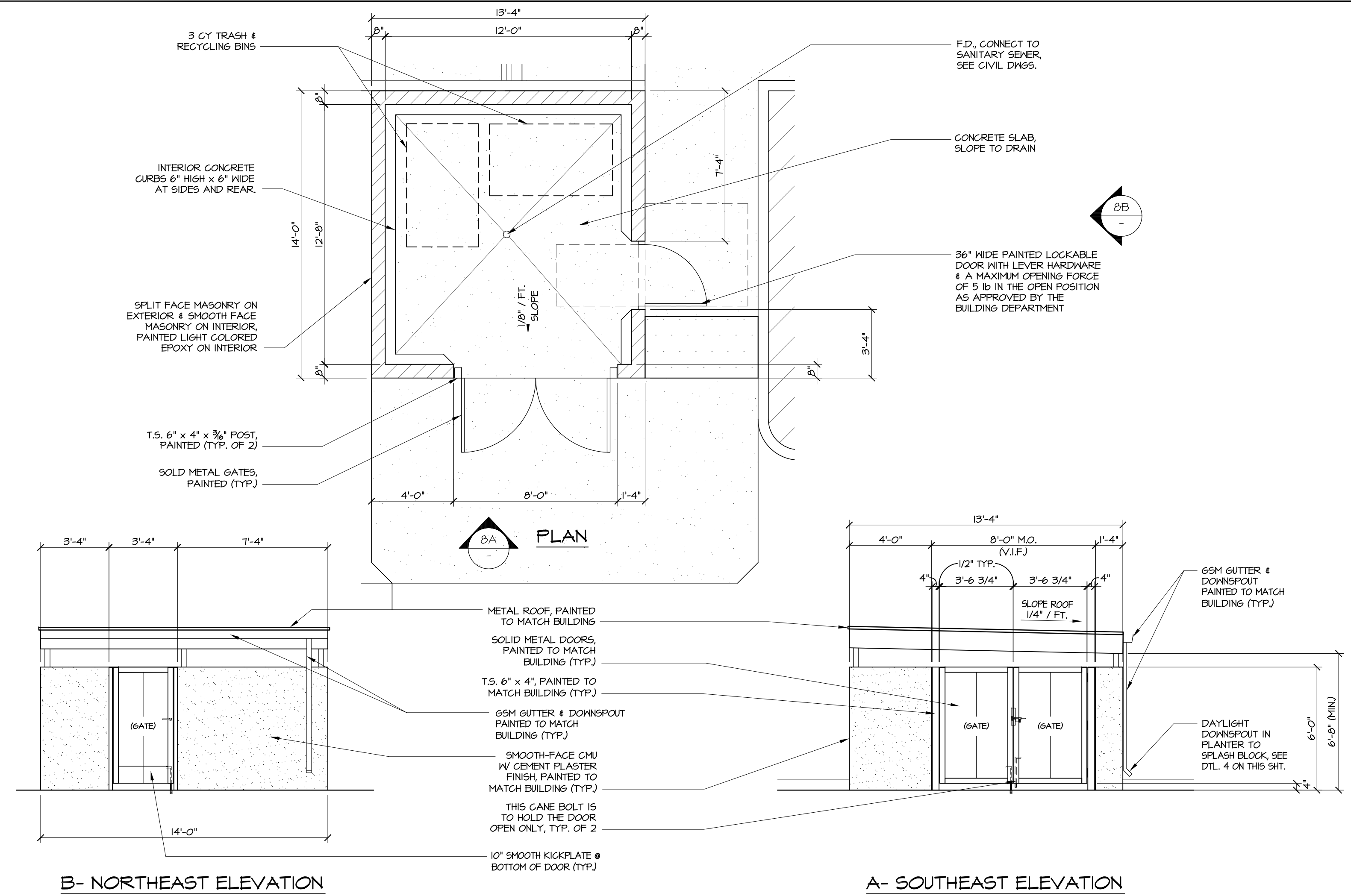
**GAS STATION, CONVENIENCE STORE,  
CARWASH, QSR & MINI STORAGE  
645 HORNING STREET  
SAN JOSE, CA**

THESE DRAWINGS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK OF M I ARCHITECTS, INC. ANY REPRODUCTION, TRANSMISSION, DISTRIBUTION, OR DISSEMINATION OF THESE DRAWINGS OR DISCLOSURE OF THE DOCUMENTS WITHOUT EXPRESSED WRITTEN CONSENT FROM M I ARCHITECTS, INC. IS PROHIBITED.



5 NOT USED

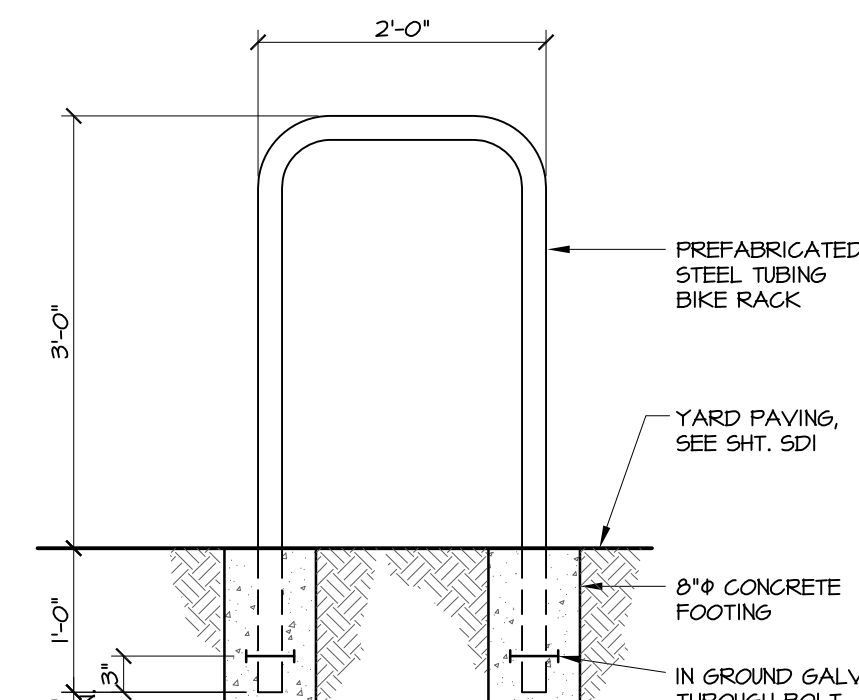
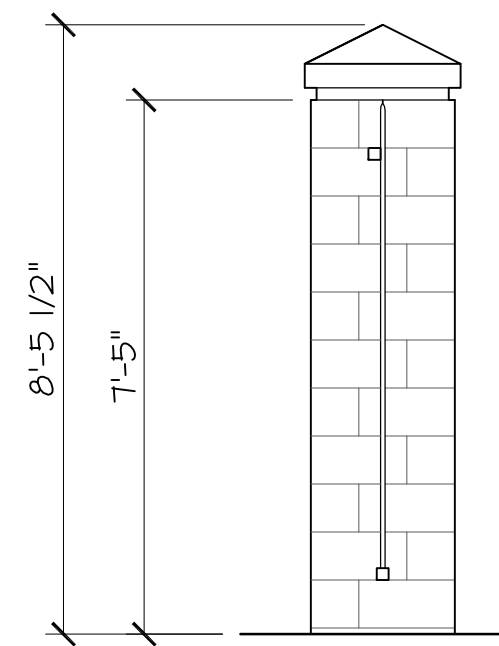
4 DOWNSPOUT TO SPLASH BLOCK  
11/2"x1'-0"



