



CITY COUNCIL STAFF REPORT

File Nos.	C18-022 & CP18-029
Applicant	Acadia Healthcare
Location	Southwest corner of Silicon Valley Boulevard and Eden Park Place (455 Silicon Valley Boulevard)
Existing Zoning	A(PD) Planned Development
Proposed Zoning	CIC Combined Industrial/Commercial
Council District	2
Historic Resource	No
Annexation Date	December 11, 1978 (Monterey Park No. 75-A)
CEQA	Addendum to the 2000 Edenvale Redevelopment Project EIR (Resolution No. 69699), 2000 Edenvale Redevelopment Project Supplemental EIR (Resolution No. 70021), Envision San José 2040 General Plan EIR (Resolution No. 76041) and Supplemental EIR (Resolution No. 77617), and Addenda thereto

APPLICATION SUMMARY:

1. **File No. C18-022:** Conforming Rezoning from the A(PD) Planned Development Zoning District to the CIC Combined Industrial/Commercial Zoning District on an approximately 6.9-gross acre site.
2. **File No. CP18-029:** Conditional Use Permit to expand an existing 54,344-square foot state licensed behavioral health hospital by up to 59,365 square feet, for a total area of 113,725 square feet, in two phases, and increase the number of patient beds from 80 to up to 168 patient beds, with related site modifications and removal of 15 ordinance-size trees, on an approximately 6.9-gross acre site.

RECOMMENDATION:

Planning staff recommends to the City Council the following actions:

1. Adopt a Resolution adopting an Addendum to the 2000 Edenvale Redevelopment Project EIR (Resolution No. 69699), 2000 Edenvale Redevelopment Project Supplemental EIR (Resolution No. 70021), Envision San José 2040 General Plan EIR (Resolution No. 76041), Envision San José 2040 General Plan Supplemental EIR (Resolution No. 77617), and Addenda thereto, all in accordance to the California Environmental Quality Act, as amended;
2. Adopt an Ordinance rezoning certain real property, approximately 6.9-gross acre site, located at the southwest corner of Silicon Valley Boulevard and Eden Park Place (455 Silicon Valley

Boulevard), from the A(PD) Planned Development Zoning District to the CIC Combined Industrial/Commercial Zoning District; and

3. Adopt a Resolution approving, subject to conditions, a Conditional Use Permit to allow the expansion of a state licensed behavioral health hospital by up to 59,365 square feet, for a total area of 113,725 square feet, in two phases, and increase the number of patient beds from 80 to up to 168 patient beds, with related site modifications and the removal of 15 ordinance-size trees on an approximately 6.9-gross acre site.

PROJECT DATA

GENERAL PLAN CONSISTENCY			
General Plan Designation		Combined Industrial/Commercial <input checked="" type="checkbox"/> Consistent <input type="checkbox"/> Inconsistent	
Consistent Policies		IP-1.6, IP-1.7, IP-8.2, ES-6.2, ES-6.6	
Inconsistent Policies		None	
SURROUNDING USES			
	General Plan Land Use	Zoning	Existing Use
North	Open Space, Parklands, and Habitat	IP Industrial Park	Coyote Creek, County Park
South	Combined Industrial/Commercial	A(PD) Planned Development, IP Industrial Park	Office, General Business, hotel
East	Open Space, Parklands, and Habitat	R-1-1 Single- Family Residence Zoning District	Coyote Creek, vacant land
West	Combined Industrial/Commercial	IP Industrial Park	Office, General Business, indoor recreation
RELATED APPROVALS			
Date	Action		
12/11/1978	Site annexed into the City of San José (File No. Monterey Park No. 75-A)		
4/4/1989	File No. PDC88-138: Rezoning from the IP-b Industrial Park Zoning District to the A(PD) Planned Development Zoning District to allow an 80-bed, short term psychiatric care facility, on a 6.92-gross acre site		
6/1/1989	File No. PD89-030: Planned Development Permit to allow construction of an 80-bed psychiatric facility		
6/12/2014	File No. AD14-366: Permit Adjustment to allow modifications to the site to include accessible parking, path to public right-of-way and drop-off area		

PROJECT DESCRIPTION

On November 17, 2017, the applicant submitted an application for a Conforming Rezoning to rezone the site from the A(PD) Planned Development Zoning District to the CIC Combined Industrial/Commercial Zoning District and a Conditional Use Permit to expand an existing 54,344-square foot state licensed behavioral health hospital by up to 59,365 square feet, for a

total area of 113,725 square feet, in two phases, and increase the number of patient beds from 80 to up to 168 patient beds, with related site modifications and removal of 15 ordinance-size trees and 26 non-ordinance size trees, on a 6.9-gross acre site.

Phase I and II Construction

The project will add 31,017 square feet and 53 additional beds in Phase I and 28,346 square feet and 35 additional beds in Phase II, for a total of 113,725 square feet and 168 patient beds. The project will facilitate a new enclosed outdoor patio area and a covered, drop-off area on the north and west side in Phase I and will realign the drop-off canopy area on the eastern side in Phase II. The main driveway entrance will be from Eden Park Place (see Figure 1).

The project will eliminate 17 parking spaces due to facility expansion, but will still provide sufficient surface parking for approximately 102 vehicles and eight bicycles to meet the current parking and bicycle requirements. Site improvements would include new fencing, walls, walkways, and gates securing the building area, and new landscaping which includes planting of approximately 60 new 24-inch box trees, at the site's eastern and northern frontages along Silicon Valley Boulevard and Eden Park Place.

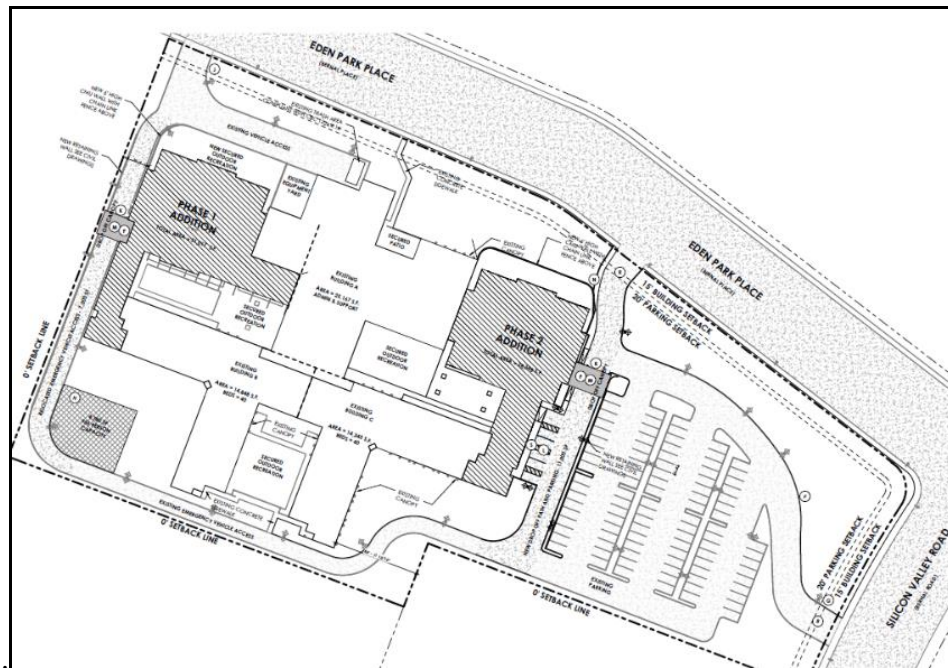


Figure 1: Site Plan

Operational Plan

The project will continue to include in-patient and out-patient behavioral healthcare and substance use disorder and provide treatment to adolescents, adults and seniors with short-term stays for patients in need of stabilization, with no permanent occupancy. The expansion of the facility will add a new Adult Day Program (ADP) for non-medical treatment services to patients

and a crisis stabilization unit (CSU) for patients needing urgent care. The type of patients treated at the facility will continue to be those who do not have a violent crime history but suffer from depression and developmental and mental health disorders (see Attachment D).

The hospital floor plans include new patient rooms, physician offices, exam rooms, and support services within the expansion area. The facility would bring in up to an additional 120 employees for a total of up to 200 employees, divided into three shifts per day. The staffing requirements for different units and groups would include psychiatrists, medical technicians, nurses, counselors, and case managers (social workers and therapists). The hospital will continue to operate 24-hours a day, seven days a week. Security measures (locked doors) would also continue to be used to prevent patients from exiting through the facility or patio doors.

Planned Development Zoning background

The existing Planned Development Zoning (File No. PDC88-138) was rezoned from the IP-b Industrial Park Zoning District to the A(PD) Planned Development Zoning District and approved at a Council public hearing on April 4, 1989, to allow an 80-bed short term psychiatric care facility. Rezoning the site to a Planned Development Zoning District was considered because the hospital use was not a permitted or a conditionally permitted use for the IP-b Industrial Park Zoning District under the 1988 City of San José Zoning Ordinance. The hospital use was, however, considered as an appropriate Public/Quasi-Public (non-industrial) use under the prior Horizon 2000 General Plan land use designation of Industrial Park.

Site Description and Surrounding Uses

The project site is located on the southwest corner of Silicon Valley Boulevard and Eden Park Place, at 455 Silicon Valley Boulevard. The subject site is currently developed with the subject 54,344-square foot one-story hospital building and is bounded by Coyote Creek and County riparian lands to the north and east, commercial/industrial uses to the west, and a mix of commercial and industrial uses and a hotel to the south (see Figure 2).

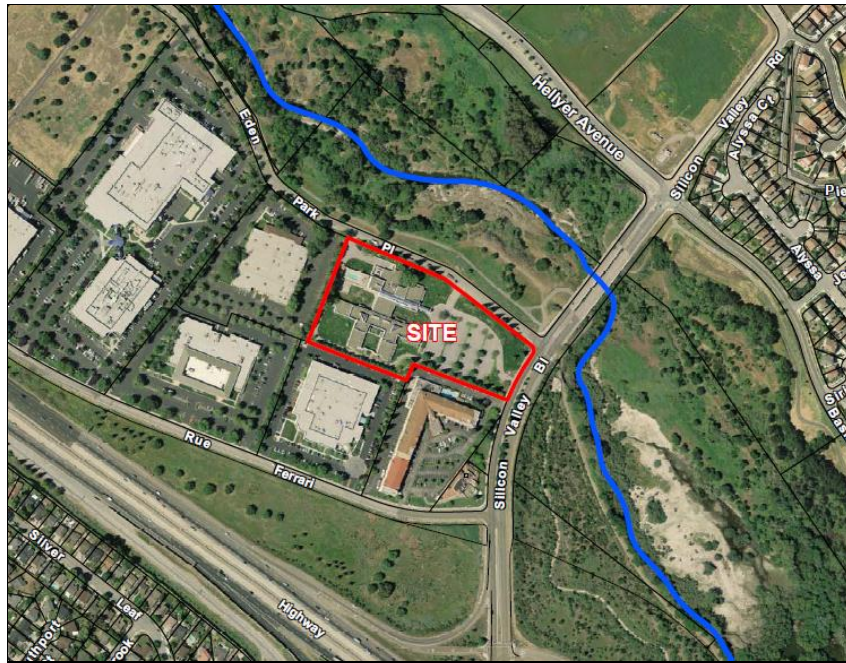


Figure 2: Aerial image of subject site

Residential development is located approximately 942 feet to the northeast, beyond Hellyer Avenue and 1,155 square feet to the south, beyond U.S. Highway 101. The project site has two existing 30-foot wide access driveways from Edon Park Place, and one existing 30-foot wide driveway from Silicon Valley Boulevard, leading to a 119-vehicle space surface parking lot. Both Edon Park Place and Silicon Valley Boulevard are considered street frontages for the project site. A 20-foot wide fire access and service road loops along the periphery of the west and south property lines.

Existing Facility Operation

The existing facility provides in-patient and out-patient behavioral healthcare and substance use disorder services; it provides treatment to adolescents, adults, and seniors with short-term stays for patients in need of stabilization, with no permanent occupancy. Patients arriving at the facility are immediately escorted to a special examination room for further evaluation to determine whether they are to be admitted or discharged. The patients that are admitted are escorted by trained staff throughout the facility, and the patients that are discharged are allowed to leave only with a family-member or arrangements are made for a taxi or ride-share pick-up service. The type of patients treated at the facility do not have a violent crime history but suffer from depression, developmental, and mental health disorders.

The hospital floor plans include patient rooms, physician offices, exam rooms, and support services within the existing building. The hospital currently has 80 employees, divided into three shifts per day. The staffing requirements for different units and groups include psychiatrists, medical technicians, nurses, counselors, and case managers (social workers and therapists). The hospital operates 24-hours a day, seven days a week. Security measures (locked doors) are used to prevent patients from exiting through the facility or patio doors.

ANALYSIS

The proposed Conforming Rezoning and Conditional Use Permit were analyzed with respect to and conformance with: 1) the Envision San José 2040 General Plan; 2) Edenvale Area Development Policy; 3) the San José Zoning Ordinance; 4) Tree Removal Findings; 5) Commercial Design Guidelines; and 6) the California Environmental Quality Act of 1970, as amended (CEQA).

Envision San José 2040 General Plan Conformance

The subject site is designated Combined Industrial/Commercial on the Envision San José 2040 General Plan Land Use/Transportation Diagram (see Figure 3). This designation allows a significant amount of flexibility for the mixture of commercial and industrial uses, including hospitals. The expansion of the hospital will continue to be compatible with the General Plan land use designation of Combined Industrial/Commercial.

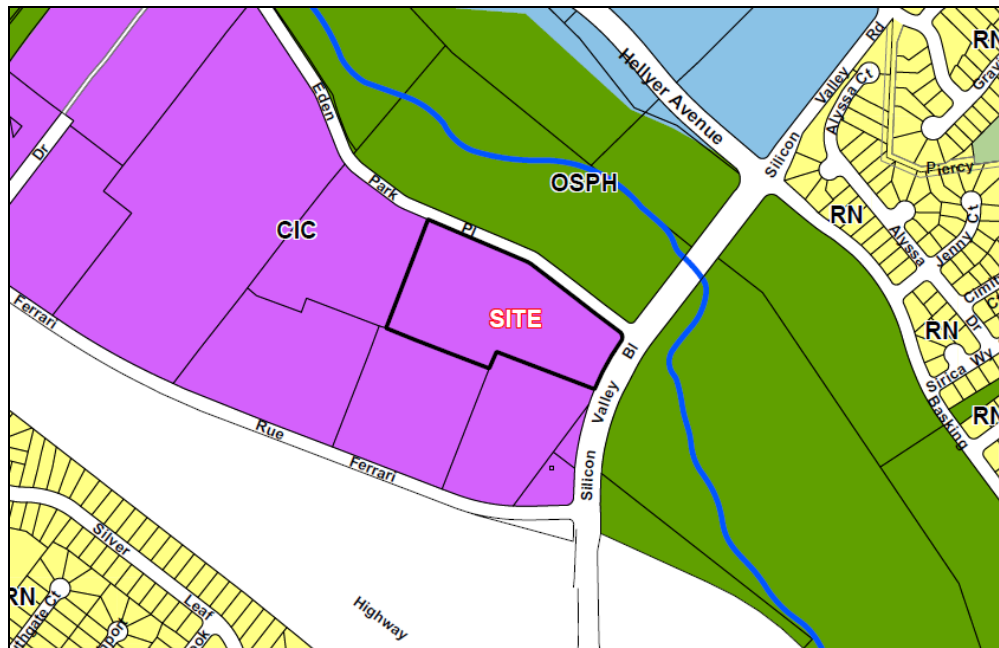


Figure 3: General Plan Map

The project also conforms to the following General Plan policies:

1. Implementation Policy IP-1.6: Ensure that proposals to rezone and pre-zone properties conform to the Land Use/Transportation Diagram, and enhance Envision General Plan Vision, goals, and policies.