10 NOT USED

9 NOT USED

8 CONV. STORE TRASH ENCLOSURE PLAN & ELEVATIONS (QSR TRASH ENCLOSURE SIM.)  
1/4"x1'-0"

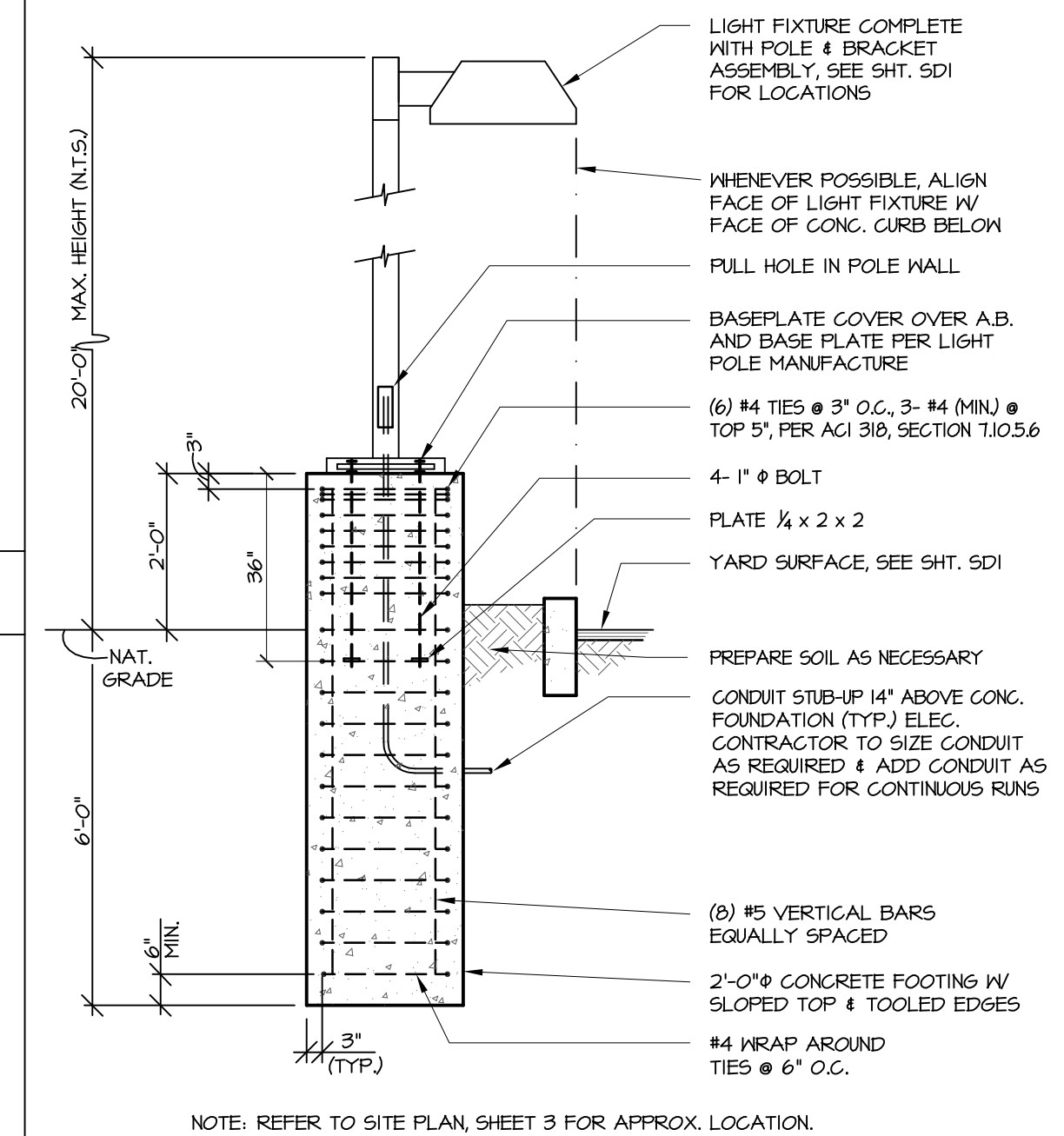
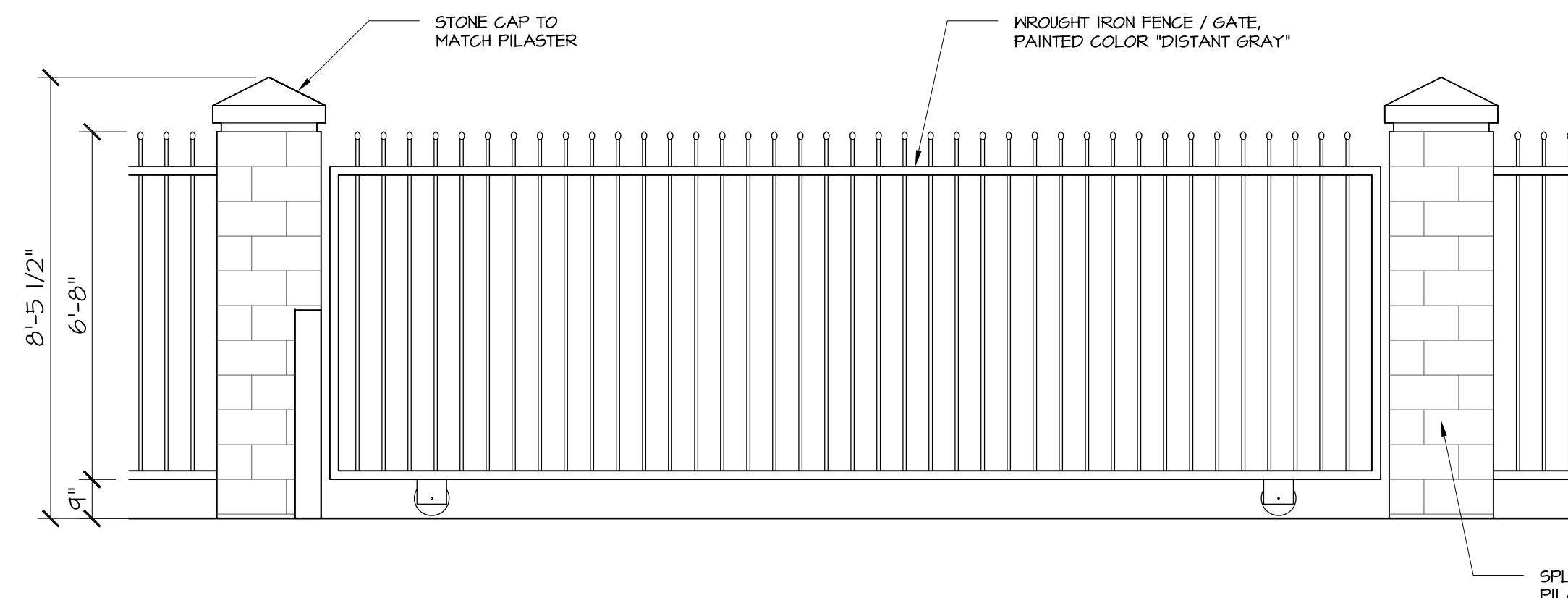


15 NOT USED

14 NOT USED

13 FENCE / GATE SECTION  
3/8"x1'-0"

12 BIKE RACK  
3/4"x1'-0"



20 NOT USED

19 NOT USED

18 WROUGHT IRON FENCE / GATE ELEVATION  
3/8"x1'-0"

16 AREA LIGHT  
3/8"x1'-0"

S:\1-Projects\15-6609 Gas Station, Convenience Store, Carwash, QSR & Mini Storage\15-6609-12.dwg modified by mihana at Mar 22, 2018 - 2:40pm

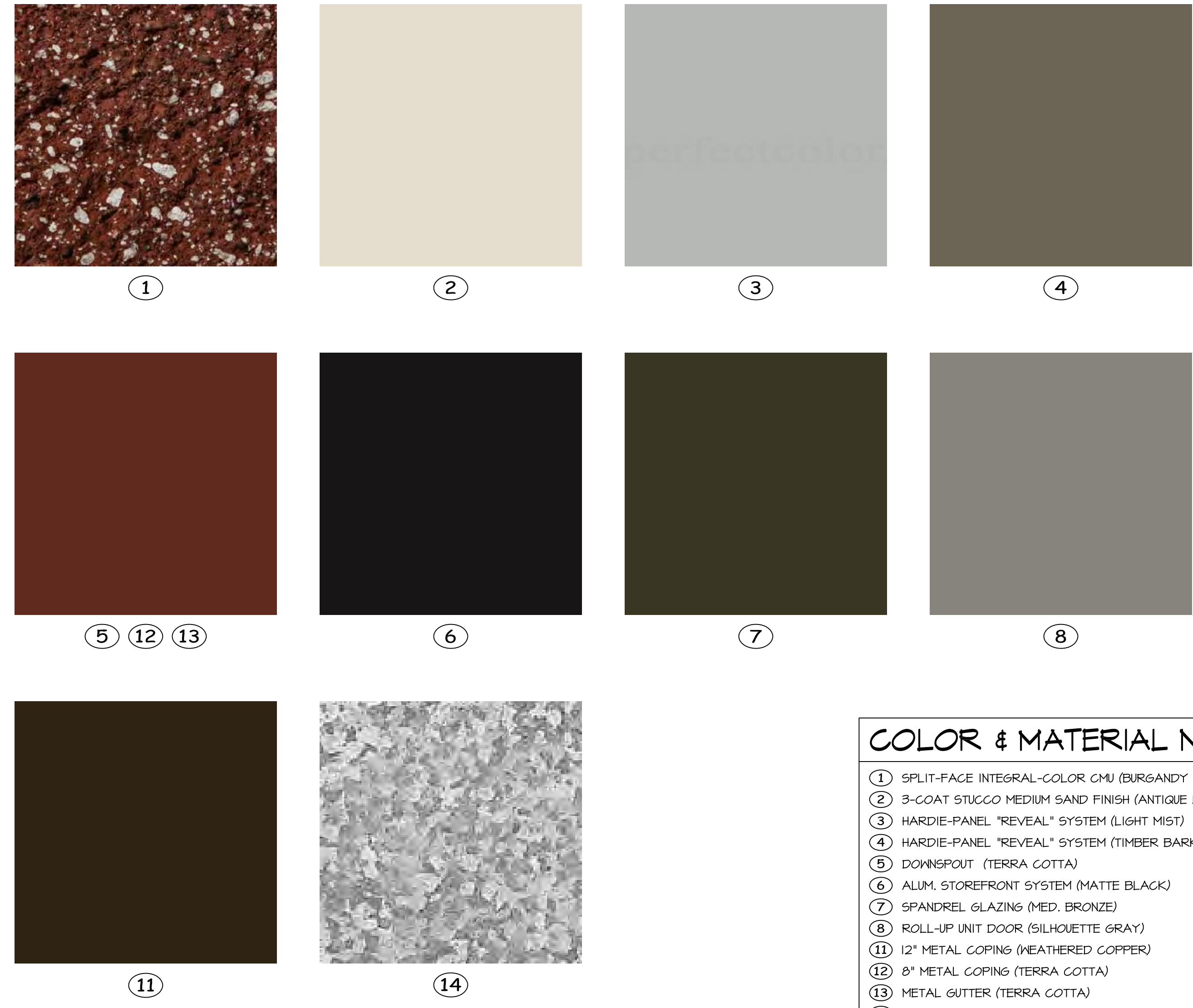
ISSUED FOR CONSTRUCTION  
ISSUED FOR PLAN CHECK  
3-22-16 ISSUED FOR PLANNING

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

SITE DETAILS  
PROJECT #: 15-6609  
DRAWN: BB CHECKED: MI  
SCALE: AS NOTED DATE: 6-24-16



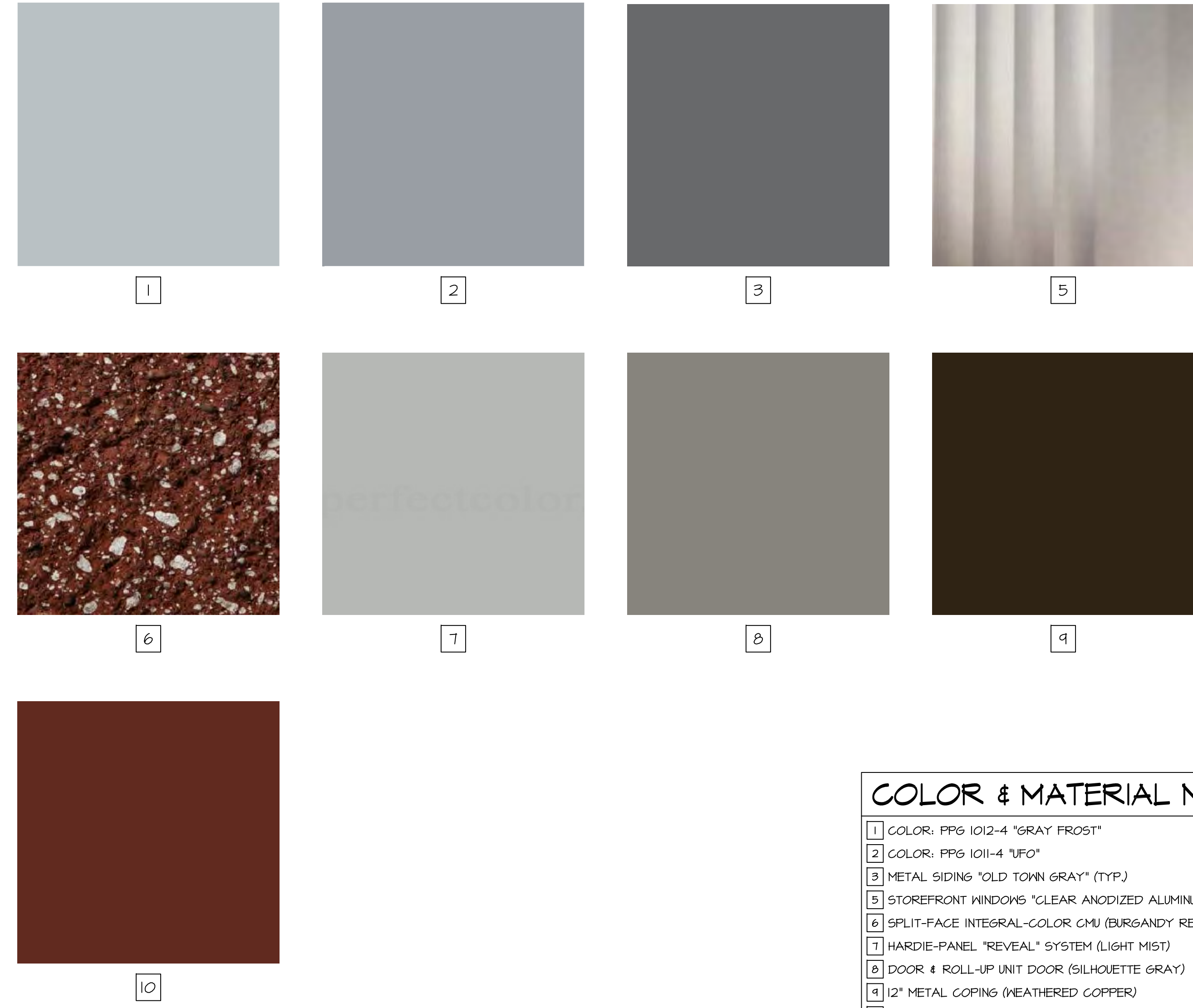
BUILDING "B" COLORS & MATERIALS



COLOR & MATERIAL NOTES

- ① SPLIT-FACE INTEGRAL-COLOR CMU (BURGANDY RED)
- ② 3-COAT STUCCO MEDIUM SAND FINISH (ANTIQUÉ WHITE)
- ③ HARDIE-PANEL "REVEAL" SYSTEM (LIGHT MIST)
- ④ HARDIE-PANEL "REVEAL" SYSTEM (TIMBER BARK)
- ⑤ DOWNSPOUT (TERRA COTTA)
- ⑥ ALUM. STOREFRONT SYSTEM (MATTE BLACK)
- ⑦ SPANDREL GLAZING (MED. BRONZE)
- ⑧ ROLL-UP UNIT DOOR (SILHOUETTE GRAY)
- ⑨ 12" METAL COPING (WEATHERED COPPER)
- ⑩ 8" METAL COPING (TERRA COTTA)
- ⑪ METAL GUTTER (TERRA COTTA)
- ⑫ CLIP-RIB METAL ROOFING (GALVANIZED)

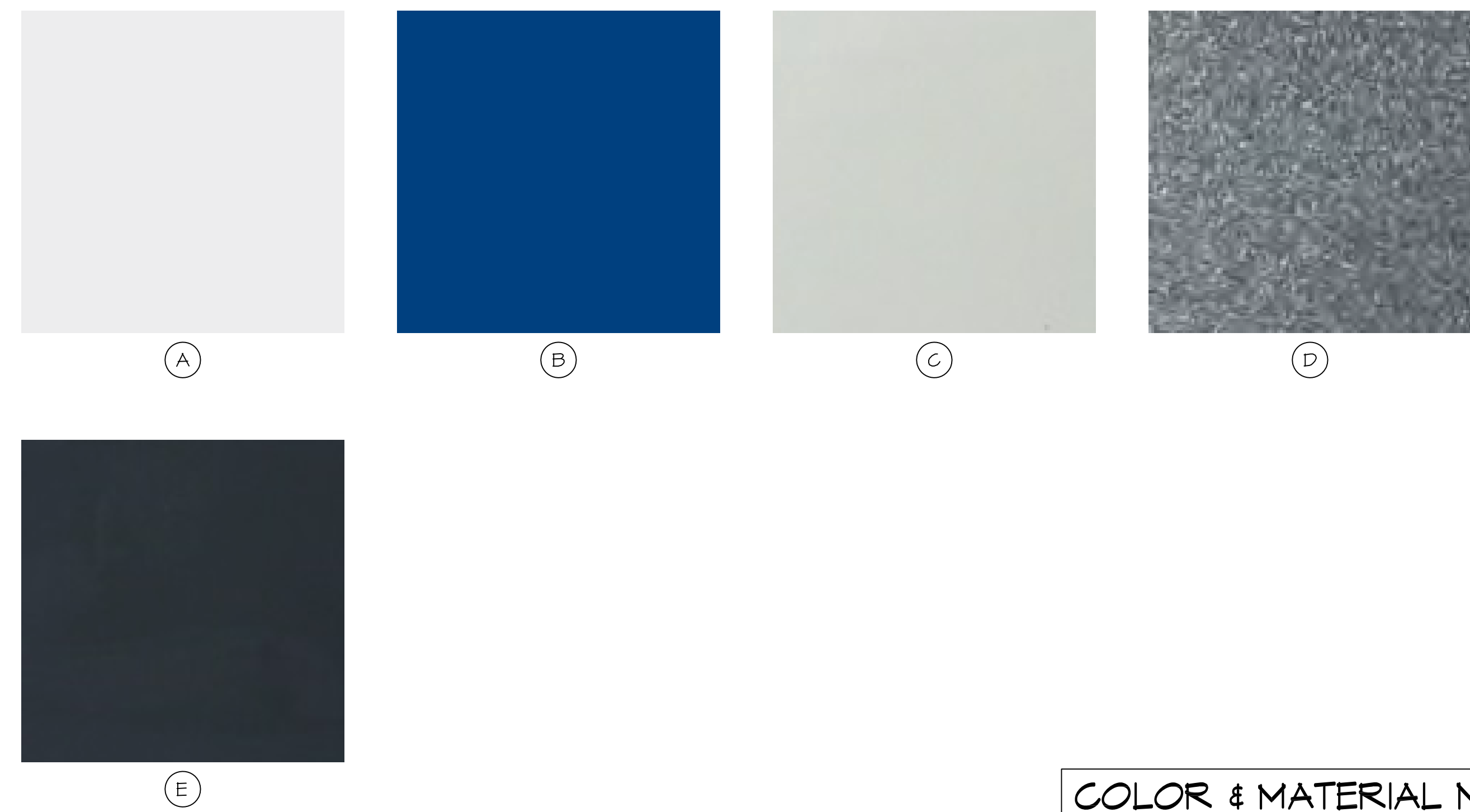
CONVENIENCE STORE, QSR, BUILDING "A" & "C" COLORS & MATERIALS



COLOR & MATERIAL NOTES

- ① COLOR: PPG 1012-4 "GRAY FROST"
- ② COLOR: PPG 1011-4 "UFO"
- ③ METAL SIDING "OLD TOWN GRAY" (TYP.)
- ④ STOREFRONT WINDOWS "CLEAR ANODIZED ALUMINUM" (TYP.)
- ⑤ SPLIT-FACE INTEGRAL-COLOR CMU (BURGANDY RED)
- ⑥ HARDIE-PANEL "REVEAL" SYSTEM (LIGHT MIST)
- ⑦ DOOR & ROLL-UP UNIT DOOR (SILHOUETTE GRAY)
- ⑧ 12" METAL COPING (WEATHERED COPPER)
- ⑨ 8" METAL COPING (TERRA COTTA)

FUEL CANOPY COLORS & MATERIALS



COLOR & MATERIAL NOTES

- (A) PEARL WHITE
- (B) BLUE
- (C) WHITE
- (D) SILVER
- (E) DARK GRAY

**M I Architects**  
 M I Architects, Inc.  
 ARCHITECTURE  
 PLANNING  
 MANAGEMENT  
 DESIGN  
 2221 OLYMPIC BLVD.,  
 SUITE 100  
 WALNUT CREEK, CA  
 94595  
 925-287-1174 Tel  
 925-943-1581 Fax  
 925-878-9875 Cell  
 mihana@miarchitect.com  
 www.miarchitect.com

**GAS STATION, CONVENIENCE STORE,  
 CARWASH, QSR & MINI STORAGE  
 645 HORNING STREET  
 SAN JOSE, CA**

|         |                         |
|---------|-------------------------|
| -       | ISSUED FOR CONSTRUCTION |
| -       | ISSUED FOR PLAN CHECK   |
| 3-22-16 | ISSUED FOR PLANNING     |

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| △   |      |             |
| △   |      |             |
| △   |      |             |
| △   |      |             |

COLOR AND MATERIALS

PROJECT #: 15-6609  
 DRAWN: BB CHECKED: MI  
 SCALE: AS NOTED DATE: 6-24-16

S:\1-Projects\15-6609 645 Horning St San Jose (Dwg's\Planning)\15-6609-12.1\_Color & Material.dwg modified by mihana2 at Mar 22, 2016 - 2:41pm