Analysis: Pursuant to Table 20-270 of the Zoning Ordinance, the CIC Combined Industrial/Commercial Zoning District conforms to the General Plan Land Use Designation of Combined Industrial/Commercial. The proposed CIC Combined Industrial/Commercial Zoning District allows the behavioral hospital uses with a Conditional Use Permit.

2. Implementation Policy IP-1.7: Use Standard Zoning Districts to promote consistent development patterns when implementing new land use entitlements. Limit use of the Planned Development Zoning process to unique types of development or land uses which cannot be implemented through standard Zoning Districts, or to sites with unusual physical characteristics that require special consideration due to those constraints.
3. Implementation Policy IP-8.2: Use the City's conventional zoning districts, contained in its Zoning Ordinance, to implement the Envision General Plan Land Use/Transportation Diagram. These districts include a range of allowed land uses, development intensities, and standards within major land use categories (residential, commercial, and industrial) together with zoning districts for other land uses such as mixed-use and open space. The various ranges of allowed uses and development intensity correspond generally to the respective Envision General Plan land use designations, while providing greater detail as to the appropriate land uses and form of development.

Analysis: The site's existing zoning is A(PD) Planned Development Zoning District established with Zoning File No. PDC88-138. This zoning, approved on April 4, 1989, allows a maximum 80-bed facility and maximum 56,800 square feet of floor area. The project proposal is for an additional 88 beds (for a maximum 168-beds) and additional 59,365 square feet for a total floor area of 113,725 square feet. The expansion of the hospital would require a rezoning of the existing Planned Development Zoning District to allow an increase in the number of beds and exceed the maximum allowed square footage. The project proposal is to rezone to conventional CIC Combined Industrial/Commercial Zoning District, without requiring any deviation from the zoning district's development standards such as setbacks, height, and off-street parking requirements. The CIC Combined Industrial/Commercial Zoning District conforms to the General Plan designation of Combined Industrial/Commercial for the site. A hospital use is allowed with a Conditional Use Permit under this zoning district.

4. Access to Medical Services Policy ES-6.2: Maintain and update the Envision General Plan Land Use Transportation/Diagram as necessary to provide sufficient opportunities for hospitals and medical care facilities to locate in San José. Consider locating health care and medical service facilities, including hospitals, in residential, commercial, Urban Village, mixed use, Downtown, Transit Employment Center, Combined Industrial/Commercial, Industrial Park, and Public/Quasi-Public designations.
5. Access to Medical Services Policy ES-6.6: Encourage the location of health care facilities and hospitals in areas that are underserved and lack adequate health care facilities.

Analysis: The project is an expansion of an existing behavioral health hospital providing in-patient and out-patient behavioral health and substance use disorder treatment to adolescents, adults, and seniors. The facility does not contain an emergency room, perform surgeries, or provide other types of medical services. The subject site is located adjacent to an industrial park developed with a mix of commercial and office uses, and the existing building is compatible with the development in the surrounding area. The proposed project expansion conforms to the General Plan by providing behavioral health care services to a special needs group of people of the community.

The Santa Clara County Health records show a need for such behavioral health facilities in

the community. The project would provide an additional 120 jobs for a total of up to 200 jobs for medical and support staff. Employees would work various shifts throughout the day. The project's psychiatric facility complements existing hospitals in the area and would expand the type and quality of mental healthcare services in the larger San José community.

Edenvale Area Development Policy

The subject site is in Subarea 4 of the Edenvale Development Area. Under the Edenvale Area Development Policy (EADP), the site is allowed up to 120,208 square feet of Light Industrial/R&D development. The project has a floor-area ratio (FAR) of 0.37 (113,725 square feet), which is within the development square footage allowances of the EADP, including the maximum 0.4 FAR. Since the proposed project would not exceed the allowable FAR, the project would not be required to pay the Traffic Impact Fees (TIF). The Department of Public Works concluded in their Traffic Memorandum, dated January 23, 2019, that the hospital expansion would be in conformance with the Edenvale Area Development Policy.

Zoning Ordinance Conformance

The proposed use is in the A(PD) Planned Development Zoning District (see Figure 4).

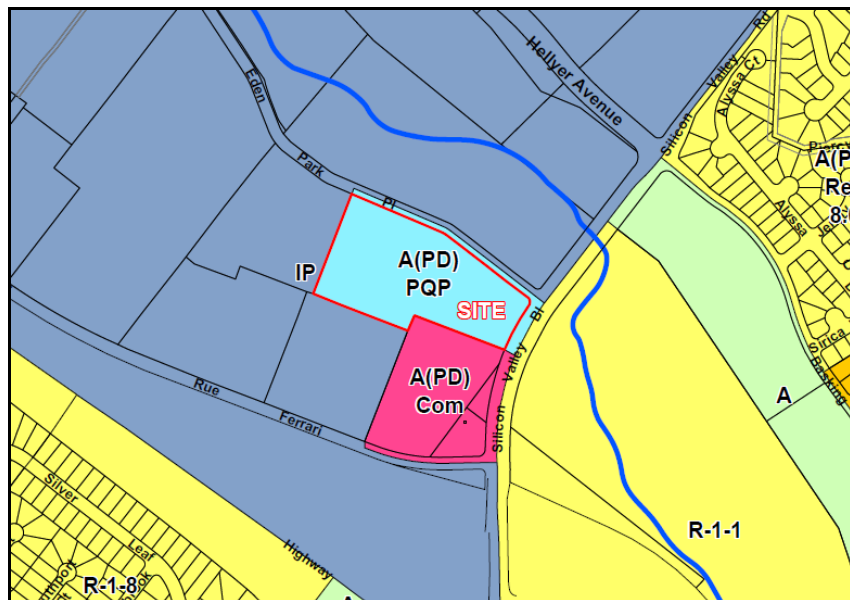


Figure 4: Zoning District Map

The subject 6.9-gross acre site is proposed to be rezoned from A(PD) Planned Development Zoning District to CIC Combined Industrial/Commercial, in conformance with the General Plan land use designation of Combined Industrial/Commercial. Pursuant to Section 20.50.100 of the San José Zoning Ordinance, a hospital requires a Conditional Use Permit within the CIC Combined Industrial/Commercial Zoning District.

a. *Setbacks and Height Requirements*

The proposed project modification and addition conform to the setbacks and height requirements of the CIC Combined Industrial/Commercial Zoning (see Table 1).

Table 1: Development Standards

Minimum Building Setbacks	Required	Project
Front (Silicon Valley Boulevard)	15 feet	100+ feet
Front (Eden Park Place)	15 feet	30 feet
Front (Parking at street frontages)	25 feet	30 feet
Rear (south)	0 feet	50 feet
Rear (west)	0 feet	26 feet
Maximum Height	50 feet	29 feet six inches

b. *Vehicle Parking Requirements*

Pursuant to Section 20.90.060 of the Zoning Ordinance, the total existing parking spaces are 119. The total required vehicle parking for the hospital expansion is 84 parking spaces, and a total of 102 spaces will be provided, after site modifications and elimination of 17 spaces due to facility expansion. The site still exceeds the parking requirement by 18 spaces (see Table 2).

c. *Bicycle Parking Requirements*

Pursuant to Tables 20-190 and 20-250 of the Zoning Ordinance, the project will require eight parking spaces for bicycles. The project provides eight bicycle parking spaces, which meets the bicycle parking requirements (see Table 2).

Table 2: Parking Requirements

Land Use	Vehicle Parking Ratio	Vehicle Parking Required	Bicycle Parking Requirement
Hospital, in-patient services	1 space per 2.5 beds	168 beds = 68 spaces	1 per 25 beds 168 beds = 7 spaces
Hospital, out-patient services	1 space per 250 square feet of floor area	3,808 square feet of floor area = 16 spaces	1 per 4,000 square feet of floor area; 3,808 square feet = 1 space
Total:		84 spaces	8 spaces

Conditional Use Permit Findings

Chapter 20.100 of Title 20 of the San José Municipal Ordinance establishes required findings for issuance of a Conditional Use Permit.

This City Council must conclude and find, based on the above facts and analysis that:

1. The Conditional Use Permit, as approved, is consistent with and will further the policies of the General Plan, applicable specific plans and area development policies.

Analysis: The Conditional Use Permit is consistent with the Combined Industrial/Commercial land use designation and furthers the General Plan policies related to the hospital use. The project was analyzed for conformance with the Edenvale Area Development Policy. The Department of Public Works concluded that the hospital expansion would be in conformance with the Edenvale Area Development Policy, pursuant to the Traffic Memo dated January 23, 2019. The project is not located in any Specific Plan.

2. The Conditional Use Permit, as approved, conforms with the zoning code and all other provisions of the San José Municipal Code applicable to the project.

Analysis: The project is in compliance with the regulations of the Zoning Ordinance and provisions of the San José Municipal Code. The expansion of the hospital use is permitted with a Conditional Use Permit in the CIC Combined Industrial/Commercial Zoning District. The project provides the required number of vehicle and bicycle parking spaces for the hospital use per the Zoning Ordinance.

3. The Conditional Use Permit, as approved, is consistent with applicable City Council policies, or counterbalancing considerations justify the inconsistency.

Analysis: There are no City Council Policies related to the hospital use. The project complies with the City Council Policy 6-30: Public Outreach Policy, and a notice of the public hearing was distributed to the owners and tenants of all properties located within 1,000 feet of the project site, as well as the Basking Ridge Avenue neighborhood (located approximately 1000 feet on the north east side of the project site), and posted on the City website. Pursuant to this policy and due to significant community interest, a community meeting was held on November 14, 2018, at Wyndham Garden hotel (399 Silicon Valley Boulevard), to receive public comment and address project related issues. This meeting was attended by 10 residents, and their questions and concerns were addressed by the project applicant.

The concerns raised by the community members included justification for expansion of the hospital, the process of discharging the patients once the services were provided, any required security and police supervision, number of employees of the facility, number of patient beds and the reputation of the hospital. The applicant (Acadia Healthcare) confirmed that the facility will add up to 88 beds for a total number of patient beds to be 168 and assured that the expansion of the hospital was necessary based on need as determined in the August 2018 California Hospital Association (CHA) Annual Report. The applicant also assured that Acadia Healthcare cared for its reputation and made special arrangements for the discharge of their patients, either with a family member or an escorted pick-up service. They added that the grounds were under surveillance 24-hours a day, and that all inpatients were escorted with trained staff within the facility.

Additionally, the project is also consistent with Council Policy 6-29 for Post-Construction Urban Runoff Management, in that the project plans were reviewed by the Department of Public Works and determined to be consistent with the City's stormwater requirements. The project is also consistent with City Council Policy 4-3 for Outdoor Lighting on Private Developments, in that lighting will be directed downward onto the site and away from the Coyote Creek open space, across Eden Park Place, minimizing glare and off-site light spillage, as shown on the lighting information in the project plans and photometric plan prepared for the project.

4. The proposed use at the location requested will not:
 - a. Adversely affect the peace, health, safety, morals, or welfare of persons residing or working in the surrounding area; or
 - b. Impair the utility or value of property of other persons located in the vicinity of the site; or
 - c. Be detrimental to public health, safety, or general welfare.

Analysis: The new facility would be compatible with adjacent commercial and industrial uses, will continue to provide behavioral health services in the community, and will not negatively affect, or impair the health, safety, morals, or welfare of persons already working or residing in the area. Once checked into the facility, patients remain within the facility and enclosed outdoor recreation areas. The outdoor patio is only used during the day between 9:00 a.m. to 7:00 p.m. The facility rooms rotate throughout the day to use the outdoor area. Security measures (locked doors) are used to prevent patients from exiting through the patio and facility doors. The building area is, thus, well-secured and the full operations plan provided by the applicant describes the management, security, and operations of the facility. Patients discharged from the facility are released to a family member or a ride is arranged to get them home. No patient is released into the neighborhood without a plan to safely transport them home.

The facility provides 24-hour surveillance, a trained staff and a full security team that continuously patrols the grounds to prevent any suspicious activities on the grounds. This also extends assurance of safety for the security of staff, patients and the surrounding community. The expansion of the hospital will not, therefore, alter or negatively impact the surrounding properties.

5. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding area.

Analysis: The 6.9-gross acre site is adequate in size to accommodate the expansion of buildings on the northwestern portion of the site during Phase I and northeastern portion of the site during Phase II. The number of vehicle parking spaces provided on-site will exceed the vehicle parking requirement for the expanded use. The use will also provide sufficient loading, circulation and on-site parking for patients, employees, and visitors. The existing landscaping will be maintained along the periphery of the site and new landscaping will include a mix of trees, shrubs and groundcover which will be well-integrated with the design of buildings and with the overall uses on site.

6. The proposed site is adequately served:
 - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate; or by other forms of transit adequate to carry the kind and quantity of individuals such use would generate.
 - b. By other public or private service facilities as are required.

Analysis: The project will continue to be accessed from existing driveways along Silicon Valley Boulevard and Eden Park Place. The site has regional access from US Highway 101, State Route 85, and Monterey Road. The Department of Public Works prepared a traffic memorandum dated January 23, 2019, which states that the project will add 49 a.m. and 26 p.m. peak hour trips. The existing facility and the project expansion together would be equivalent to 78,833 square feet which is less than the 120,208 square feet assessed for the site under Edenvale Area Development Policy (EADP). Since the proposed project would not exceed the allowable FAR, the project would not be required to pay the Traffic Impact Fees (TIF). Since the project would not exceed the allowable FAR of 0.4 for Sub Area 4, the site is in conformance with the Edenvale Area Development Policy.

7. The environmental impacts of the project, including but not limited to noise, vibration, dust, drainage, erosion, storm water runoff, and odor which, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative affect on adjacent property or properties.

Analysis: An Initial Study Addendum was prepared for the project in compliance with the California Environmental Quality Act (CEQA) and the CEQA Guidelines. Based on the environmental analysis, the project was determined to not have unacceptable negative effects on adjacent properties. The expansion of the number of beds and floor area of the existing hospital did not require any further analysis as it does not significantly increase any additional impacts to lighting, traffic, parking, or noise.

The emergency ambulance drop-off and pick-up will not include the use of siren or lights anytime during the day or night so as not to cause noise disturbance to the surrounding community. The closest residential development is located approximately 942 feet to the northeast, beyond Hellyer Avenue, and 1,155 feet to the south, beyond U.S. Highway 101 from the project site. All enclosed outdoor recreation uses will occur during the day, between the hours of 9:00 a.m. to 7:00 p.m., which will further prevent any noise disturbance during the night. All glare and lighting will be directed downward onto the site and away from the Coyote Creek open space trail located to the north and east across Eden Park Place.

Coyote Creek Trail, located to the northeast of the project site across Eden Park Place, connects to Silver Creek Valley Road, Yerba Buena Road, and Capitol Expressway. The project will not cause any obstruction to the trail. There were no additional traffic impacts resulting from the project expansion as stated in the Traffic Memorandum dated January 23, 2019. The site adequately meets storm water runoff requirements and grading and drainage requirements pursuant to the Department of Public Works Final Memorandum dated February 12, 2019.

Tree Removal Permit Findings. After analysis done pursuant to Chapter 13.32 of the San José Municipal Code, the following findings could be made:

- a. That the trees are of an affected size, type, and condition, and are in such a location in such surroundings, that their removal would not significantly frustrate the purposes of Chapter 13.32.
- b. That the location of the trees with respect to the proposed improvement unreasonably restricts the economic development of the parcel in question.

Analysis: In March of 2018, a certified arborist surveyed approximately 100 trees on and around the subject site. Pursuant to the Arborist Report dated March 13, 2018, a total of 41 existing trees, including 15 ordinance-size trees and 26 non-ordinance size trees, will be removed during both phases of construction to accommodate the construction of the hospital expansion and associated site improvements. The project will plant a total of 60 new 24-inch box trees on-site as replacement trees for the trees to be removed. The approved plan set, dated February 15, 2019, includes a detailed planting plan. During construction, adequate tree protection measures will be used to protect the roots and canopies of existing trees that remain on site.