PROJECT FILE NO. PT16-037

# Tentative Map

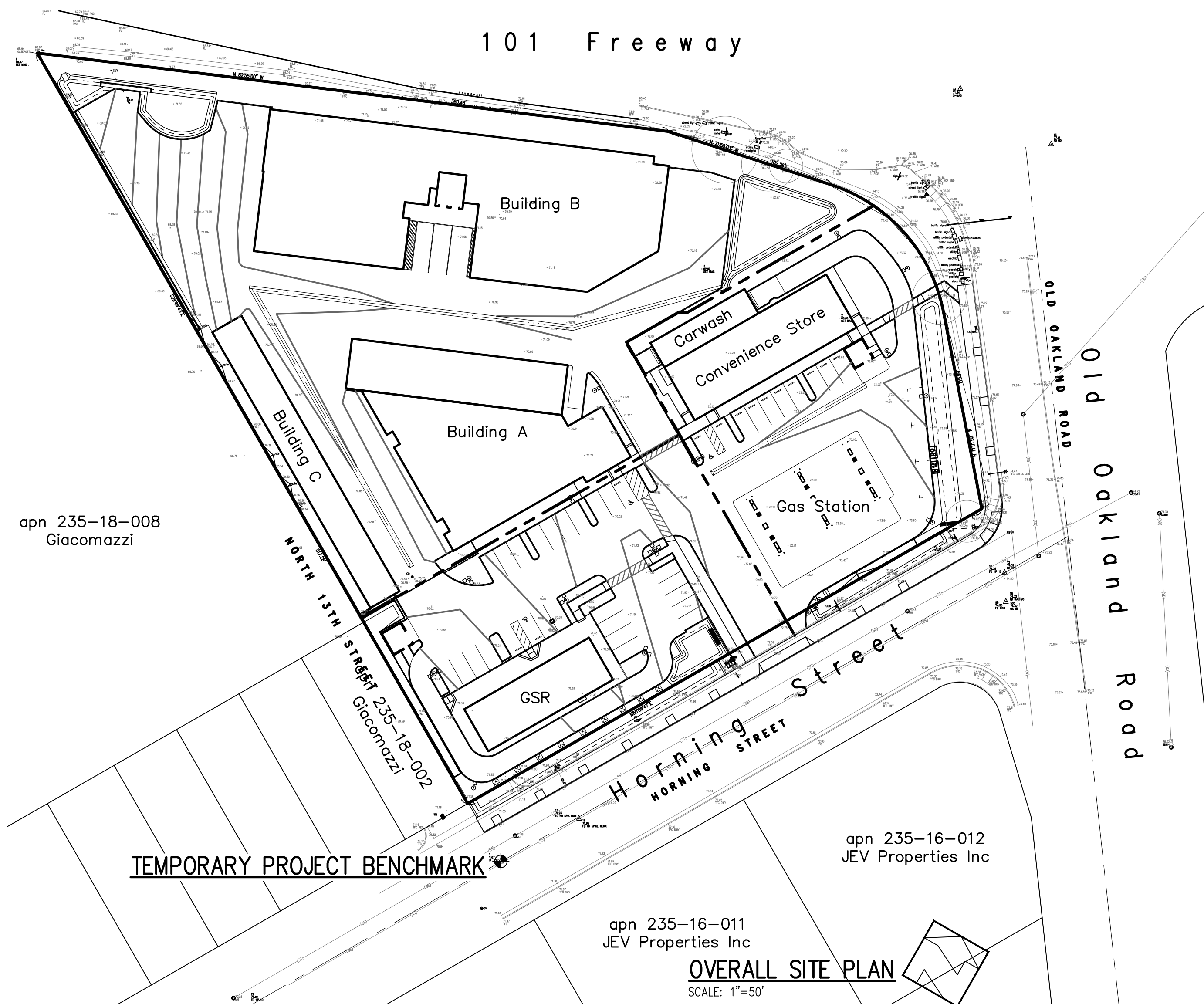
for

## Self-Storage Development

645 Horning Street - apn 235-18-001

in the  
City of San Jose  
Santa Clara County, California

101 Freeway

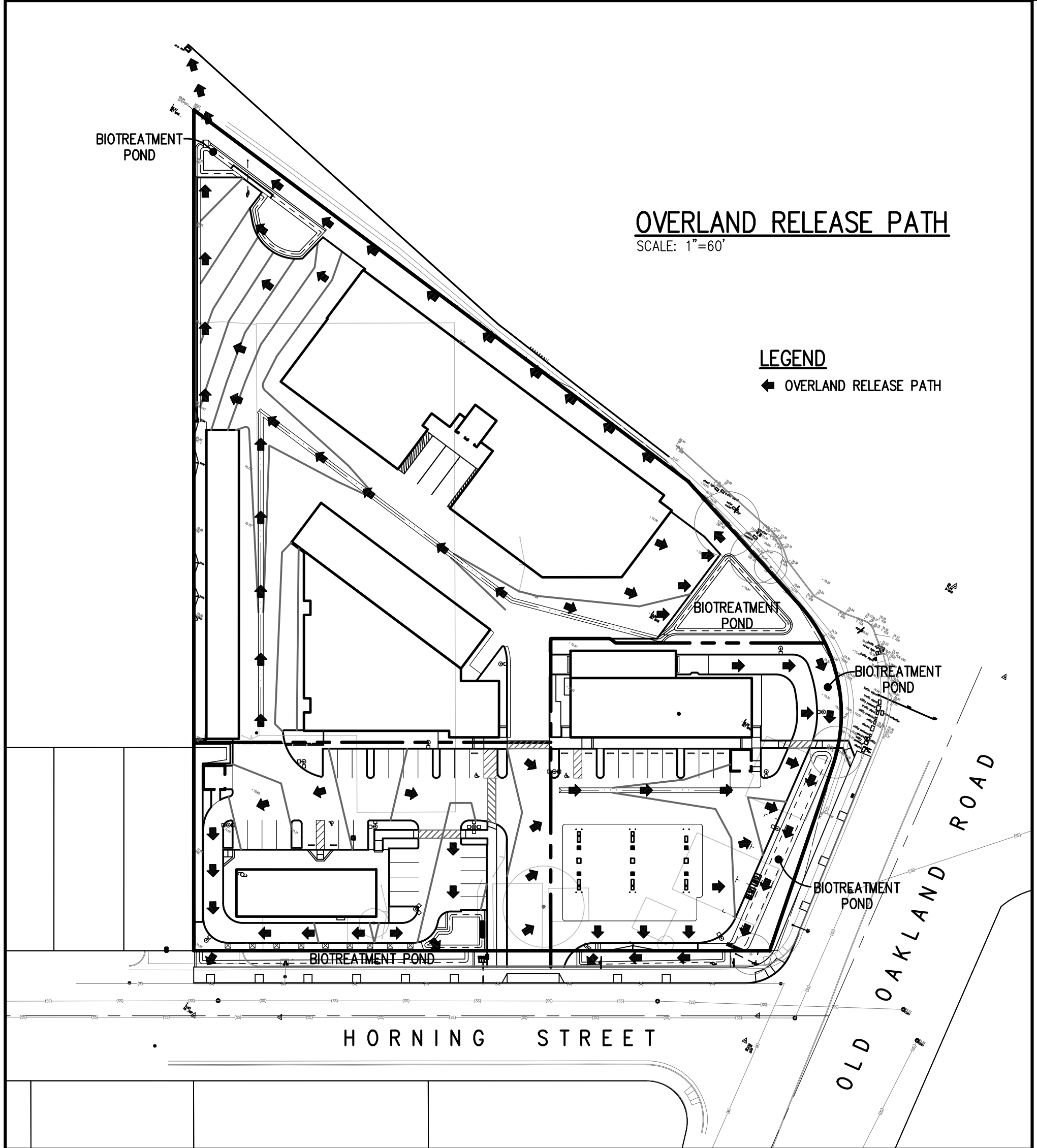


apn 235-18-008  
Giacomazzi

apn 235-16-012  
JEV Properties Inc

apn 235-16-011  
JEV Properties Inc

**OVERALL SITE PLAN**  
SCALE: 1"=50'



**OVERLAND RELEASE PATH**  
SCALE: 1"=60'

**LEGEND**  
◆ OVERLAND RELEASE PATH



**VICINITY MAP**  
NO SCALE

**LEGEND:**

| EXISTING | (Symbol Size May Vary)         | PROPOSED |
|----------|--------------------------------|----------|
| ---      | Property Boundary              | ---      |
| ---      | Lot Line                       | ---      |
| ---      | Curb & Gutter                  | ---      |
| ---      | Storm Drain                    | ---      |
| ---      | Swale                          | ---      |
| ---      | Cut / Fill Transition          | ---      |
| △        | City Standard Curb Inlet       | ▲        |
| □        | Field Inlet / Flat Grate Inlet | ■        |
| ○        | Area Drain                     | ●        |
| ◎        | Storm Manhole                  | ◎        |
| →        | Direction of Surface Drainage  | →        |
| →        | Overland Release               | →        |
| →        | Contour                        | →        |
| →        | Limit of Grading               | →        |
| →        | Retaining Wall                 | →        |

**ABBREVIATION:**

|     |                         |     |                           |
|-----|-------------------------|-----|---------------------------|
| CI  | Curb Inlet              | PVC | Poly Vinyl Chloride       |
| CL  | Center Line             | PUE | Public Utility Easement   |
| C/S | Concrete Surface        | PVC | Polyvinyl Chloride        |
| FF  | Finished Floor          | RCP | Reinforced Concrete Pipe  |
| FL  | Flow Line               | RG  | Rough Grade               |
| GB  | Grade Break             | R/W | Right-of-Way              |
| GS  | Garage Slab             | SD  | Storm Drain               |
| HM  | Hydromodification       | SDM | Storm Drain Manhole       |
| HP  | High Point              | TC  | Treatment Control Measure |
| LP  | Low Point               | TDC | Top of Depressed Curb     |
| P   | Property Line           | TYC | Top of Vertical Curb      |
| PSE | Public Service Easement |     |                           |

**NOTES:**

- IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVACUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED. IF HUMAN REMAINS ARE FOUND DURING CONSTRUCTION THERE SHALL BE NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE OR ANY NEARBY AREA REASONABLY SUSPECTED TO OVERLIE ADJACENT HUMAN REMAINS UNTIL THE CORONER OF SANTA CLARA COUNTY IS CONTACTED TO DETERMINE THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED. IF THE CORONER DETERMINES THE REMAINS TO BE NATIVE AMERICAN THE CORONER SHALL CONTACT THE NATIVE AMERICAN HERITAGE COMMISSION WITHIN 24 HOURS. THE NATIVE AMERICAN HERITAGE COMMISSION SHALL IDENTIFY THE PERSON OR PERSONS IT BELIEVES TO BE THE MOST LIKELY DESCENDENT (MLD) FROM THE DECEASED NATIVE AMERICAN. THE MLD MAY THEN MAKE RECOMMENDATION TO THE LANDOWNER OR THE PERSON RESPONSIBLE FOR THE EXCAVATION WORK, FOR MEANS OF TREATING OR DISPOSING OF, WITH APPROPRIATE DIGNITY, THE HUMAN REMAINS AND ASSOCIATED GRAVE GOODS AS PROVIDED IN PUBLIC RESOURCES CODE SECTION 5097.98. THE LANDOWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL REBURY THE NATIVE AMERICAN HUMAN REMAINS AND ASSOCIATED GRAVE GOODS WITH APPROPRIATE DIGNITY ON THE PROPERTY IN A LOCATION NOT SUBJECT TO FURTHER DISTURBANCE IF:
  - THE NATIVE AMERICAN HERITAGE COMMISSION IS UNABLE TO IDENTIFY A MLD OR THE MLD FAILED TO MAKE A RECOMMENDATION WITHIN 24 HOURS AFTER BEING NOTIFIED BY THE COMMISSION.
  - THE DESCENDENT IDENTIFIED FAILS TO MAKE A RECOMMENDATION; OR
  - THE LANDOWNER OR HIS AUTHORIZED REPRESENTATIVE REJECTS THE RECOMMENDATION, OF THE DESCENDENT, AND THE MEDIATION BY THE NATIVE AMERICAN HERITAGE COMMISSION FAILS TO PROVIDE MEASURES ACCEPTABLE TO THE LANDOWNER. INCORPORATE THE FOLLOWING NOTE ON THE PROJECT PLANS. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (165 FEET) OF THE FIND UNTIL A QUALIFIED PROFESSIONAL ARCHAEOLOGIST CAN EVALUATE IT. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS OF THESE PLANS ARE BASED ON THE CENTERLINE OF HORNING STREET AS FOUND MONUMENTED AND AS SOUTH 60°09'47" WEST ON THE RIGHT OF WAY RECORD MAP R-40.4, SAID MAP BEING ON FILE WITH THE CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS)

**NOTE:**

WHERE THE FIRM OF HANNA - BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

**NOTE TO CONTRACTOR**

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES IN THE AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID. IF THIS PROJECT HAS EXCESS DIRT THAT WILL BE OFF-HAULED TO A SITE WITHIN GILROY'S CITY LIMITS, AN ADDITIONAL PERMIT IS REQUIRED.

**EARTH WORK QUANTITIES**

|         |          |
|---------|----------|
| CUT:    | 5,554 CY |
| FILL:   | 7,916 CY |
| EXPORT: | 2,361    |
| IMPORT: | 0 CY     |

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

**BIOTREATMENT SOIL REQUIREMENTS**  
PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

**GEOTECHNICAL ENGINEER OF RECORD**  
THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL REPORT.

PREPARED BY (COMPANY NAME) DATE OF REPORT

BY G.E. #

**SOURCE OF WATER SUPPLY**

SAN JOSE WATER COMPANY

APPROVED FOR GRADING AND DRAINAGE ONLY  
DEPARTMENT OF PUBLIC WORKS  
CITY OF SAN JOSE, CALIFORNIA

|                  |                 |
|------------------|-----------------|
| Project Engineer | Date            |
| Senior Engineer  | Date            |
| Permit Number    | Expiration Date |

**FLOODZONE STATEMENT**

COMMUNITY PANEL NUMBER: 06085C0232H  
MAP REVISED: MAY 18, 2009

PROJECT IS LOCATED IN ZONE D  
ZONE D  
AN AREA OF UNDETERMINED BUT POSSIBLE FLOOD HAZARDS

**BENCHMARK BASIS**

BENCHMARK ID: BM 827 (CITY OF SAN JOSE)  
ELEVATION: 57.41 FEET NGVD 29  
DESCRIPTION:  
1" IN FOUNDARY, TOP OF CATCH BASIN, SOUTHEASTERLY RETURN AT HEDDING AND NORTH 8TH STREETS  
TEMPORARY PROJECT BENCHMARK  
ELEVATION: 71.67 FEET  
DESCRIPTION:  
FOUND 3/4" IRON PIPE ALONG THE SOUTHEASTERLY PROPERTY LINE PROJECTED TO THE CENTERLINE OF HORNING STREET

**ARCHITECT**

M I ARCHITECTS, INC.  
2221 OLYMPIC BOULEVARD - SUITE 100  
WALNUT CREEK, CA 94595  
OFFICE: 925 287-1174  
FAX: 925 943-1581  
EMAIL: MUTHANA@MIARCHITECT.COM

**SHEET INDEX**

|     |                         |
|-----|-------------------------|
| 1   | COVER SHEET             |
| 2   | SITE PLAN               |
| 3-4 | GRADING & DRAINAGE PLAN |

| NO. | DATE | BY | CSJ | REVISIONS |
|-----|------|----|-----|-----------|
|     |      |    |     |           |



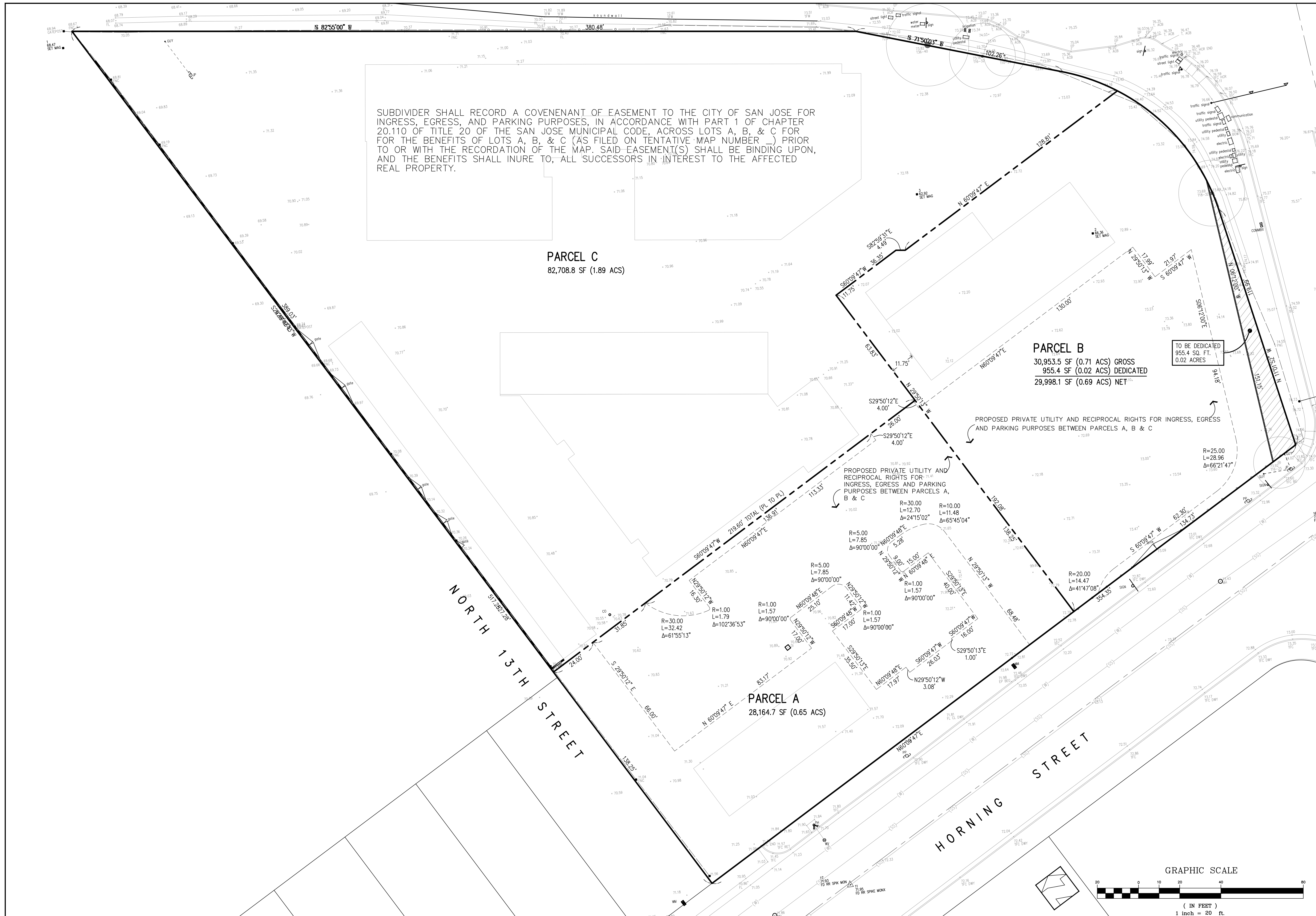
JIM RUBNITZ  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

HANNA - BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

TENTATIVE MAP  
SELF-STORAGE DEVELOPMENT  
COVER SHEET

SAN JOSE  
Project No: 15062  
Designed TM  
Checked AM  
Date: 2/19/18

SHEET  
1  
Of 4 SHEETS  
PW PROJECT #  
3-22046



| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |



**JIM RUBNITZ**  
17610 BLANCHARD DRIVE  
MONTE SERENO, CA 95030

HANNA-BRUNETTI  
7651 EIGLEBERRY STREET  
GILROY, CA 95020  
OFFICE: 408 842-2173  
FAX: 408 842-3662  
EMAIL: ENGINEERING@HANNABRUNETTI.COM

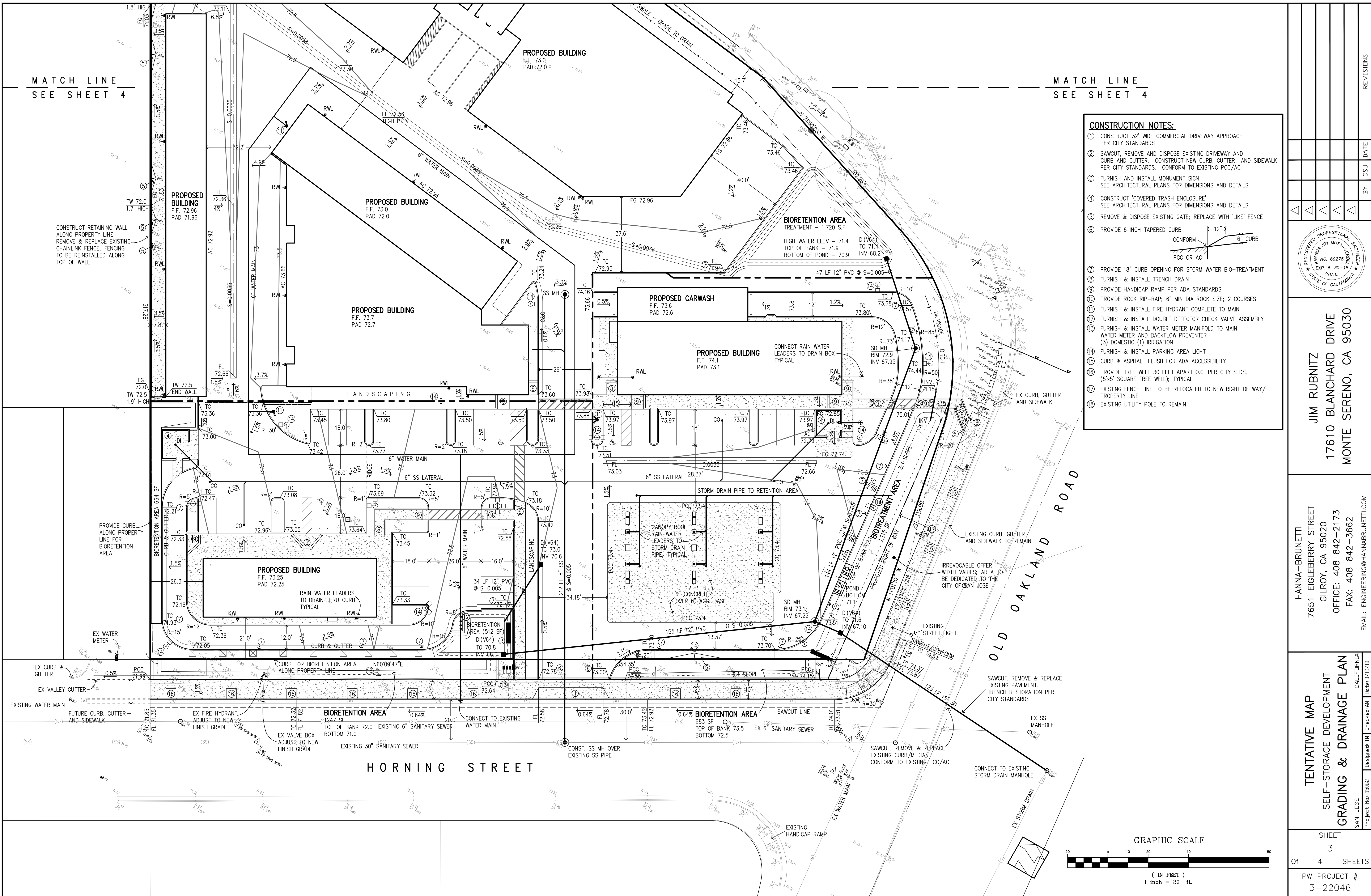
TENTATIVE MAP  
SELF-STORAGE DEVELOPMENT  
SITE PLAN

SAN JOSE CALIFORNIA  
Project No: 15062 Designed TM Checked AM Date: 7/19/18

SHEET  
2  
Of 4 SHEETS

PW PROJECT #  
3-22046





- CONSTRUCTION NOTES:**
- CONSTRUCT 32' WIDE COMMERCIAL DRIVEWAY APPROACH PER CITY STANDARDS
  - SAWCUT, REMOVE AND DISPOSE EXISTING DRIVEWAY AND CURB AND GUTTER. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK PER CITY STANDARDS. CONFORM TO EXISTING PCC/AC
  - FURNISH AND INSTALL MONUMENT SIGN SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
  - CONSTRUCT 'COVERED TRASH ENCLOSURE' SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
  - REMOVE & DISPOSE EXISTING GATE; REPLACE WITH 'LIKE' FENCE
  - PROVIDE 6 INCH TAPERED CURB
 