Commercial Design Guidelines

The existing building consists of painted stucco walls with tile accents wrapped around the building exterior and a combination of flat and clay tile sloping roofs. The building expansion will be compatible to the existing building style and design, including materials and colors, in conformance with the City's Commercial Design Guidelines. The exterior of the building will be accentuated with standing seam metal blue roof panels, will be clad with a mix of painted concrete walls and clay tile base veneer, with tile accents and aluminum storefront columns and windows, which would provide an attractive finish.

The orientation, location and elevations of the building addition will conform with the Commercial Design Guidelines, and the overall project includes design elements that are compatible with the architecture and materials of buildings in the surrounding area.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

Pursuant to CEQA Guidelines Section 15164, the City prepared an Addendum to the Edenvale Redevelopment Project Environmental Impact Report (EIR), certified by City Council Resolution No. 69699 on June 20, 2000; the Edenvale Redevelopment Project Supplemental EIR, certified by City Council Resolution No. 70021 on November 21, 2000; the Envision San Jose 2040 General Plan EIR, certified by City Council Resolution No. 76041 on November 1, 2011; and the Envision San Jose 2040 General Plan Supplemental EIR, certified by City Council Resolution No. 77617 on December 15, 2015, and Addenda thereto. Based on the analysis and conclusions in the Addendum, the proposed project would not result in any new impacts not previously disclosed in these EIRs, nor would it result in a substantial increase in the magnitude of any significant environmental impact previously identified in the EIRs. The link to the posted Addendum is available here: <http://www.sanjoseca.gov/index.aspx?NID=6321>.

Although the project will not result in any new significant effects or an increase in the severity of an existing significant effect on the environment, revisions to standard measures and mitigation measures were made to reflect current General Plan policies and current protocols, which have been updated to incorporate applicable mitigations from the 2000 Edenvale FEIR, 2000 Edenvale SEIR, General Plan FPEIR and SEIR into the project. A related Mitigation Monitoring and Reporting Program was prepared that incorporates certain mitigation measures from the previously certified 2000 Edenvale FEIR, 2000 Edenvale SEIR, General Plan FPEIR and SEIR, which have been updated and refined to reflect the current regulatory context.

PUBLIC HEARING NOTIFICATION

Staff followed Council Policy 6-30: Public Outreach Policy to inform the public of the proposed project. A community meeting was held on November 14, 2018, to receive public comment and address project related issues. The meeting was mailed at a 1,000 foot radius, as well as the Basking Ridge neighborhood. This meeting was attended by ten residents. The concerns raised by the attendees included the justification for expansion of the hospital, the process of discharging the patients once the services were provided, any required security and police supervision, number of employees of the facility, number of patients per day and the reputation of the hospital. The applicant (Acadia Healthcare) provided a PowerPoint presentation and answered residents' questions.

A notice of the public hearing was distributed to the owners and tenants of all properties located within 1,000 feet of the project site and posted on the City website. The staff report was also posted on the City's website. Staff has been available to respond to questions from the public.

/s/

Rosalynn Hughey, Director
Planning, Building and Code Enforcement

For questions, please contact Robert Manford, Deputy Director, at (408) 535-7900.

Attachment: Operations Plan
Project Plans

**San Jose Behavioral Health
Phase I & II - Campus Expansion**

Functional Program Narrative

C18-022 & CP18-029

OPERATIONS SUPPLEMENT

1. Ambulances entering and leaving the facility to drop off or pick-up patients will not use lights or sirens.

2. Patients entering the facility will be escorted to to an examination rooms to determine if they will be admitted or discharged and treated accordingly.

3. 24 hour security surveillance shall be provided for the facility and security patrol of the exterior of the premises during the hours of 8:00 am to 5:00 pm.

4. Outdoor patio areas will be locked down at night time hours and be available for use between the hours of 8:00 am to 5:00 pm.

5. The entire facility and building area will be gated and remained secured at all times.

6. In patients shall be escorted at all times and when discharged will be to a family member or arranged taxi pick-up or Ride Share service.

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 B4.4 Adolescent Intensive Outpatient Program PHASE II15

 B5.1 Adult Crisis Stabilization Services PHASE 116

San Jose Behavioral Health is located at 455 Silicon Valley Boulevard in San Jose California on a single parcel 6.9-acre lot. The existing facility dates to 1989 and has been occupied as a psychiatric hospital since the building's inception. Santa Clara County purchased the facility in 2000 and near 2013 began to lease the facility to Acadia after they completed code and seismic upgrades to the building. The single-story, approximately 55,175 SF building has been zoned A – Agricultural district with a Planned Development permit (PD) accommodating for the use of the facility. Rezoning of the site will be needed to conform with San Jose's General Plan 2040. The site will be re-zoned to CIC – Commercial and Industrial Combined district, with a Conditional Use Permit (CUP) to allow for the behavioral healthcare facility use for these developments. The proposed developments of the facility will consist of two (2) phases with a proposed change in zoning to the site.

These campus expansions will benefit the hospital by clearly defining zones of program per unit. These expansions will allow easier access to critical care with a dedicated ambulance drop off, a conveniently located outpatient unit at the front of the building, along with adding nursing units and admin space to facilitate growth in the patient population. With these additions, the floor layout, the products selection for this facility, and built environment have been coordinated to provide maximum safety for patients and staff.

Phase I of the project will occur at the northwest portion of the building. It will consist of two adjacent campus expansions; a two-story approximately 28,000 SF building with admin space, three psychiatric nursing units of 53-Beds total including a 1-Bed isolation suite and a one-story approximately 3,000 SF storage area. This phase will include an ambulance drop-off and the need to relocate and widen the existing fire lane along the perimeter of the west portion of the facility.

Phase II will occur at the northeast portion of the building. This phase will consist of another two building expansion; a two-story approximately 24,400 SF admin space with two psychiatric nursing units with 35-Beds total including a 1-Bed isolation suite and a one-story approximately 4,000 SF outpatient building. These additions will also connect directly to the existing building. This phase will push the existing front entrance further east and re-work a portion of the existing parking lot. This is a future phase of the project.

A2	BUILDING CLASSIFICATION	
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A2.1	Existing Building	<p>Occupancy Type: 1-3</p> <p>Construction Type: V-A</p> <p>Building Height: 26ft -1 Story</p> <p>Year of Construction: 1989</p> <p>Project Area: 54,000 SF (Approx.)</p>									
A2.2	New Construction - Phase 1	<p>Occupancy Type: 1-2</p> <p>Construction Type: 1-B</p> <p>Building Height: 30ft -2 Story</p> <p>Year of Construction: 2019</p> <p>Project Area: 31,000 SF (Approx.)</p> <p>The proposed Phase I project consists of a 2-story and two 1-story expansion with the following areas:</p> <table style="margin-left: 40px;"> <tr> <td>2-Story Building</td> <td>=</td> <td>28,000 SF (Approx.)</td> </tr> <tr> <td>1-Story Building</td> <td>=</td> <td>3,000 SF (Approx.)</td> </tr> <tr> <td colspan="3" style="text-align: center;">Total Phase I Project Area: 31,000 SF (Approx.)</td> </tr> </table>	2-Story Building	=	28,000 SF (Approx.)	1-Story Building	=	3,000 SF (Approx.)	Total Phase I Project Area: 31,000 SF (Approx.)		
2-Story Building	=	28,000 SF (Approx.)									
1-Story Building	=	3,000 SF (Approx.)									
Total Phase I Project Area: 31,000 SF (Approx.)											

A3	BUILDING SYSTEMS	
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A3.1	Structural Systems	<p>2-Story Expansion:</p> <p>The second floor shall be light-weight concrete over steel decking supported on steel beams. The lateral force resisting system shall consist of rigid concrete diaphragms which span to steel moment frames which are supported by reinforced concrete grade beams and spread footings. The roof shall be light-weight concrete over steel decking supported on steel beams.</p> <p>1-Story Expansion:</p> <p>The lateral force resisting system shall consist of steel deck roof diaphragms which span to shear walls consisting of sheet metal over steel studs, supported by reinforced spread footings.</p>
A3.2	Architectural Systems	<p>Exterior Walls:</p> <p>The exterior of the building will aesthetically match appearance of existing building.</p> <p>Structural cold formed metal framing with 5/8 - inch glass mat faced gypsum sheathing.</p> <p>EIFS System over R-10 extruded polystyrene continuous insulation, R-13 insulation in the stud cavities.</p> <p>Weather / Vapor Barrier will be a Liquid-applied vapor permeable air and water barrier membrane, integral to the Dryvit system</p>

Exterior Windows:

Patient Windows:

Store Front Windows - Fritted

Non- Patient Storefront windows and doors:

Extruded Aluminum Storefront Systems with color and appearance to match the existing facility.

Interior Partitions:

Patient Areas: High Impact Gypsum board, over heavy gauge metal stud framing with sound attenuation blanketing painted finish.

Non-Patient Areas: Gypsum board over heavy gauge metal stud framing with sound attenuation blanketing, painted finish.

Interior Doors:

Solid Core wood doors, visibility borrowed lites as required.

Patient Toilet Rooms: Anti Ligature Foam Doors

Ceilings:

Acoustical Suspended Ceilings:

All Patient Corridors over or at 9' in height, high impact tile on seismic braced suspended metal framing.

Staff Areas and Non-Patient Corridors

Suspended Plaster and Gypsum Board Ceilings:

All Patient Rooms, Group Rooms and Consultation Areas – Gypsum board on seismic braced suspended metal framing.

Furnishing:

Fixed Furnishing Includes:

- Custom and manufactured stock design steel, wood, and laminate faced cabinets and other casework units.
- Countertops with integral sinks, fixtures and accessories.
- Healthcare Casework with seismic bracing details.
- Fixed Wall Art

A3.3

Plumbing Systems

Domestic Water Distribution:

The existing water service is 4" and enters the building in the Boiler/Mechanical Room will be upgrade to a new 6" service which will serve both the existing building and the new campus expansion buildings.

Domestic Hot Water System:

The current building's domestic heating hot water is served by two (2) water heaters each with an input capacity of 499,900 BTU/Hr .

Three new domestic hot water heaters will be provided to serve the Phase 1 campus expansion,

Sanitary Drainage:

Conneting new 6" sanitary line from Phase 1 expansion into existng sanitary system running under the existing building slab out to the main sewer line.

Storm Water:

Storm water will be collected on the room and discharging to grade via scuppers and externally mounted drain piping.

A3.4

HVAC Systems

Fuel Systems:

The current building has a natural gas service that serves the kitchen as well as the domestic water needs of the facility.

The current natural gas piping will be expanded from its current location to serve the new dedicated outside air handler units (DOAS) that will be located on the roof of both additions. The rooftop units will have a gas fired furnace to heat the air in winter to allow for delivery of neutral airflow temperatures to the space.

In addition to the DOAS units indicated above, each campus expansion will have a standalone domestic water heater and storage capability to accommodate the requirements of the new building.

HVAC – Heating & Cooling Systems:

The current building is served by two (2) air cooled chillers recently installed within the last few months and located within the equipment yard. Chilled water is distributed to a total of five (5) rooftop air handling units serving the building. Two heating hot water condensing boilers serve the entire facility's heating hot water needs.

The new heat and cooling systems for the new Phase 1 expansion will be independent of any of the current systems serving the building. Cooling will be achieved from two sources. The first, serving the latent / ventilation needs of the facility will be from a packaged roof mounted, dedicated outside air systems (DOAS) with gas fired heating and Direct Expansion (DX) cooling.

The sensible load of the new expansion will be through a variable refrigerant flow system (VRF) that will provide simultaneous heating and cooling to each space.

A3.5

Fire Protection Systems

Fire Suppression:

The current facility is served by a wet pipe sprinkler system. There is currently a 4" sprinkler riser located in the boiler room.

The design intent for the fire protection is to provide a new wet pipe sprinkler system to serve both additions. A new dedicated sprinkler riser will need to be installed due to the increase area of the facility. The new system shall be light hazard with similar coverage as the current system.

Fire Protection:

The new riser shall be equipped with all required notification devices such as tamper and flow switches.

A3.6

Electical Systems

Facility Power Generation:

The building is served a diesel generator sized for 450KW or 562.5 amps at 460 volt-3 phase. The generator is estimated to have sufficient capacity to utilize the existng generator for the building expansion.

There is an Acadia standard to maintain three days of backup generator fuel on site. The current generator has a belly tank that is believed to provide approximately 8 hours of service. A separate diesel tank will be required to be installed to increase the fuel storage capacity to meet this requirement.

Electrical Service and Distribution:

The electrical service serving the building is rated for 2000 amps at 460/277 Volt-3 phase 4-wire. The current electrical service is sufficient to serve the expansion of both Phase I & Phase II Campus expansion

New electrical distribution panels will be provided in the new expansion. Both 460/277 volt and 120/208 volt panels will be installed to serve the electrical needs of the additions.

Transformers will are provided reduce the voltage from 480/277 to 120/208 volts.

Lighting:

All new lighting for the additions will be LED type. The fixtures are a mix of standard lay-in fixtures as well as anti-ligature fixtures for the patient rooms. The patient access area will have anti-ligature type light fixtures. The non-patient area will have standard lay-in type light fixtures.

Exit and emergency lighting will be at all exit doors and egress paths. The existng emergency generator shall power all emergency lighting and exit signs. The patient room bathroom and patient group room light fixtures shall be connected to emergency lighting branch circuit with ceiling mounted occupancy sensor and key switch.

A3.7

Communicaion Systems

New IDF IT room will be served from existing MDF room. To include Switching and routing equipment, Computer equipment for data communications

Nurse call system:

- Nottficaiton call system
- VOIP phone
- Emergengy push button

Ceiling Speaker System:

- Paging system
- Sound masking (white noise) system
- AV Speakers connected to wall mouted viewing screens controls from nurses station.

A3.8

Electronic Safety and Security

Access Control:

- Card reader door access
- Alphone Intercom system

Electronic Surveillance:

- Camera equipment for detecting and controlling access by persons to a facility site, building, or within a building.

Fire Detection and Alarm:

The existing Siemens fire alarm system shall be extended to the new addition of the building. There shall be smoke detector throughout the corridor and common areas as required. There shall be notification devices in the bathrooms, group rooms, corridors, consultation rooms, etc. There shall be smoke detector devices within 5'-0" of the magnetic door hold device with fire alarm relay. There shall include manual pull station within 5'-0" of the exit door.

Monitoring and recording of fire protection devices and fire suppression systems; audio and/or visual warning systems for inhabitants of structures and for fire fighting authorities; activation of elevators and air handling systems to a predetermine fire mode; and other fire protection functions.

B**CAMPUS OPERATIONS AND PATIENT CARE NARRATIVE****(PHASE I & PHASE II BUILDING EXPANSIONS + EXISTING FACILITY)****IN-PATIENT SERVICES**

B1.1	Adult Mental Health	PHASE I	PATIENTS	17
B1.2	Adult Mental Health	PHASE I	PATIENTS	18
B1.3	Adult Dual Diagnosis	PHASE I	PATIENTS	18
			PHASE I - TOTAL	53
B2.1	Older Adult Mental Health	PHASE II	PATIENTS	18
B2.2	Pediatric Mental Health	PHASE II	PATIENTS	17
			PHASE II - TOTAL	35
B3.1	Adult Men Only Mental Health	EXTG	PATIENTS	17
B3.2	Older Adult Mental Health	EXTG	PATIENTS	23
B3.3	Adult Mental Health	EXTG	PATIENTS	23
B3.4	Adolescent Mental Health	EXTG	PATIENTS	17
			EXTG - TOTAL	80
			TOTAL IN-PATIENTS	168

OUT-PATIENT SERVICES

B4.1	Adult Partial Hospitalization Program	PHASE II	PATIENTS	15
B4.2	Adult Intensive Outpatient Program	PHASE II	PATIENTS	15
B4.3	Adolescent Partial Hospitalization Program	PHASE II	PATIENTS	15
B4.5	Adolescent Intensive Outpatient Program	PHASE II	PATIENTS	15
			TOTAL OUT-PATIENTS	60

CRISIS STABILIZATION SERVICES

B5.1	Adult Crisis Stabilization Services	PHASE I	PATIENTS	10
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B1.1.	Adult Mental Health	PHASE I	Patients:	17
	<ul style="list-style-type: none"> • <u>Types of Service:</u> <ul style="list-style-type: none"> ○ The Adult Mental Health program treats those patients suffering from mental health issues that range from depression to bipolar disorder to schizophrenia and everything in between. In this safe environment, individuals work with the multidisciplinary treatment team to receive individualized crisis stabilization services. With the treatment team, the individual will develop coping skills both through medication management and development of coping skills through individual and group therapy. In addition to meeting the individuals behavioral health needs, our treatment team works to provide care for adults who are also suffering from a variety of secondary physical health issues such as diabetes, COPD, and asthma. <p>Services include: medication management; behavioral management; care coordination; discharge planning; family therapy, education, support; individual and group therapy – both psychoeducation and process groups; medical evaluation; recreational therapy; art therapy; occupational therapy.</p> • <u>Hours of Operation:</u> <ul style="list-style-type: none"> ○ 24 hours per day, 7 days per week • <u>Staffing Requirements:</u> <ul style="list-style-type: none"> ○ <u>Types and Numbers:</u> <ul style="list-style-type: none"> ▪ Psychiatrist: 1 ▪ Licensed Nursing Staff (Registered Nurses, Licensed Vocational Nurses, and Licensed Psychiatric Technicians): 3 ▪ Mental Health Technicians: 3 ▪ Case Managers (Social Workers, Marriage and Family Therapists, Professional Counselors): 2 ○ <u>Number of Shifts:</u> 3 			

B1.2	Adult Mental Health	PHASE I	PATIENTS	18
	<ul style="list-style-type: none"> • <u>Types of Service:</u> <ul style="list-style-type: none"> ○ The Adult Mental Health program treats those patients suffering from mental health issues that range from depression to bipolar disorder to schizophrenia and everything in between. In this safe environment, individuals work with the multidisciplinary treatment team to receive individualized crisis stabilization services. With the treatment team, the individual will develop coping skills both through medication management and development of coping skills through individual and group therapy. In addition to meeting the individuals behavioral health needs, our treatment team works to provide care for adults who are also suffering from a variety of secondary physical health issues such as diabetes, COPD, and asthma. <p>Services include: medication management; behavioral management; care coordination; discharge planning; family therapy, education, support; individual and group therapy – both psychoeducation and process groups; medical evaluation; recreational therapy; art therapy; occupational therapy.</p> • <u>Hours of Operation:</u> <ul style="list-style-type: none"> ○ 24 hours per day, 7 days per week • <u>Staffing Requirements:</u> <ul style="list-style-type: none"> ○ <u>Types and Numbers:</u> <ul style="list-style-type: none"> ▪ Psychiatrist: 1 ▪ Licensed Nursing Staff (Registered Nurses, Licensed Vocational Nurses, and Licensed Psychiatric Technicians): 3 ▪ Mental Health Technicians: 3 ▪ Case Managers (Social Workers, Marriage and Family Therapists, Professional Counselors): 2 ○ <u>Number of Shifts:</u> 3 			

B1.3	Adult Dual Diagnosis	PHASE I	PATIENTS	18
<ul style="list-style-type: none"> • <u>Types of Service:</u> <ul style="list-style-type: none"> ○ The Adult Dual Diagnosis program treats those patients suffering from co-occurring disorders involving substance abuse and a mental health issue, multiple mental health issues, or a combination of other disorders. In this warm and nurturing environment, individuals are treated based on their individual needs, and a combination of therapeutic and recovery interventions help the person work through their mental health issues and teaches them coping skills without the use of substances such as drugs and alcohol. In addition, patients in this program may be admitted with a primary substance abuse disorder and secondary mental health disorder requiring medical detoxification services before addressing the individuals behavioral health needs. Our nursing staff is able to provide a safe environment which allows for constant observation and withdrawal symptom management. <p style="margin-left: 40px;">Services include: medication management; medical detoxification; behavioral management; care coordination; discharge planning; family therapy, education, support; individual and group therapy – both psychoeducation and process groups; dual diagnosis groups; substance abuse specific programming; medical evaluation; recreational therapy; art therapy; occupational therapy.</p> • <u>Hours of Operation:</u> <ul style="list-style-type: none"> ○ 24 hours per day, 7 days per week • <u>Staffing Requirements:</u> <ul style="list-style-type: none"> ○ <u>Types and Numbers:</u> <ul style="list-style-type: none"> ▪ Psychiatrist: 1 ▪ Licensed Nursing Staff (Registered Nurses, Licensed Vocational Nurses, and Licensed Psychiatric Technicians): 3 ▪ Mental Health Technicians: 3 ▪ Case Managers (Social Workers, Marriage and Family Therapists, Professional Counselors): 2 ○ <u>Number of Shifts:</u> 3 				

B2.1	Older Adult Mental Health	PHASE II	PATIENTS	18
<ul style="list-style-type: none"> • <u>Types of Service:</u> <ul style="list-style-type: none"> ○ The Older Adult Mental Health unit focuses treatment on those adults ages 55 and up that are in need of crisis stabilization services. With a strong emphasis on meeting a senior's need for independence, this program seeks to provide stabilization services that center on symptom management, caregiver and family education, structured daily programming for a therapeutic environment, and medical diagnoses that complicate the individuals behavioral health needs. Our therapeutic environment takes into consideration the physical, social, emotional, and spiritual needs of the elderly patient population. <p style="margin-left: 40px;">Services include: medication management; behavioral management; care coordination; discharge planning; family therapy, education, support; individual and group therapy – both psychoeducation and process groups; medical evaluation; recreational therapy; art therapy; occupational therapy.</p> • <u>Hours of Operation:</u> <ul style="list-style-type: none"> ○ 24 hours per day, 7 days per week • <u>Staffing Requirements:</u> <ul style="list-style-type: none"> ○ <u>Types and Numbers:</u> <ul style="list-style-type: none"> ▪ Psychiatrist: 1 ▪ Licensed Nursing Staff (Registered Nurses, Licensed Vocational Nurses, and Licensed Psychiatric Technicians): 3 ▪ Mental Health Technicians: 3 ▪ Case Managers (Social Workers, Marriage and Family Therapists, Professional Counselors): 2 • <u>Number of Shifts:</u> 3 				

- Types of Service:
 - The Child Mental Health Program, for those patients ages 5-12, focuses on developmental issues of school and family problems. Frequently, hyperactivity and depression are the presenting problems which have led to the child being a danger to themselves or others. The warm, nurturing environment, with an emphasis on self-management and skill development, provides a stable and positive atmosphere needed for continued psychological and emotional growth for children. While in this program, crisis stabilization begins with an assessment of the patient prior to admission to determine if hospitalization is appropriate. During the stay, patients will be engaged in social activities and highly structured daily therapeutic programming. Each treatment plan is individualized to the patient and is developed and reviewed by our multidisciplinary team.

Services include: medication management; behavioral management; care coordination; discharge planning; family therapy, education, support; individual and group therapy – both psychoeducation and process groups; medical evaluation; recreational therapy; art therapy; primary and intermediate education; psychological and education testing.
- Hours of Operation:
 - 24 hours per day, 7 days per week
- Staffing Requirements:
 - Types and Numbers:
 - Psychiatrist: 1
 - Licensed Nursing Staff (Registered Nurses, Licensed Vocational Nurses, and Licensed Psychiatric Technicians): 3
 - Mental Health Technicians: 3
 - Case Managers (Social Workers, Marriage and Family Therapists, Professional Counselors): 2
 - Number of Shifts: 3

- Types of Service:
 - The Adult Mental Health program treats those patients suffering from mental health issues that range from depression to bipolar disorder to schizophrenia and everything in between. In this safe environment, individuals work with the multidisciplinary treatment team to receive individualized crisis stabilization services. With the treatment team, the individual will develop coping skills both through medication management and development of coping skills through individual and group therapy. In addition to meeting the individuals behavioral health needs, our treatment team works to provide care for adults who are also suffering from a variety of secondary physical health issues such as diabetes, COPD, and asthma.

Services include: medication management; behavioral management; care coordination; discharge planning; family therapy, education, support; individual and group therapy – both psychoeducation and process groups; medical evaluation; recreational therapy; art therapy; occupational therapy.
- Hours of Operation:
 - 24 hours per day, 7 days per week
- Staffing Requirements:
 - Types and Numbers:
 - Psychiatrist: 1
 - Licensed Nursing Staff (Registered Nurses, Licensed Vocational Nurses, and Licensed Psychiatric Technicians): 3
 - Mental Health Technicians: 3
 - Case Managers (Social Workers, Marriage and Family Therapists, Professional Counselors): 2
 - Number of Shifts: 3

- Types of Service:
 - The Older Adult Mental Health unit focuses treatment on those adults ages 55 and up that are in need of crisis stabilization services. With a strong emphasis on meeting a senior's need for independence, this program seeks to provide stabilization services that center on symptom management, caregiver and family education, structured daily programming for a therapeutic environment, and medical diagnoses that complicate the individuals behavioral health needs. Our therapeutic environment takes into consideration the physical, social, emotional, and spiritual needs of the elderly patient population.

Services include: medication management; behavioral management; care coordination; discharge planning; family therapy, education, support; individual and group therapy – both psychoeducation and process groups; medical evaluation; recreational therapy; art therapy; occupational therapy.
- Hours of Operation:
 - 24 hours per day, 7 days per week
- Staffing Requirements:
 - Types and Numbers:
 - Psychiatrist: 1
 - Licensed Nursing Staff (Registered Nurses, Licensed Vocational Nurses, and Licensed Psychiatric Technicians): 3
 - Mental Health Technicians: 3
 - Case Managers (Social Workers, Marriage and Family Therapists, Professional Counselors): 2
 - Number of Shifts: 3

- Types of Service:
 - The Adult Mental Health program treats those patients suffering from mental health issues that range from depression to bipolar disorder to schizophrenia and everything in between. In this safe environment, individuals work with the multidisciplinary treatment team to receive individualized crisis stabilization services. With the treatment team, the individual will develop coping skills both through medication management and development of coping skills through individual and group therapy. In addition to meeting the individuals behavioral health needs, our treatment team works to provide care for adults who are also suffering from a variety of secondary physical health issues such as diabetes, COPD, and asthma.

Services include: medication management; behavioral management; care coordination; discharge planning; family therapy, education, support; individual and group therapy – both psychoeducation and process groups; medical evaluation; recreational therapy; art therapy; occupational therapy.
- Hours of Operation:
 - 24 hours per day, 7 days per week
- Staffing Requirements:
 - Types and Numbers:
 - Psychiatrist: 1
 - Licensed Nursing Staff (Registered Nurses, Licensed Vocational Nurses, and Licensed Psychiatric Technicians): 3
 - Mental Health Technicians: 3
 - Case Managers (Social Workers, Marriage and Family Therapists, Professional Counselors): 2
 - Number of Shifts: 3

- Types of Service:
 - The Child Mental Health Program, for those patients ages 5-12, focuses on developmental issues of school and family problems. Frequently, hyperactivity and depression are the presenting problems which have led to the child being a danger to themselves or others. The warm, nurturing environment, with an emphasis on self-management and skill development, provides a stable and positive atmosphere needed for continued psychological and emotional growth for children. While in this program, crisis stabilization begins with an assessment of the patient prior to admission to determine if hospitalization is appropriate. During the stay, patients will be engaged in social activities and highly structured daily therapeutic programming. Each treatment plan is individualized to the patient and is developed and reviewed by our multidisciplinary team.

Services include: medication management; behavioral management; care coordination; discharge planning; family therapy, education, support; individual and group therapy – both psychoeducation and process groups; medical evaluation; recreational therapy; art therapy; primary and intermediate education; psychological and education testing.
- Hours of Operation:
 - 24 hours per day, 7 days per week
- Staffing Requirements:
 - Types and Numbers:
 - Psychiatrist: 1
 - Licensed Nursing Staff (Registered Nurses, Licensed Vocational Nurses, and Licensed Psychiatric Technicians): 3
 - Mental Health Technicians: 3
 - Case Managers (Social Workers, Marriage and Family Therapists, Professional Counselors): 2
 - Number of Shifts: 3

- Types of Service:
 - The Adult Partial Hospitalization Program is a voluntary program that ideal for those individuals seeking mental health services that occur at a more frequent and intense level than typical outpatient therapy. Individuals in this program are either stepping down from an inpatient psychiatric unit and require more intensive and frequent services as well as continued medication management or are individuals in the community that are not immediately a danger to themselves or others yet require more intensive services to help them process through their behavioral health needs. In the Partial Hospitalization Program individuals can receive assistance with symptom reduction and guidance through their recovery with their co-occurring disorders. Individuals in this program will attend Monday through Friday for six hours a day where they will participate in psychoeducation groups, experiential process groups, and medication-education groups. Modalities will include Cognitive Behavioral Therapy, Dialectical Behavior Therapy, motivational interviewing, experiential group processing, and trauma informed therapy. In addition, individuals in this program will meet with a psychiatrist or advanced practitioner on a weekly basis to discuss medication management.
- Hours of Operation:
 - 09:00-17:00 Monday-Friday
- Staffing Requirements:
 - Types and Numbers:
 - Director of Outpatient Services: 1
 - Outpatient Therapist / Social Worker / Marriage and Family Therapist / Professional Counselor: 1

- Registered Nurse: 1
- Mental Health Technician: 1
- Psychiatrist: 1 (shared with Adolescent PHP)
- Number of Shifts: 1

B4.2	Adult Intensive Outpatient Program	PHASE II	PATIENTS	15
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- Types of Service:
 - The Adult Intensive Outpatient Program is a voluntary program that ideal for those individuals seeking mental health services that occur at a more frequent and intense level than typical outpatient therapy yet does not require the same intensity as Partial Hospitalization. Individuals in this program are either stepping down from an inpatient psychiatric unit or partial hospitalization program and require more intensive and frequent services as well as continued medication management or are individuals in the community that are not immediately a danger to themselves or others yet require more intensive services to help them process through their behavioral health needs. In the Intensive Outpatient Program individuals can receive assistance with symptom reduction and guidance through their recovery with their co-occurring disorders. Individuals in this program will attend Monday through Friday for three hours a day where they will participate in psychoeducation groups and experiential process groups. Modalities will include Cognitive Behavioral Therapy, Dialectical Behavior Therapy, motivational interviewing, experiential group processing, and trauma informed therapy.
- Hours of Operation:
 - 09:00-13:00 Monday-Friday
- Staffing Requirements:
 - Types and Numbers:
 - Director of Outpatient Services: 1
 - Outpatient Therapist / Social Worker / Marriage and Family Therapist / Professional Counselor: 1
 - Registered Nurse: 1
 - Mental Health Technician: 1
 - Number of Shifts: 1

B4.3	Adolescent Partial Hospitalization Program	PHASE II	PATIENTS	15
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- Types of Service:
 - The Adolescent Partial Hospitalization Program is a voluntary program that ideal for those individuals seeking mental health services that occur at a more frequent and intense level than typical outpatient therapy. Individuals in this program are either stepping down from an inpatient psychiatric unit and require more intensive and frequent services as well as continued medication management or are individuals in the community that are not immediately a danger to themselves or others yet require more intensive services to help them process through their behavioral health needs. In the Partial Hospitalization Program, individuals can receive assistance with symptom reduction and guidance through their recovery with their co-occurring disorders. Individuals in this program will attend Monday through Friday for six hours a day where they will participate in psychoeducation groups, experiential process groups, and medication-education groups. Modalities will include Cognitive Behavioral Therapy, Dialectical Behavior Therapy, motivational interviewing, experiential group processing, and trauma informed therapy. In addition, individuals in this program will meet with a psychiatrist or advanced practitioner on a weekly basis to discuss medication management. Finally, in order to ensure that the adolescent does not fall behind in their studies, individuals will meet with our teacher to receive educational services.