CONFORM TO EXISTING PCC OR AC
  - PROVIDE 18" CURB OPENING FOR STORM WATER BIO-TREATMENT
  - FURNISH & INSTALL TRENCH DRAIN
  - PROVIDE HANDICAP RAMP PER ADA STANDARDS
  - PROVIDE ROCK RIP-RAP; 6" MIN DIA ROCK SIZE; 2 COURSES
  - FURNISH & INSTALL FIRE HYDRANT COMPLETE TO MAIN
  - FURNISH & INSTALL DOUBLE DETECTOR CHECK VALVE ASSEMBLY
  - FURNISH & INSTALL WATER METER MANFOLD TO MAIN, WATER METER AND BACKFLOW PREVENTER (3) DOMESTIC (1) IRRIGATION
  - FURNISH & INSTALL PARKING AREA LIGHT
  - CURB & ASPHALT FLUSH FOR ADA ACCESSIBILITY
  - PROVIDE TREE WELL 30 FEET APART O.C. PER CITY STDS. (5'x5' SQUARE TREE WELL); TYPICAL
  - EXISTING FENCE LINE TO BE RELOCATED TO NEW RIGHT OF WAY/ PROPERTY LINE
  - EXISTING UTILITY POLE TO REMAIN

| NO. | DATE | BY | CSJ | REVISIONS |
|-----|------|----|-----|-----------|
|     |      |    |     |           |
|     |      |    |     |           |
|     |      |    |     |           |
|     |      |    |     |           |

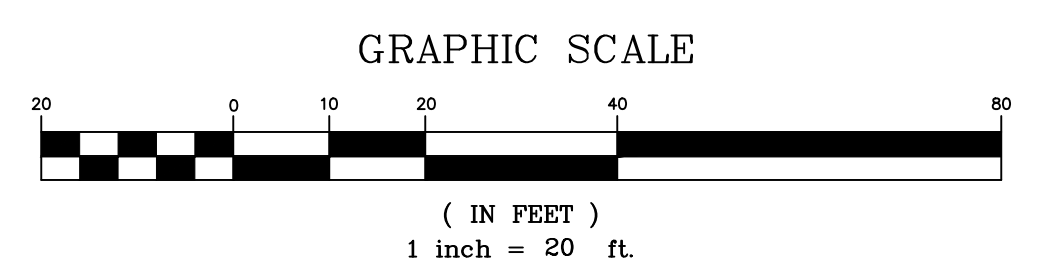


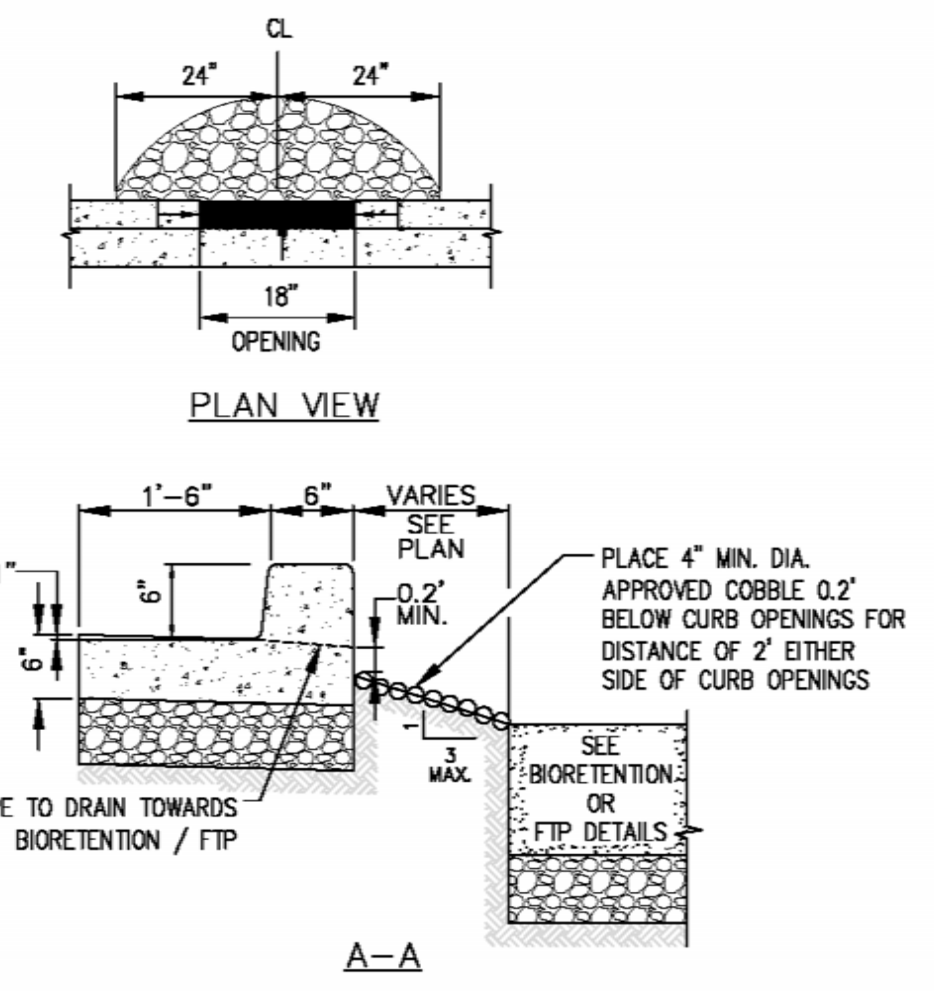
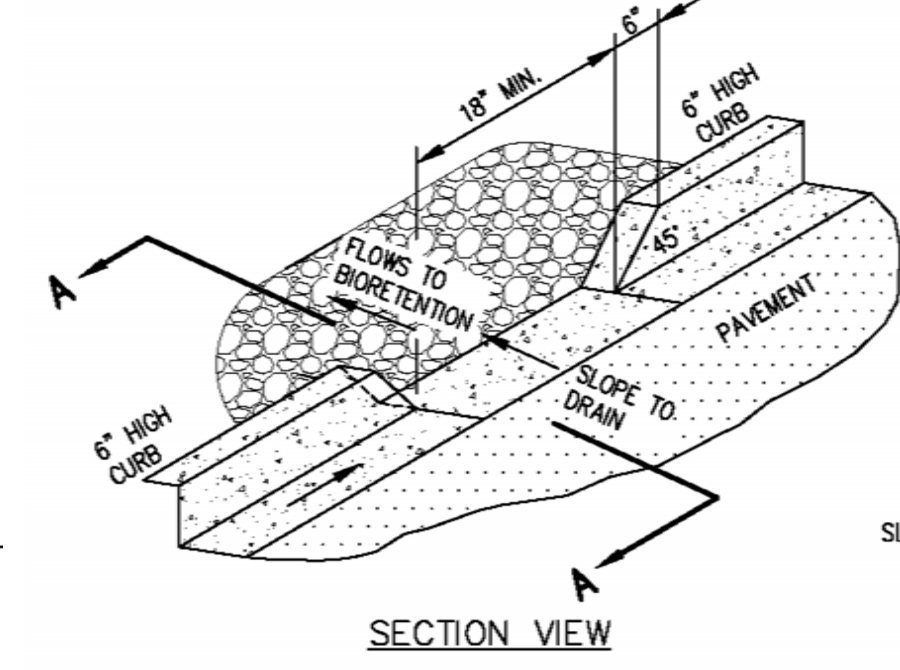
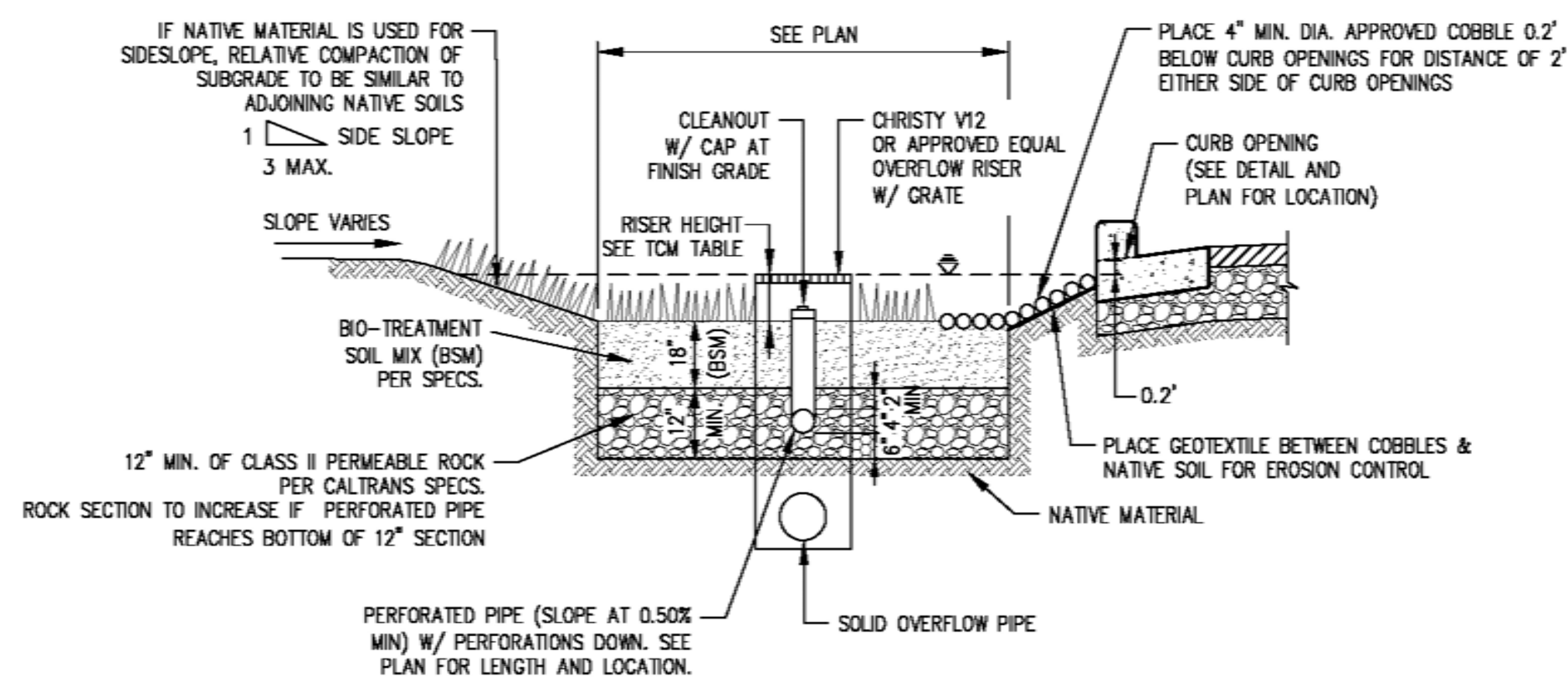
**JIM RUBNITZ**  
 17610 BLANCHARD DRIVE  
 MONTE SERENO, CA 95030

HANNA-BRUNETTI  
 7651 EIGLEBERRY STREET  
 GILROY, CA 95020  
 OFFICE: 408 842-2173  
 FAX: 408 842-3662  
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

**TENTATIVE MAP**  
 SELF-STORAGE DEVELOPMENT  
**GRADING & DRAINAGE PLAN**  
 SAN JOSE CALIFORNIA  
 Project No. 15062 Date: 7/19/18

SHEET  
 3  
 Of 4 SHEETS  
 PW PROJECT #  
 3-22046





- CONSTRUCTION NOTES:**
- CONSTRUCT 32' WIDE COMMERCIAL DRIVEWAY APPROACH PER CITY STANDARDS
  - SAWCUT, REMOVE AND DISPOSE EXISTING DRIVEWAY AND CURB AND GUTTER. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK PER CITY STANDARDS. CONFORM TO EXISTING PCC/AC
  - FURNISH AND INSTALL MONUMENT SIGN SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
  - CONSTRUCT 'COVERED TRASH ENCLOSURE' SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS
  - REMOVE & DISPOSE EXISTING GATE; REPLACE WITH 'LIKE' FENCE
  - PROVIDE 6 INCH TAPERED CURB
    - CONFORM
    - PCC OR AC
  - PROVIDE 18" CURB OPENING FOR STORM WATER BIO-TREATMENT
  - FURNISH & INSTALL TRENCH DRAIN
  - PROVIDE HANDICAP RAMP PER ADA STANDARDS
  - PROVIDE ROCK RIP-RAP; 6" MIN DIA ROCK SIZE; 2 COURSES
  - FURNISH & INSTALL FIRE HYDRANT COMPLETE TO MAIN
  - FURNISH & INSTALL DOUBLE DETECTOR CHECK VALVE ASSEMBLY
  - FURNISH & INSTALL WATER METER MANIFOLD TO MAIN, WATER METER AND BACKFLOW PREVENTER (3) DOMESTIC (1) IRRIGATION
  - FURNISH & INSTALL PARKING AREA LIGHT
  - CURB & ASPHALT FLUSH FOR ADA ACCESSIBILITY
  - PROVIDE TREE WELL 30 FEET APART O.C. PER CITY STDS. (5'x5' SQUARE TREE WELL); TYPICAL
  - EXISTING FENCE LINE TO BE RELOCATED TO NEW RIGHT OF WAY/ PROPERTY LINE
  - EXISTING UTILITY POLE TO REMAIN



**JIM RUBNITZ**  
 17610 BLANCHARD DRIVE  
 MONTE SERENO, CA 95030

HANNA-BRUNETTI  
 7651 EIGLEBERRY STREET  
 GILROY, CA 95020  
 OFFICE: 408 842-2173  
 FAX: 408 842-3662  
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

TENTATIVE MAP  
 SELF-STORAGE DEVELOPMENT  
 GRADING & DRAINAGE PLAN  
 SAN JOSE  
 Project No: 15062  
 Checked: AM  
 Date: 2/12/18

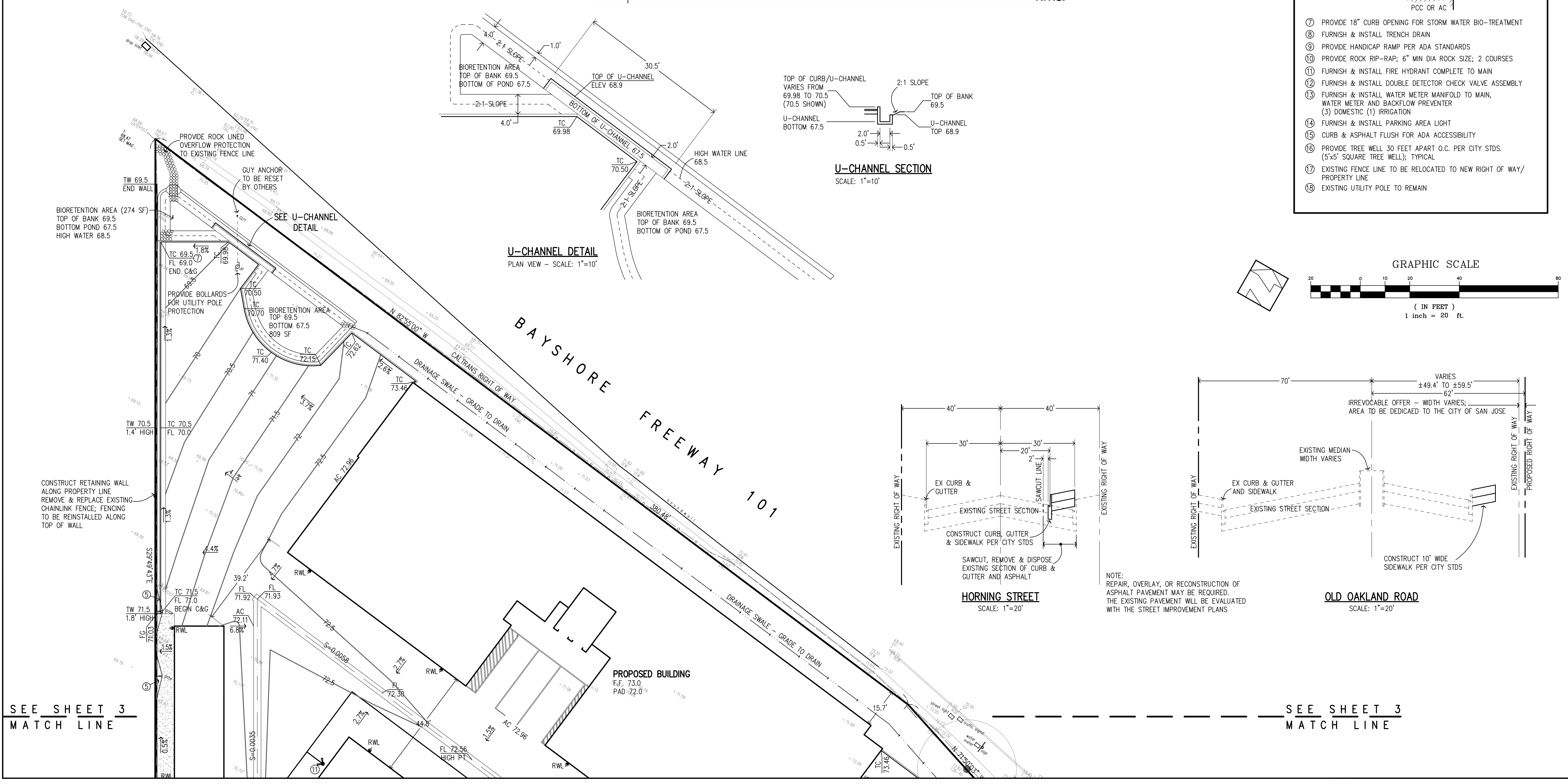
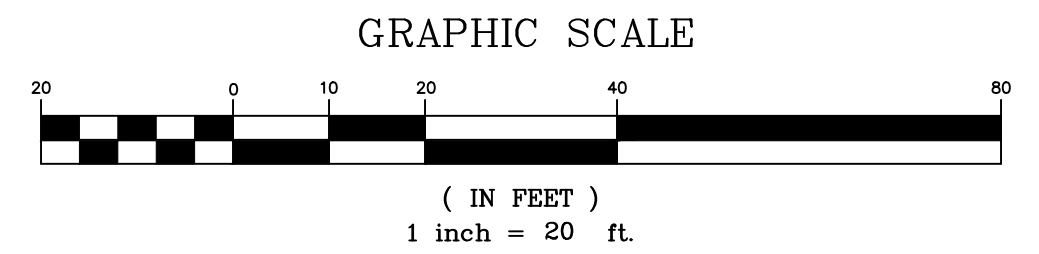
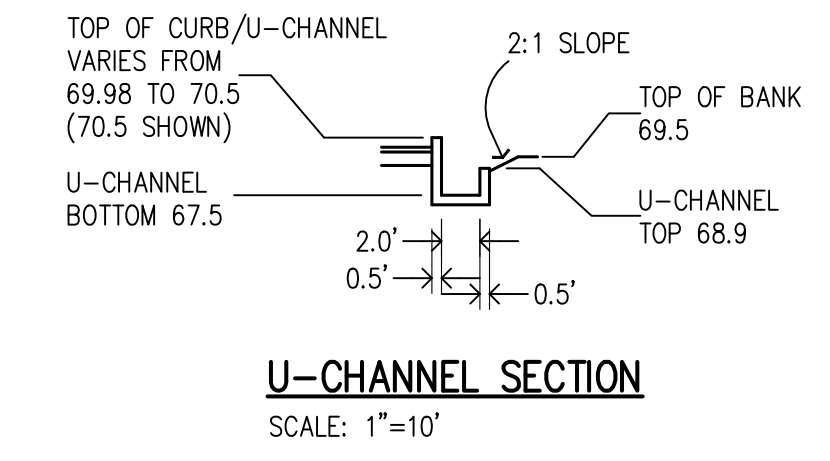
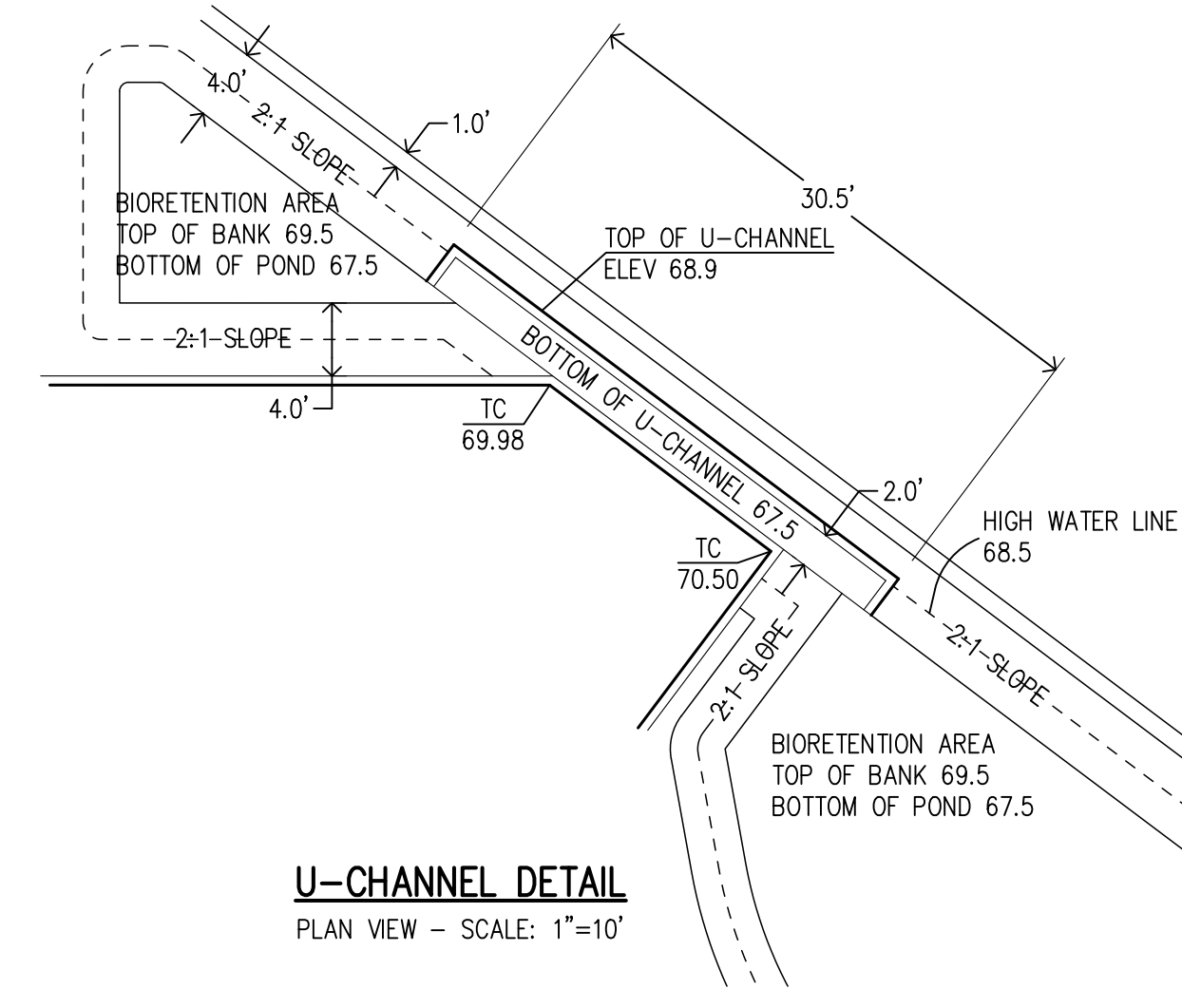
SHEET  
 4  
 Of 4 SHEETS  
 PW PROJECT #  
 3-22046

**1 BIORETENTION BASIN W/O LINER**

N.T.S. **7**

**CURB OPENING**

N.T.S.