- Hours of Operation:
 - 09:00-17:00 Monday-Friday
- Staffing Requirements:
 - Types and Numbers:
 - Director of Outpatient Services: 1 (shared with Adult PHP and IOP)
 - Outpatient Therapist / Social Worker / Marriage and Family Therapist / Professional Counselor: 1
 - Registered Nurse: 1 (shared with Adult PHP and IOP)
 - Mental Health Technician: 1
 - Psychiatrist: 1 (shared with Adult PHP)
 - Teacher: 1
 - Number of Shifts: 1

B4.4	Adolescent Intensive Outpatient Program	PHASE II	PATIENTS	15
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- Types of Service:
 - The Adolescent Intensive Outpatient Program is a voluntary program that ideal for those individuals seeking mental health services that occur at a more frequent and intense level than typical outpatient therapy yet does not require the same intensity as Partial Hospitalization. Individuals in this program are either stepping down from an inpatient psychiatric unit or partial hospitalization program and require more intensive and frequent services as well as continued medication management or are individuals in the community that are not immediately a danger to themselves or others yet require more intensive services to help them process through their behavioral health needs. In the Intensive Outpatient Program individuals can receive assistance with symptom reduction and guidance through their recovery with their co-occurring disorders. Individuals in this program will attend Monday through Friday for three hours a day where they will participate in psychoeducation groups and experiential process groups. Modalities will include Cognitive Behavioral Therapy, Dialectical Behavior Therapy, motivational interviewing, experiential group processing, and trauma informed therapy. Finally, in order to ensure that the adolescent does not fall behind in their studies, individuals will meet with our teacher to receive educational services.
- Hours of Operation:
 - 09:00-13:00 Monday-Friday
- Staffing Requirements:
 - Types and Numbers:
 - Director of Outpatient Services: 1 (shared with Adult PHP and IOP)
 - Outpatient Therapist / Social Worker / Marriage and Family Therapist / Professional Counselor: 1
 - Registered Nurse: 1 (shared with Adult PHP and IOP)
 - Mental Health Technician: 1
 - Teacher: 1
 - Number of Shifts: 1

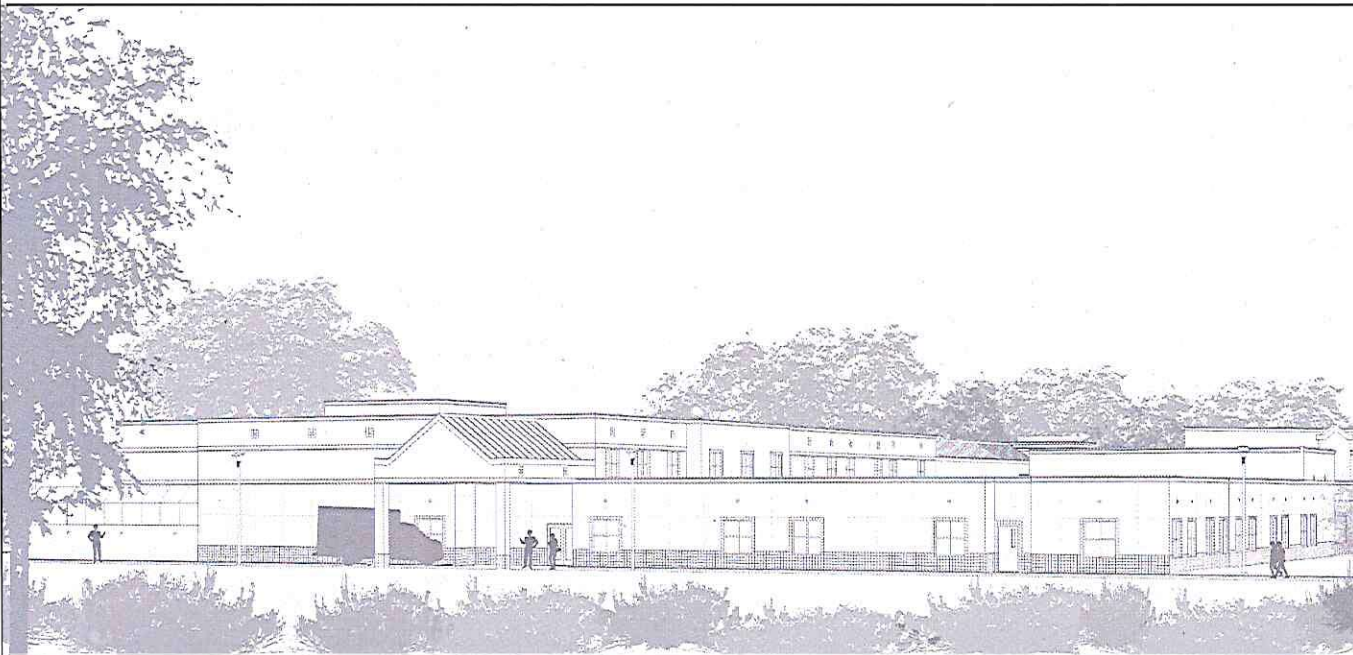
- Types of Service:
 - In the Crisis Stabilization Program, individuals receive emergency psychiatric and crisis stabilization services that include intervention, medication management, medication administration, consultation with significant others and outpatient providers, as well as linkage/referrals to follow-up care and community resources. The team also offers psychiatric consultation over the phone to emergency room staff and other community service professionals by request. The primary goal of the Crisis Stabilization Program is to refer clients to the most appropriate, non-hospital setting when indicated or to facilitate admission to one of our psychiatric inpatient units when the need for this level of care is present.

Services include: medication management; care coordination; discharge planning; medical evaluation; crisis intervention; psychiatric consultations.
- Hours of Operation:
 - 24 hours per day, 7 days per week
- Staffing Requirements:
 - Types and Numbers:
 - Psychiatrist: 1
 - Licensed Nursing Staff (Registered Nurses, Licensed Vocational Nurses, and Licensed Psychiatric Technicians): 3
 - Mental Health Technicians: 2
 - Case Managers (Social Workers, Marriage and Family Therapists, Professional Counselors): 1
- Number of Shifts: 3

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition



SCHEDULE - DRAWING - LIST

#	Sheet Name	DATE	BY
SHEET No. 1			
1.0	TITLE SHEET		
1.1	EXISTING FLOOR PLAN		
SHEET No. 2			
2.0	CONSTRUCTION NARRATIVE		
2.1	EXISTING 1ST FLOOR		
2.2	PHASE I 1ST FLOOR		
2.3	PHASE II 1ST FLOOR		
SHEET No. 3			
3.0	GRADING, DRAINAGE & EROSION PLAN		
SHEET No. 4			
4.0	EXISTING WATER CONTROL PLAN		
4.1	PHASE I WATER CONTROL PLAN		
4.2	PHASE II WATER CONTROL PLAN		
SHEET No. 5			
5.0	PHASE II - MAIN ENTRANCE		
5.1	PHASE II - CIRCULAR CARP PORCH		
5.2	PHASE II - EXTERIOR COVERWAYS		
5.3	LEVATIONS - LAID		
5.4	LEVATIONS - FINISH		
5.5	LEVATIONS - ROOF #1		
5.6	LEVATIONS - ROOF #2		
5.7	LEVATIONS - ROOF #3		
5.8	LEVATIONS - ROOF #4		
5.9	LEVATIONS - ROOF #5		
5.10	LEVATIONS - ROOF #6		
5.11	LEVATIONS - ROOF #7		
5.12	LEVATIONS - ROOF #8		
5.13	LEVATIONS - ROOF #9		
5.14	LEVATIONS - ROOF #10		
5.15	LEVATIONS - ROOF #11		
5.16	LEVATIONS - ROOF #12		
5.17	LEVATIONS - ROOF #13		
5.18	LEVATIONS - ROOF #14		
5.19	LEVATIONS - ROOF #15		
5.20	LEVATIONS - ROOF #16		
5.21	LEVATIONS - ROOF #17		
5.22	LEVATIONS - ROOF #18		
5.23	LEVATIONS - ROOF #19		
5.24	LEVATIONS - ROOF #20		
SHEET No. 6			
6.0	EXISTING 2ND FLOOR		
SHEET No. 7			
7.0	EXISTING - AREA PLAN		
7.1	EXISTING FLOOR PLAN		
7.2	COMPARISON LEVEL 1 - ARCHITECTURE PLAN		
7.3	COMPARISON LEVEL 2 - ARCHITECTURE PLAN		
7.4	PHASE I LEVEL 1 - ARCHITECTURE PLAN		
7.5	PHASE I LEVEL 1 - FINISH PLAN		
7.6	PHASE I LEVEL 2 - ARCHITECTURE PLAN		
7.7	PHASE I LEVEL 2 - FINISH PLAN		
7.8	PHASE II LEVEL 1 - ARCHITECTURE PLAN		
7.9	PHASE II LEVEL 1 - FINISH PLAN		
7.10	PHASE II LEVEL 2 - ARCHITECTURE PLAN		
7.11	PHASE II LEVEL 2 - FINISH PLAN		
7.12	PHASE II LEVEL 3 - ARCHITECTURE PLAN		
7.13	PHASE II LEVEL 3 - FINISH PLAN		
7.14	PHASE II ROOF PLAN		
7.15	PHASE II SITE PLAN - THE APPARATUS ACCESS ROAD		
7.16	PHASE II SITE PLAN - THE APPARATUS ACCESS ROAD		
SHEET No. 10			
10.1	THE APPARATUS PLAN		
10.2	THE APPARATUS PLAN AND PARTITION DETAILS		
10.3	EMERGENCY PLAN		
10.4	EMERGENCY PLAN		
10.5	EMERGENCY PLAN		
10.6	EMERGENCY PLAN		
10.7	EMERGENCY PLAN		
10.8	EMERGENCY PLAN		
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10.10	EMERGENCY PLAN		
10.11	EMERGENCY PLAN		
10.12	EMERGENCY PLAN		
10.13	EMERGENCY PLAN		
SHEET No. 11			
11.0	PHASE I - PHOTO METERICS		
11.1	PHASE I - PHOTO METERICS		
11.2	PHASE II - PHOTO METERICS		
SHEET No. 12			
12.0	DETAILS - WINDOW TYPE ROOF WALLS & SCREEN WALLS		
12.1	DETAILS - THE EXTERIOR ROOF WALLS & SCREEN WALLS		
12.2	DETAILS - WINDOW TYPE JAMB AND SILL		

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

BUILDING NARRATIVE / CODE INFORMATION

PROJECT DESCRIPTION		FIRE PROTECTION		APPLICABLE CODE		BUILDING CLASSIFICATION		PRIOR DEVELOPMENT PERMITS ISSUED		SPECIAL INSPECTIONS		STATEMENT					
THE PROJECT DESCRIBES THE REVISIONS OF THE SITE TO ACCORD WITH A CONDITIONAL USE PERMIT TO ALLOW THE FACILITY TO OPERATE IN A TWO (2) PHASE FACILITY DEVELOPMENT. THESE CHANGES CONSIST OF TWO ADDED BUILDING ADDITIONS TO THE EXISTING FACILITY AT THE NORTHERN PORTION OF THE BUILDING. THESE TWO WINGS CONSIST OF TWO ADDED BUILDING ADDITIONS OF 138,100 SQUARE FEET AT THE NORTHERN PORTION OF THE FACILITY. ALL ADDITIONS WILL BE FINISHED BY CLUSTERING EXISTING ZONES OF PROGRAMS BY THE ADDITIONAL ACCESS TO CHEMICAL CARE, AND PROVIDE MAXIMUM SAFETY FOR PATIENTS AND STAFF.		FIRE DEPARTMENT: SAN JOSE FIRE DEPARTMENT FIRE ALARMING SYSTEM: AUTOMATIC FIRE ALARMS & SYSTEMS STANDPIPE SYSTEM: NOT IN BUILDING SMOKE CONTROL: NOT IN BUILDING SMOKE AND HEAT VENTS: NOT IN BUILDING OCCUPANT LOAD: SEE THE SAFETY PLAN REGISTERED 120 WIDTH: SEE THE SAFETY PLAN		YEAR: 2014 CALIFORNIA ADMINISTRATIVE CODE CALIFORNIA BUILDING CODE CALIFORNIA MECHANICAL CODE CALIFORNIA FIRE CODE CALIFORNIA ELECTRICAL CODE CALIFORNIA FIRE CODE NFPA 101 LIFE SAFETY CODE CEC - CHAPTER 18 AND 2019 ADA CALIFORNIA ENERGY CODE PART 18 AND 2019 ADA IBC - AMERICAN INSTITUTE OF BUILDING OFFICIALS (AIA) IBC CHAPTER 11B HEALTH CARE DESIGN GUIDELINES CALIFORNIA DEPARTMENT OF HEALTH SERVICES HEALTH CARE DESIGN GUIDELINES CALIFORNIA DEPARTMENT OF HEALTH SERVICES ARCHITECTURAL DESIGN PROFESSION OFFICE (AIA) DESIGN PROFESSIONAL PLANNING AND DEVELOPMENT - COMM. DESIGN CODE - CALIFORNIA CODE OF REGULATIONS, TITLE 24		BUILDING: 43 SCHEDULED ROOM TYPE: V-A NFPA: 100 BUILDING HEIGHT: 24 FT - 1 STORY OCCUPANT LOAD: 31 LIFE SAFETY FINISHED AREA: 64,548 SQ FT PROPOSED: 138,100 EIC CONSTRUCTION TYPE: I-B NFPA: 221 BUILDING HEIGHT: 24 FT - 1 STORY OCCUPANT LOAD: 31 LIFE SAFETY FINISH AREA: 31,817 SQ FT FINISH AREA: 35,268 SQ FT COMPLETION AREA: 113,225 SQ FT		PERMIT NO.: F0384-138 DATE ISSUED: 1968-12-17 F0384-209 DATE ISSUED: 1985-06-01		GENERAL PLAN DESIGNATION: CMC COMBINATION INDUSTRIAL COMMERCIAL EDUCATIONAL (CIC/IC) - PLANNED DEVELOPMENT (PLD NO. F0384-138) PROPOSED ZONING: CMC - COMBINATION INDUSTRIAL COMMERCIAL PARCEL INFORMATION: 182 ACRES (SEE SHEET 3 FOR CALC) PAVEMENT REQUIREMENTS: 8 SPACES EXISTING PAVEMENT: 8 SPACES (SEE SHEET 3 FOR CALC) HOURS OF OPERATION: 24 HOURS PER DAY, 7 DAYS PER WEEK		AHC FIRE ALARMING SYSTEM TYPE: BARR WARNING STATION III ROOM: BARR CFC INSPECTIONS: BUILDING THE FORDING		THE MOST CRITICAL IN THESE CONSTRUCTION DOCUMENTS IS INTENDED TO BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING STANDARDS CODE, TITLES 19, AND 24, CALIFORNIA CODE OF REGULATIONS, INCLUDING ANY CORRECTIVE MEASURES NOT COVERED BY THE APPROVED PLANS AND SPECIFICATIONS UNDER THE CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER IS REQUIRED AND SPECIFIED IN THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY OWNER BEFORE PROCEEDING WITH THE WORK.			
ALPA Construction 6501 S. Central Ave Bedford Park, IL 60638 P: 408.948.0555 Contact: Brian Shauk		Acadia Healthcare 6100 Tower Circle Franklin, TN 37067 P: 408.533.0251 Contact: David Katsyly		Elara Engineering 30 N Wolf Rd, 2nd Floor Hillside, IL 60162 P: 708.236.0300 X 128 Contact: Bob St Martin		Myers-Beauly Engineering, PLLC 2411 Fayetteville Road Suite B Van Buren, AR, 72956 P: 478.474.4412 Contact: Jason R. Myers P., E.		Nelson Architect of California, LTD 6501 S. Central Ave Bedford Park, IL 60638 O: 708.887.2572 Contact: Jeff Nelson		Nelson Architect of California, LTD 6501 S. Central Ave Bedford Park, IL 60638 O: 708.887.2572 Contact: Jeff Nelson		HMH 1570 Oakland Road San Jose, CA 95131 P: 408.487.2200 Contact: Bill Snow, RIA		HMH 1570 Oakland Road San Jose, CA 95131 P: 408.487.2200 X 5542 Contact: Roy Hestrich, AICP		Acadia Healthcare 6100 Tower Circle Franklin, TN 37067 P: 408.533.0250 Contact: Aubrey Smith	
GC	GEN CONTRACTOR	LV	TELECOMMUNICATIONS	MEP	MEP ENGINEER	S	STRUCTURAL ENGINEER	I	INTERIOR	A	ARCHITECT	L	LANDSCAPE	C	CIVIL ENGINEER	O	OWNER



NELSON ARCHITECT OF CALIFORNIA, LTD
4401 S. Central Ave, Bedford Park II, 60638



San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

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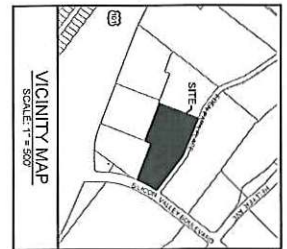
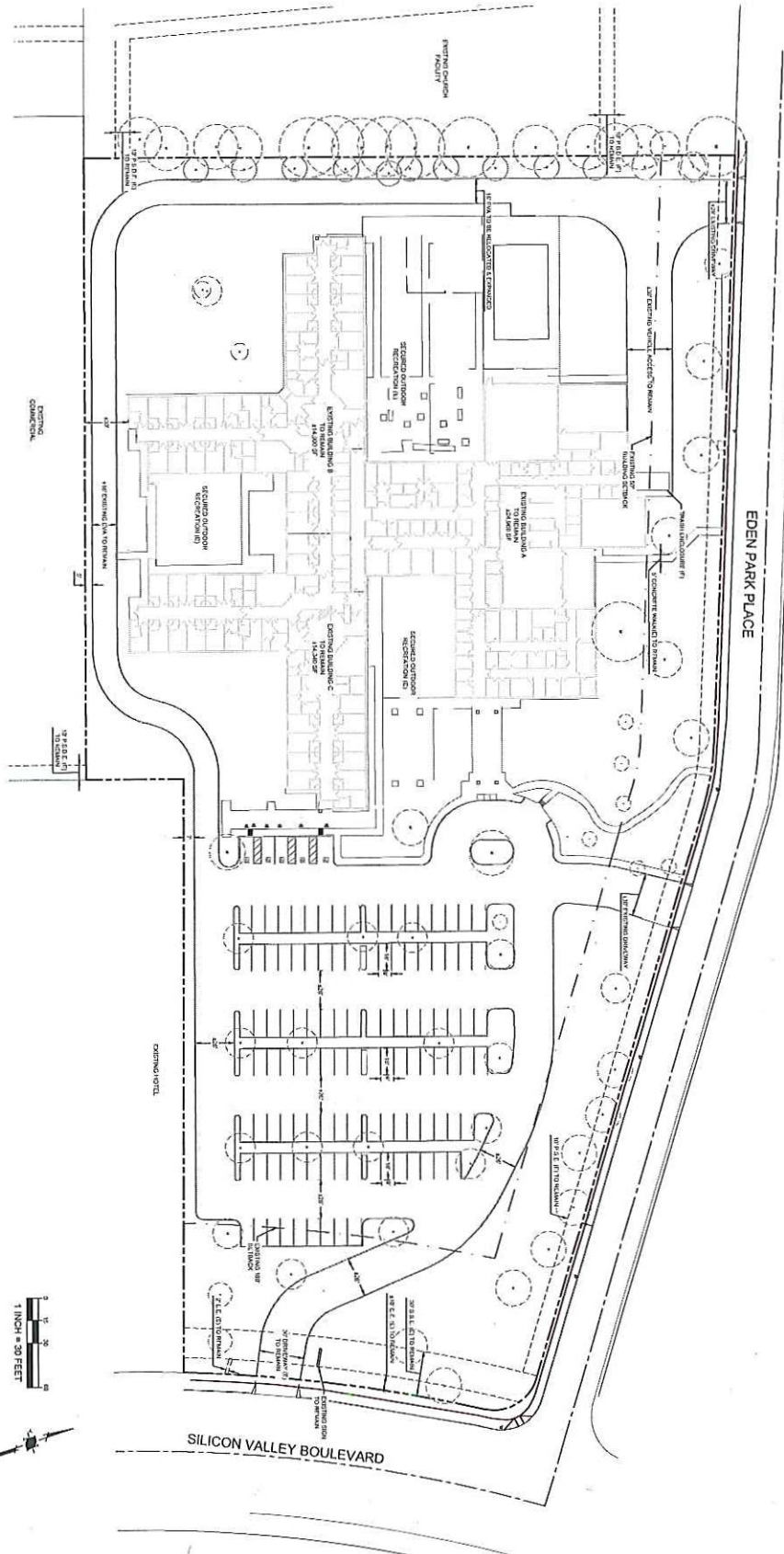
OSHPD ID#: 104434032
REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CCR 104434032

DATE:
OFFICE OF STATEWIDE HEALTH PLANNING AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION

#	Issued	Date
	17-181	

TITLE SHEET

1.0



LEGEND

PROJECT BOUNDARY	---
PROPERTY LINE (EXISTING)	---
EXISTING	---
PROPOSED	---
EXISTING DRIVE FACILITY	---
PROPOSED DRIVE FACILITY	---
EXISTING SIDEWALK	---
PROPOSED SIDEWALK	---
EXISTING DRIVEWAY	---
PROPOSED DRIVEWAY	---
EXISTING	---
PROPOSED	---



ALPHA CONSTRUCTION

NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Central Ave. Redwood Park II, 4432
San Jose, CA 95121

THMT
1575 Calaveras Blvd. (408) 487-2020
San Jose, CA 95131

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

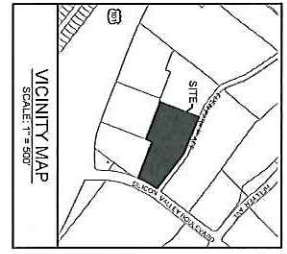
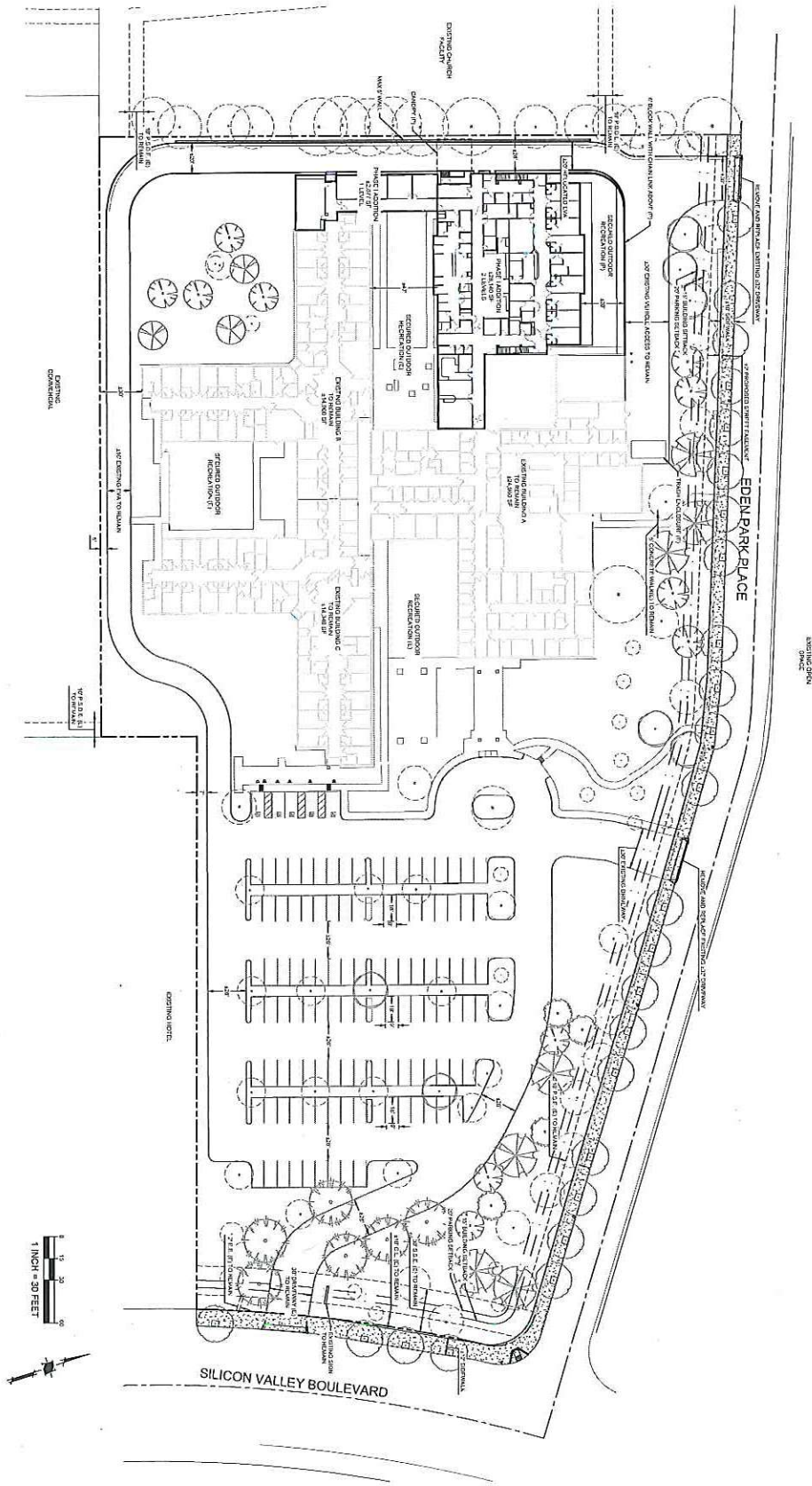
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

ACADIA
A DIVISION OF
CALIFORNIA ARCHITECTS

CREATED DATE: 10/24/2018
REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, SECTION 109475.1

DATE: 11-14-18
OFFICE OF PLANNING, PERMITS, AND DEVELOPMENT FACILITIES
DEVELOPMENT DIVISION

EXISTING SITE PLAN

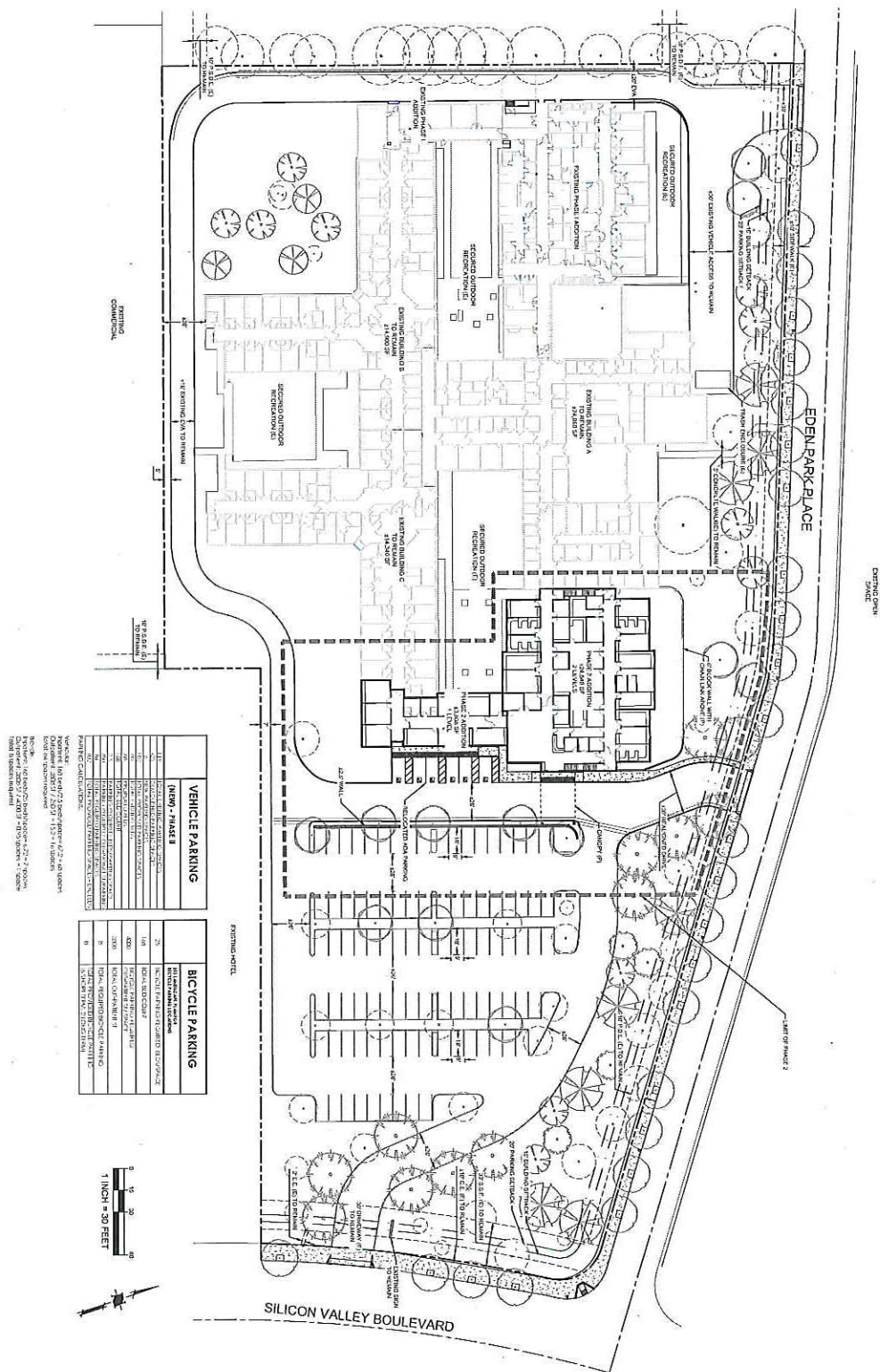


LEGEND

PROJECT BOUNDARY	---
PROPERTY LINE	---
PROPOSED NEW EXISTING	---
EXISTING	---
PROPOSED	---
PROPERTY LINE EXISTING	---
PROPOSED EXISTING	---
PROPOSED EXISTING	---
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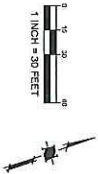
<p>NELSON ARCHITECT OF CALIFORNIA, LTD. 4401 S. Central Ave., Redford Park II, 48138</p>	<p>ALPHA CONSTRUCTION 1570 Chabot Road San Jose, CA 95131</p>	<p>San Jose Behavioral Health 455 Silicon Valley Blvd, San Jose, CA 95138 Phase I & Phase II - Building Addition 02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT</p>	<p>ACADIA OWNER: DMH 154543023 REVIEWED BY: ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 4.24.030202</p>	<p>OFFICE OF PLANNING AND DEVELOPMENT DIVISION DEVELOPMENT DIVISION DATE: 10-18-19</p>	<p>PHASE I SITE PLAN</p>
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LEGEND

PROJECT CONSULTANT	NEILSON ARCHITECT OF CALIFORNIA, LTD.
PROPERTY LINE	---
PROPOSED EXISTING	---
EXISTING	---
PROPOSED EXISTING EXHAUST	---
PROPOSED EXISTING EXHAUST	---
EXISTING EXHAUST	---
EXISTING EXHAUST	---
PROPOSED	---

VEHICLE PARKING		BICYCLE PARKING	
NEW - PHASE I		EXISTING	
1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
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OFFICE OF PLANNING AND DEVELOPMENT DIVISION
17-181