SEE SHEET 3  
 MATCH LINE

SEE SHEET 3  
 MATCH LINE



# Horning Street Development

Jennifer Ceynowa <jenniferceynowa@gmail.com>

Mon 7/31/2017 12:30 PM

To: Le, Thai-Chau <Thai-Chau.Le@sanjoseca.gov>; Tu, John <john.tu@sanjoseca.gov>; Jim Rubnitz <jimrubnitz@gmail.com>;

Hello All,

I hope you are well. Our Homeowners group had some discussions regarding your project. I'm sure you may receive emails from others with their thoughts.

So far the Board supports the project as well as volunteer members who are vocal leaders and some of our HOA committee Leads (landscaping, neighborhood watch, etc).

We try to maintain the NextDoor page and help residents understand whats going on in the neighborhood.

**John and Thai-Chau**, if you know anything about the building closer to Hedding on the Modern Ice side - that has been closed for a while, but it was posted that it may turn into a **coffee shop** - please let me know of any updates. It's between the east side of Modern Ice and Hedding, along 13th. It's a white two story building, which may have an apartment above it.

Also, what other information can you provide, or assure, that the **big light up pedestrian walkway** can be built between the roadway? (Did you call it a nighthawk?)

**Jim**, the residents I've spoken to are hopeful for the shipping lockers. Thank you again, for considering that.

It appears the major feelings and concerns have to do with traffic, the homeless and litter. So Jim, if you can handle the homeless and litter issues, which will continually arise as the years go by, you'll have continuous supporters of your business. And let me tell ya, we have some vocal people here.

The night club that was across the street (which may now be a vinyl car cover company now) wasn't able to make a go of it with all the opposition from the local homeowners...after a series of incidences there and the owner re-asking for a liquor license...a shooting, a death, etc. the owner didn't show up for his hearing and gave up because of us (this is what I heard). It's been vacant for a while, with other signs going up...and now seems to have a final owner.

So as you can see, we've come far as a neighborhood in the last 5 years to try to make this an improved place to live. Keeping out the bad and hoping for more good.

The homeless issue in our area, with them living along our sound wall, damaging our property and stealing our copper and clipping underground lines that go to our surveillance cameras has been many a sore sight and issue. We welcome your project, however fears are high of what it could turn into. Please keep your promise, Jim, of keeping it as if you lived in the neighborhood too.

[I wrote this last week some time....and it was saved as a draft. Today is July 31st...and I've received a lot more feedback from the group. They are all supporting the project and offering support via emails. So I imagine you may have heard from some. So please do keep us informed, if appropriate, on thoughts or other suggestions our homeowners and neighbors may be able to help you with. Obviously we will most likely bring any issues that come up to you.]

Note: I like Jack In The Box jalapeños poppers over a tacos. However; I must pick my battles.

Thank you,  
Jennifer Ceynowa



Patricia and Sergio Ruiz  
547 Madera Ave  
San Jose, CA 95112  
(408) 569-5044

9/13/17

City of San Jose Department of Planning, Building & Code Enforcement,




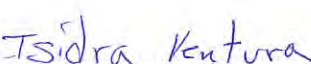


On behalf of our neighbors,  
First of all we strongly disagree on the proposal on 645 Horning Street Gas Station, Food, and Storage Project.

File No.: PDC16-041, PD16-027, PT16-037  
Assessors's Parcel Number: 235-18-001

We don't want a gas station on Horning Street it will be a negative impact for our community. It will increase more homelessness activity at night. More illegal dumping, RVs encampments, will encourage loitering, increase crime, noise, and trash pollution to our neighborhood. There are several fueling stations, storage buildings, car washes, in near vicinity, we don't need more gas pollution!

Petition signers respectfully request the City to limit the zoning to exclude fueling stations and or the perspective land buyer and business owner (Jim Rubnitz) to reconsider the business he wants to build. The residents of Madera Ave, Santa Ana ave, Horning St, North 12th Street and nearby communities and our supporters who sign this petition would like a more resident-friendly business that does not stay open late night hours, and are willing to negotiate. For instance, a reputable grocery store like a Trader Joe's, Smart and Final or Rite Aid, Walgreens, Home Goods. This type of stores would definitely encourage resident's business and will discourage loitering.

Sincerely,

| Name  | Signature   | Phone No.      | address  |
|---|---|----------------|--|
| 1. Patricia Ruiz  |  | 408 569-5044   | 547 Madera Ave.<br>San Jose, CA 95112<br>sergpat@hotmail.com |
| 2. Patricia Marquez   |  | (408) 899 1081 | 1026 N 12th St<br>San Jose CA 95112                          |
| 3.  Isidra Kentura |  | 408 2985752    | 1013 N 12th St San Jose                                      |
| Melanie Handstrom   |  | 408-658-5878   | melanastro@yahoo.com<br>1019 N. 12th St 95112                |
| Rahab Lya   |  | 510-754-1307   | 1012 N. 12th St.<br>San Jose 95112                           |

4. Madelina Paez 546 Horning St. 408-279-8206

Name                      Signature                      Phone No.                      address

5. Marybeth 408 642-7813 527 Hoening St SJC 95112

6. George Graves 408 995 0826 533 Horning St. # Santa Jose 95112

7. Jessica Nwari 408 771 7033 533 Horning St SJ 95112

8. Wz Huerfano 408 297 5106 533 Horning St SJ 95112

Name                      Signature                      Phone No.                      address

9. Lidia Castilla Anfeli 408 708 4947 552 Horning St #6 SJ 95112

10. \_\_\_\_\_

11. \_\_\_\_\_

12. \_\_\_\_\_

Patricia and Sergio Ruiz  
547 Madera Ave  
San Jose, CA 95112  
(408) 569-5044  
9/13/17

City of San Jose Department of Planning, Building & Code Enforcement,

On behalf of our neighbors,  
First of all we strongly disagree on the proposal on 645 Horning Street Gas Station,  
Food, and Storage Project.  
File No.: PDC16-041, PD16-027, PT16-037  
Assessors's Parcel Number: 235-18-001

We don't want a gas station on Horning Street it will be a negative impact for our  
community. It will increase more homelessness activity at night. More illegal dumping,  
RVs encampments, will encourage loitering, increase crime, noise, and trash pollution  
to our neighborhood.

There are several fueling stations, storage buildings, car washes, in near vicinity, we  
don't need more gas pollution!

Petition signers of respectfully request the City to limit the zoning to exclude fueling  
stations and or the perspective land buyer and business owner (Jim Rubnitz) to  
reconsider the business he wants to build. The residents of Madera Ave, Santa Ana  
ave, Horning St, North 12th Street and nearby communities and our supporters who  
sign this petition would like a more resident-friendly business that does not stay open  
late night hours, and are willing to negotiate. For instance, a reputable grocery store  
like a Trader Joe's, Smart and Final or Rite Aid, Walgreens, Home Goods. This type of  
stores would definitely encourage resident's business and will discourage loitering.

Sincerely,

| Name | Signature | Phone No. | address |
|------|-----------|-----------|---------|
|------|-----------|-----------|---------|

|    |                  |                       |                                   |
|----|------------------|-----------------------|-----------------------------------|
| 1. | <u>Sophy Sui</u> | <u>(408) 627-1856</u> | <u>1015 N 12<sup>th</sup> St,</u> |
|----|------------------|-----------------------|-----------------------------------|

|    |                         |                       |                       |
|----|-------------------------|-----------------------|-----------------------|
| 2. | <u>Carlos Maldonado</u> | <u>(408) 981-3666</u> | <u>540 Madera Ave</u> |
|    | <u>Rosa Maldonado</u>   | <u>(408) 981-3664</u> | <u>540 Madera Ave</u> |

Sergio Ruiz (408) 569-2032

547 MADERA AVE

RAFAEL M. RUIZ (408) 896-6362

558 MADERA AVE



# Concerns about new development at 645 Horning Street

Chris Pontiga <cpontiga@gmail.com>

Tue 7/25/2017 7:11 AM

To: Tu, John <john.tu@sanjoseca.gov>;

Hello,

I am writing about the proposed development at 645 Horning Street at the corner of Horning Street and 13th Street. I am a resident at Modern Ice across the street and have lived here for six years.

While the idea of developing this plot of land for commercial purposes is a good idea, I believe significant improvements needs to be made before any development were to take place. Traffic in our neighborhood is already terrible, and we feel either trapped in our homes or unable to get home because of the lack of traffic coordination and planning. So before anything else is added to our neighborhood that will further increase traffic, the current situation needs to be addressed and improved.

1. There is a need for coordination of all the traffic signals going across 101 and coming on and off of the freeway. One is generally forced to wait for two lights to simply go enter the freeway because the current signals are not synchronized. Vehicles frequently block the intersections.
2. Add an additional 4-way traffic signal at Horning and 13th Street to control the new traffic coming from Horning street.
3. Make the left-turn from southbound 13th Street at Boardwalk Way a No U-Turn. The current situation has traffic bound for 101S piling up on this turn from Horning Street, and we cannot enter our community at Modern Ice. This U-turn also has drivers blocking traffic going north on 13th Street. (We do not want additional traffic from the new development increasing the problem with this left U-turn.)
4. Improve the 101S off-ramp which will be right next to this new development. This off-ramp is terrible with the no-turn on red. This is because of the limited sight-distance from cars traveling south on 13th Street. Traffic often piles up all the way from 880N because of this traffic light. If this traffic signal and intersection configuration is not addressed, this new development will worsen further this situation.

There are a lot of traffic concerns an issue that we deal with daily in our neighborhood. While we welcome new development, we do not want it to prevent us from entering our neighborhoods and getting home. Improvements to traffic need to be in place before our community accepts this development.

Thank you,

Chris Pontiga  
803 Modern Ice Drive  
San Jose, CA 95112