San Jose Behavioral Health

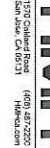
455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition


02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

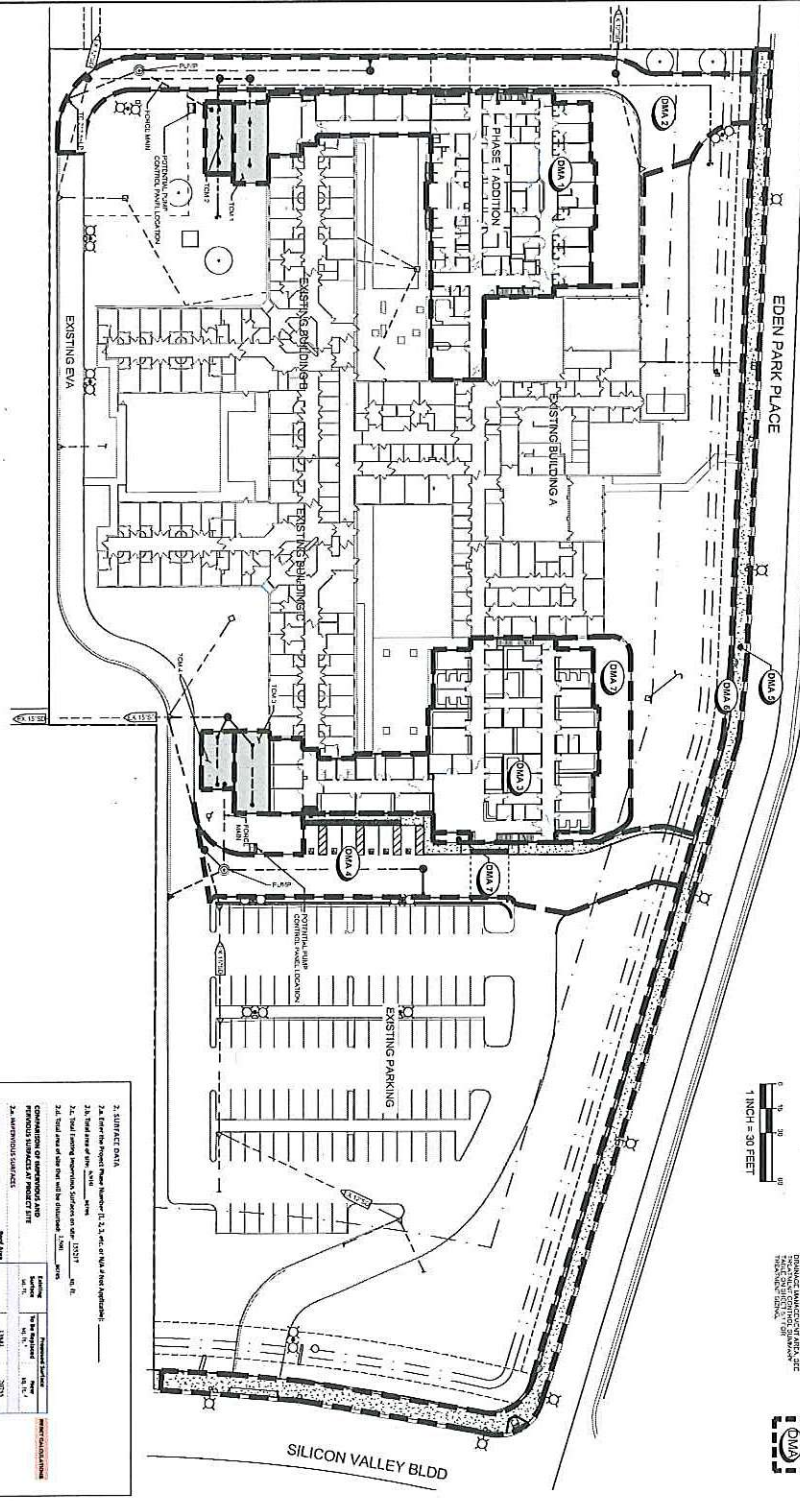


1570 Colma Road
San Jose, CA 95128



4491 S. Central Ave. Redwood Park II, 45238
San Jose, CA 95128





NOTE: SEE REPORT PREPARED BY BALANCE HYDROLOGICS FOR HYDROMODIFICATION.

1 INCH = 30 FEET



LEGEND

PROJECT BOUNDARY	--- (dashed line)
STORM DRAIN LINE	--- (long-dashed line)
STORM DRAIN MANHOLE / INTERIOR	○ (circle with dot)
STORM DRAIN MANHOLE / EXTERIOR	○ (circle with cross)
STORM DRAIN FROM OTHER JURISDICTION	○ (circle with horizontal lines)
CURB INLET (POSSIBLE)	○ (circle with vertical lines)
CURB INLET	○ (circle with diagonal lines)
OPEN DRAIN (EXISTING)	○ (circle with horizontal lines)
HIGH POINT SPOT ELEVATION	▲ (triangle)
LOW POINT SPOT ELEVATION	▼ (triangle)
FINISH FLOOR ELEVATION	▽ (inverted triangle)
FINISH CHANCE ELEVATION	▽ (inverted triangle with dot)
FLOOR LINE	— (solid line)
TOP OF CURB ELEVATION	▽ (inverted triangle)
SPOT OF ELEVATION	▽ (inverted triangle)
OPEN DRAIN (PROPOSED)	○ (circle with horizontal lines)
PROP. CURB AND FINISH	--- (dashed line)
PROP. CONTROL WALL	--- (dashed line)
DRAINAGE MANHOLE (18" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (24" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (30" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (36" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (42" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (48" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (54" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (60" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (66" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (72" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (78" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (84" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (90" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (96" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (102" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (108" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (114" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (120" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (126" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (132" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (138" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (144" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (150" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (156" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (162" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (168" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (174" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (180" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (186" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (192" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (198" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (204" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (210" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (216" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (222" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (228" DIA.)	○ (circle with cross)
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DRAINAGE MANHOLE (240" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (246" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (252" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (258" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (264" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (270" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (276" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (282" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (288" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (294" DIA.)	○ (circle with cross)
DRAINAGE MANHOLE (300" DIA.)	○ (circle with cross)

2.1. SUBMITTALS

2.1.1. Provide the project name, number, etc., on all submittals.

2.1.2. Provide the date of submittal.

2.1.3. Provide the name of the submitter.

2.1.4. Provide the name of the reviewer.

2.1.5. Provide the name of the reviewer.

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2.1.75. Provide the name of the reviewer.

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2.1.77. Provide the name of the reviewer.

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2.1.97. Provide the name of the reviewer.

2.1.98. Provide the name of the reviewer.

2.1.99. Provide the name of the reviewer.

2.1.100. Provide the name of the reviewer.

NEILON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Central Ave., Redwood Falls, CA 95961

ALPA CONSTRUCTION
1570 Colville Road, (408) 487-2200
5800 Santa Rosa Blvd, (916) 744-0000

ACADIA CONSTRUCTION
OFFICE OF RECORDING, PLANNING AND DEVELOPMENT DIVISION
77-181

San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

CITY OF SAN JOSE
OFFICE OF RECORDING, PLANNING AND DEVELOPMENT DIVISION
77-181

5.0

CONCEPTUAL STORMWATER CONTROL PLAN

DATE: _____

REVISIONS:

NO.	DESCRIPTION	DATE

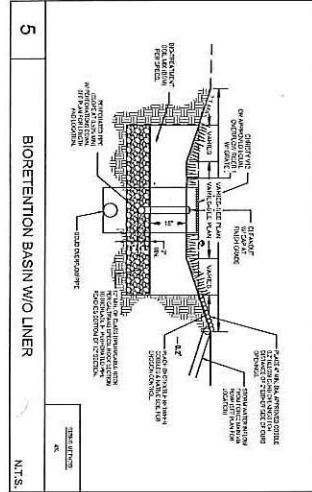


TABLE 1
ROUTINE MAINTENANCE ACTIVITIES FOR FLOW-THROUGH PLANTERS

NO.	DESCRIPTION	FREQUENCY OF TASK
1	INSPECT THE PLANTER SURFACE, WALLS, WEIR AND GULLIES FOR OBSTRUCTIONS AND TRASH. CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.	QUARTERLY
2	INSPECT THE PLANTER FOR ANY DAMAGE TO THE PLANTER OR TO THE VEGETATION. REPAIR ANY DAMAGE TO THE PLANTER OR TO THE VEGETATION. USE THE GULLY AND WEIR TO REMOVE ANY DEBRIS FROM THE PLANTER. REMOVE ANY DEBRIS FROM THE PLANTER.	QUARTERLY
3	CHECK FOR EROSION ON SETTLED SEDIMENT SOIL AREA, EROSION WITHIN FLOW-THROUGH PLANTER AND FLOW-THROUGH PLANTER. REMOVE ANY EROSION WITHIN FLOW-THROUGH PLANTER AND FLOW-THROUGH PLANTER. REPAIR ANY EROSION WITHIN FLOW-THROUGH PLANTER AND FLOW-THROUGH PLANTER.	QUARTERLY
4	REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD.	QUARTERLY
5	REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD.	QUARTERLY
6	REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD.	QUARTERLY
7	REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD.	QUARTERLY
8	REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD.	QUARTERLY
9	REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD.	QUARTERLY
10	REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD.	QUARTERLY
11	REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REMOVE AND REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD. REPLACE ANY PLANTS THAT ARE DAMAGED OR DEAD.	QUARTERLY

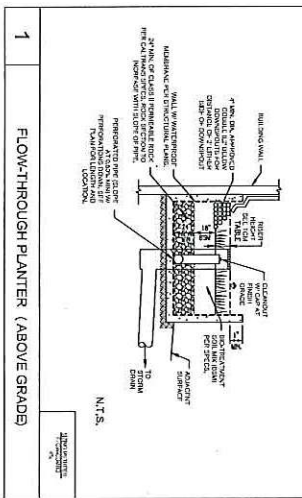
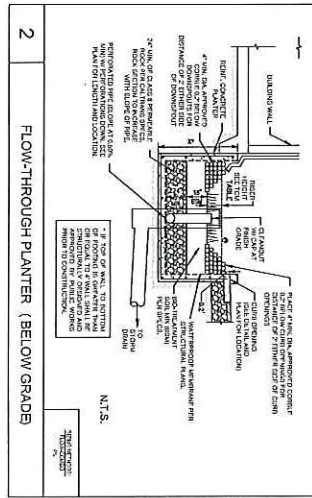


TABLE 2
TREATMENT CONTROL MEASURE SUMMARY TABLE

NO.	DESCRIPTION	DESIGN FLOW (MGD)	DESIGN VOLUME (MG)	% CONTROL	DESIGN FLOW (MGD)	DESIGN VOLUME (MG)	REMARKS
1	Flow-through planter	1.5	1000	100%	1.5	1000	
2	Flow-through planter	1.5	1000	100%	1.5	1000	
3	Flow-through planter	1.5	1000	100%	1.5	1000	
4	Flow-through planter	1.5	1000	100%	1.5	1000	
5	Flow-through planter	1.5	1000	100%	1.5	1000	
6	Flow-through planter	1.5	1000	100%	1.5	1000	
7	Flow-through planter	1.5	1000	100%	1.5	1000	
8	Flow-through planter	1.5	1000	100%	1.5	1000	
9	Flow-through planter	1.5	1000	100%	1.5	1000	
10	Flow-through planter	1.5	1000	100%	1.5	1000	
11	Flow-through planter	1.5	1000	100%	1.5	1000	

NOTES:
 1. This table is an important part of the design and shall be used to verify the design of the treatment control measures.
 2. The design flow and volume shall be based on the design flow and volume for the treatment control measures.
 3. The design flow and volume shall be based on the design flow and volume for the treatment control measures.
 4. The design flow and volume shall be based on the design flow and volume for the treatment control measures.
 5. The design flow and volume shall be based on the design flow and volume for the treatment control measures.
 6. The design flow and volume shall be based on the design flow and volume for the treatment control measures.
 7. The design flow and volume shall be based on the design flow and volume for the treatment control measures.
 8. The design flow and volume shall be based on the design flow and volume for the treatment control measures.
 9. The design flow and volume shall be based on the design flow and volume for the treatment control measures.
 10. The design flow and volume shall be based on the design flow and volume for the treatment control measures.
 11. The design flow and volume shall be based on the design flow and volume for the treatment control measures.

- PROJECT SITE INFORMATION:**
1. SOLIDITY DATA (L&M)
 2. GROUND WATER DEPTH
 3. NAME OF NEIGHBORING PROPERTY
 4. FLOOD ZONE
 5. FLOOD EXHAUSTION
- SITE DESIGN MEASURES:**
1. PRETREATMENT FILTERS
 2. FLOW-THROUGH PLANTERS
 3. FLOW-THROUGH PLANTERS
 4. FLOW-THROUGH PLANTERS
 5. FLOW-THROUGH PLANTERS
 6. FLOW-THROUGH PLANTERS
- SOURCE CONTROL MEASURES:**
1. FERTILIZER MANAGEMENT
 2. PESTICIDE MANAGEMENT
 3. FERTILIZER MANAGEMENT
 4. PESTICIDE MANAGEMENT
 5. FERTILIZER MANAGEMENT
 6. PESTICIDE MANAGEMENT

- OPERATION AND MAINTENANCE REQUIREMENTS:**
1. INSPECT PLANTER SURFACE
 2. REMOVE TRASH
 3. REMOVE TRASH
 4. REMOVE TRASH
 5. REMOVE TRASH
 6. REMOVE TRASH
 7. REMOVE TRASH
 8. REMOVE TRASH
 9. REMOVE TRASH
 10. REMOVE TRASH
 11. REMOVE TRASH

- BIOTREATMENT SOIL REQUIREMENTS:**
1. BIOTREATMENT SOIL SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR BIOTREATMENT SOIL.
 2. BIOTREATMENT SOIL SHALL BE APPLIED TO THE SURFACE OF THE PLANTER.
 3. BIOTREATMENT SOIL SHALL BE APPLIED TO THE SURFACE OF THE PLANTER.
 4. BIOTREATMENT SOIL SHALL BE APPLIED TO THE SURFACE OF THE PLANTER.
 5. BIOTREATMENT SOIL SHALL BE APPLIED TO THE SURFACE OF THE PLANTER.
 6. BIOTREATMENT SOIL SHALL BE APPLIED TO THE SURFACE OF THE PLANTER.
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 9. BIOTREATMENT SOIL SHALL BE APPLIED TO THE SURFACE OF THE PLANTER.
 10. BIOTREATMENT SOIL SHALL BE APPLIED TO THE SURFACE OF THE PLANTER.
 11. BIOTREATMENT SOIL SHALL BE APPLIED TO THE SURFACE OF THE PLANTER.

- STANDARD STORMWATER CONTROL NOTES:**
1. STORMWATER SHALL NOT BE STORED IN THE TREATMENT BASIN.
 2. STORMWATER SHALL NOT BE STORED IN THE TREATMENT BASIN.
 3. STORMWATER SHALL NOT BE STORED IN THE TREATMENT BASIN.
 4. STORMWATER SHALL NOT BE STORED IN THE TREATMENT BASIN.
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 9. STORMWATER SHALL NOT BE STORED IN THE TREATMENT BASIN.
 10. STORMWATER SHALL NOT BE STORED IN THE TREATMENT BASIN.
 11. STORMWATER SHALL NOT BE STORED IN THE TREATMENT BASIN.

ACAPEDIA

OFFICE OF ENVIRONMENTAL HEALTH AND DEVELOPMENT DIVISION

DATE: 1/16/19

PROJECT: CONCEPTUAL STORMWATER CONTROL PLAN DETAILS

5.1

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019 ISSUED FOR CONDITIONAL USE PERMIT

ALPHA

CONSTRUCTION

NEILSON ARCHITECT OF CALIFORNIA, LTD

4071 S. Central Ave., Redwood Park, E. 40325

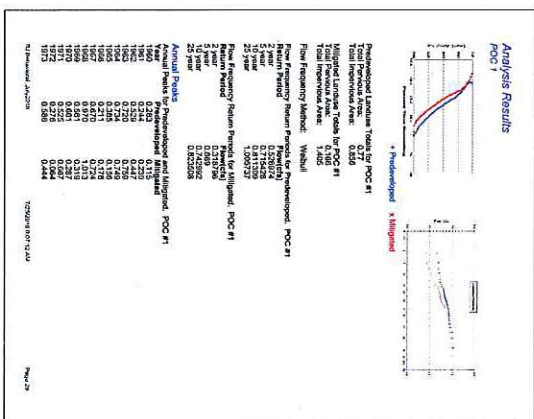
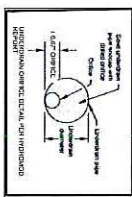
THWT

1370 Oakland Road

San Jose, CA 95131

4684.447.2000

THWT.COM



NELSON ARCHITECT OF CALIFORNIA, LTD.
 401 S. Central Ave., Redwood Park II, 40128
 San Jose, CA 95121



1575 Calaveras Road (408) 487-2200
 San Jose, CA 95131



San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



OFFICE OF PLANNING AND DEVELOPMENT DIVISION
 DATE: 17-111

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	02/15/2019

HYDROMODIFICATION DETAILS



1 PHASE II - MAIN ENTRANCE



NELSON ARCHITECT OF CALIFORNIA, LTD.
 4401 S. Central Ave., San Rafael, CA 94903



San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



AGADIA
 CONSULTING ARCHITECTS
 10444322
 REGISTERED IN ACCORDANCE WITH
 THE REQUIREMENTS OF TITLE 24,
 CHAPTER 1.5, ARTICLE 10, SECTION 101000

OFFICE OF FUTURE PLANNING AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION

SITE

NO.	ISSUED	DATE
1		11-18-19

PHASE II - MAIN ENTRANCE

7.0



3 PHASE I - VIEW OF THE CRITICAL CARE DROP-OFF CANOPY



NELSON ARCHITECT OF CALIFORNIA, LTD
4410 S. Camelot Ave., Redwood Park, IL 60468



San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



CHIRO ID# 104448032
REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, SECTION 4139.2

DATE

NO.	ISSUED	DATE
1	17-1481	

OFFICE OF STATEMENT REVIEW PLANNING AND DEVELOPMENT ACQUIRES DEVELOPMENT DIVISION

PHASE I - CRITICAL CARE DROP OFF



2 PHASE I - VIEW OF THE ENCLOSED COURTYARD



NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Central Ave., Burbank, CA 91505



San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

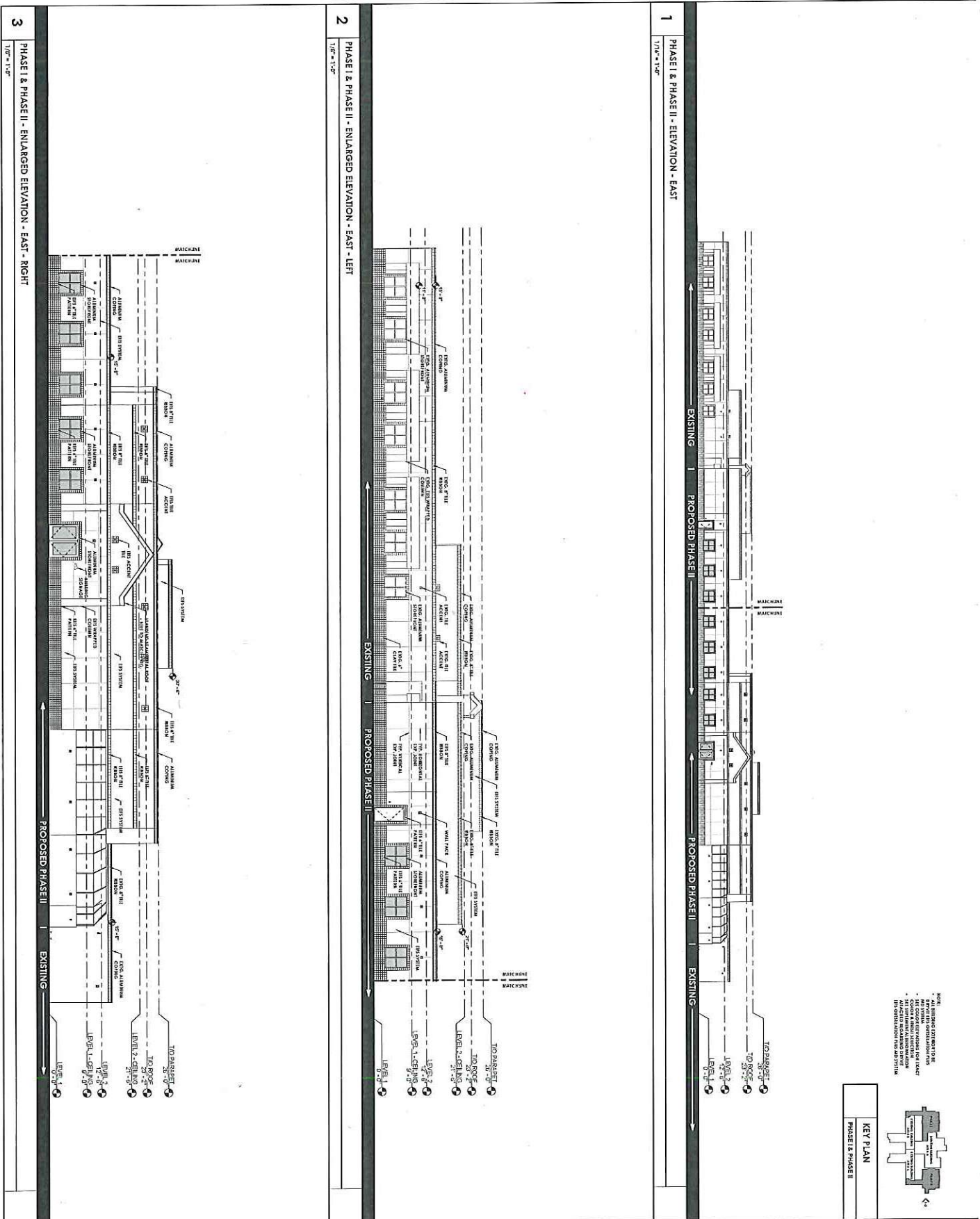


OSHPD LIC: 104454232
REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CODE REGULATIONS

DATE: 1-7-2019
OFFICE OF PLANNING AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION

NO.	DATE	DESCRIPTION
1	1-7-2019	ISSUED

PHASE I - ENCLOSED COURTYARD



- NOTE:
- 1. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE AS SHOWN.
 - 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 - 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES, UNLESS OTHERWISE SPECIFIED.
 - 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 - 5. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
 - 6. ALL DIMENSIONS SHALL BE TO FINISH UNLESS OTHERWISE SPECIFIED.
 - 7. ALL DIMENSIONS SHALL BE TO EXISTING UNLESS OTHERWISE SPECIFIED.
 - 8. ALL DIMENSIONS SHALL BE TO PROPOSED UNLESS OTHERWISE SPECIFIED.
 - 9. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
 - 10. ALL DIMENSIONS SHALL BE TO FINISH UNLESS OTHERWISE SPECIFIED.
 - 11. ALL DIMENSIONS SHALL BE TO EXISTING UNLESS OTHERWISE SPECIFIED.
 - 12. ALL DIMENSIONS SHALL BE TO PROPOSED UNLESS OTHERWISE SPECIFIED.
 - 13. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
 - 14. ALL DIMENSIONS SHALL BE TO FINISH UNLESS OTHERWISE SPECIFIED.
 - 15. ALL DIMENSIONS SHALL BE TO EXISTING UNLESS OTHERWISE SPECIFIED.
 - 16. ALL DIMENSIONS SHALL BE TO PROPOSED UNLESS OTHERWISE SPECIFIED.
 - 17. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
 - 18. ALL DIMENSIONS SHALL BE TO FINISH UNLESS OTHERWISE SPECIFIED.
 - 19. ALL DIMENSIONS SHALL BE TO EXISTING UNLESS OTHERWISE SPECIFIED.
 - 20. ALL DIMENSIONS SHALL BE TO PROPOSED UNLESS OTHERWISE SPECIFIED.



KEY PLAN
PHASE I & PHASE II



NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Central Ave., Redwood Park II, 94023



San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019 ISSUED FOR CONDITIONAL USE PERMIT

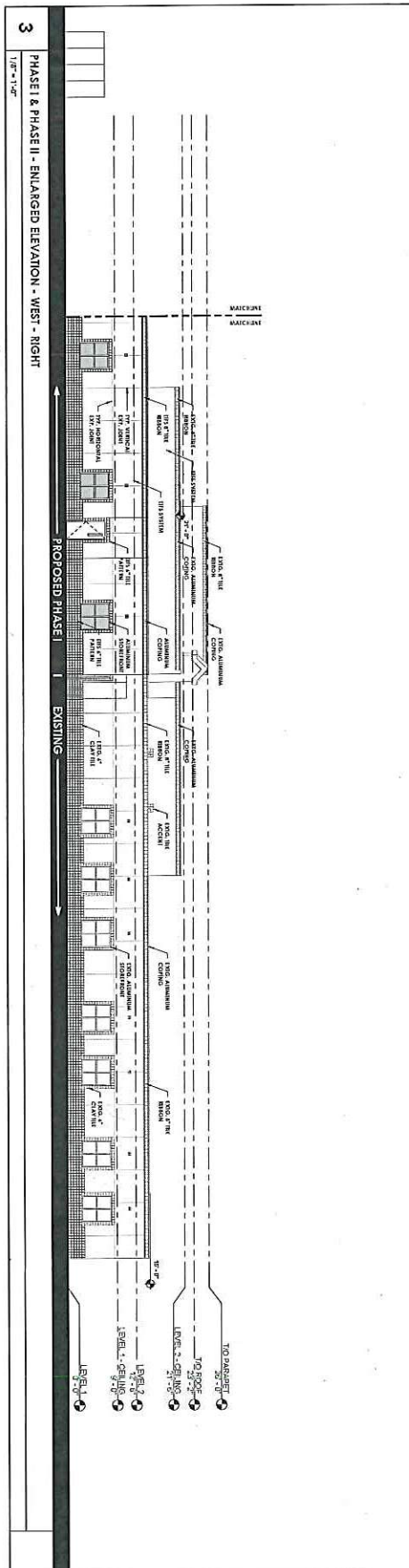
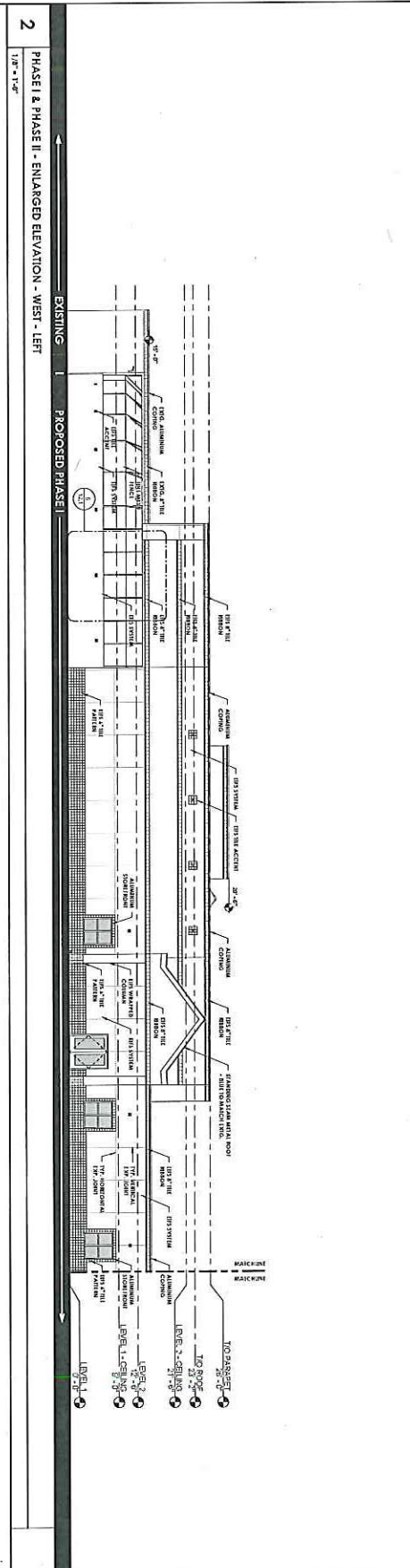
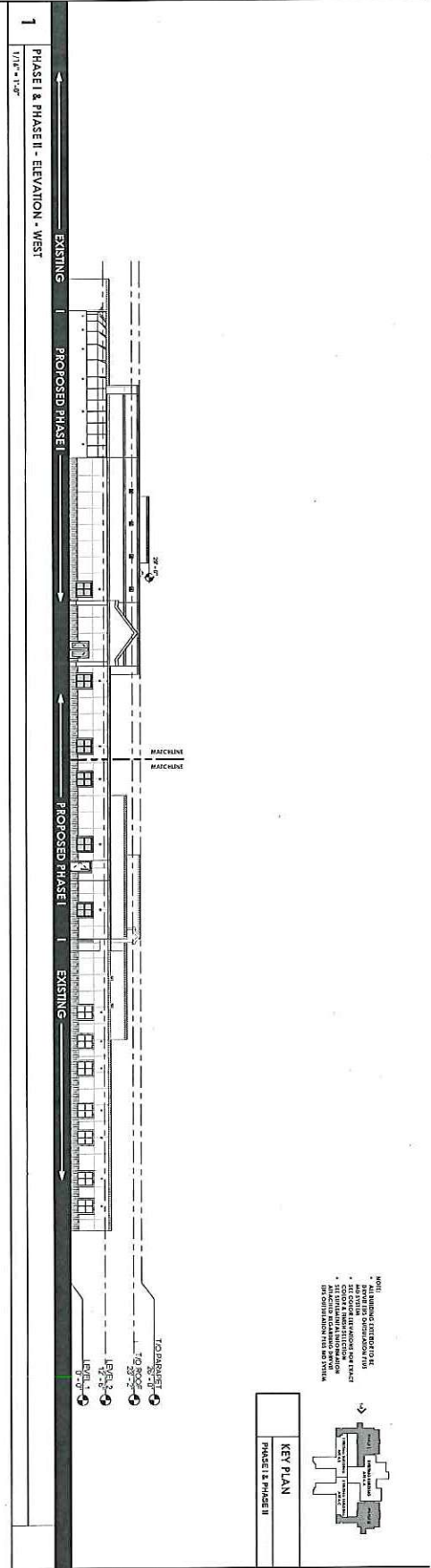


OFFICE OF PLANNING AND DEVELOPMENT DIVISION
REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 9.5, PARAGRAPH 9.5.02.01

DATE: 1-2-2019

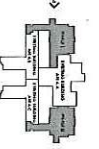
NO.	REVISION	DATE
1	ISSUED	02/15/2019

ELEVATIONS - EAST



- ALL BUILDING MATERIALS TO BE USED SHALL BE OF THE HIGHEST QUALITY AVAILABLE AND SHALL BE APPROVED BY THE ARCHITECT.
- ALL MATERIALS SHALL BE MATCHED TO THE EXISTING BUILDING MATERIALS.
- ALL MATERIALS SHALL BE MATCHED TO THE EXISTING BUILDING MATERIALS.
- ALL MATERIALS SHALL BE MATCHED TO THE EXISTING BUILDING MATERIALS.

KEY PLAN
PHASE I & PHASE II



NELSON ARCHITECT OF CALIFORNIA, LTD
4401 S. Central Ave., Redwood Park II, 48433



San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



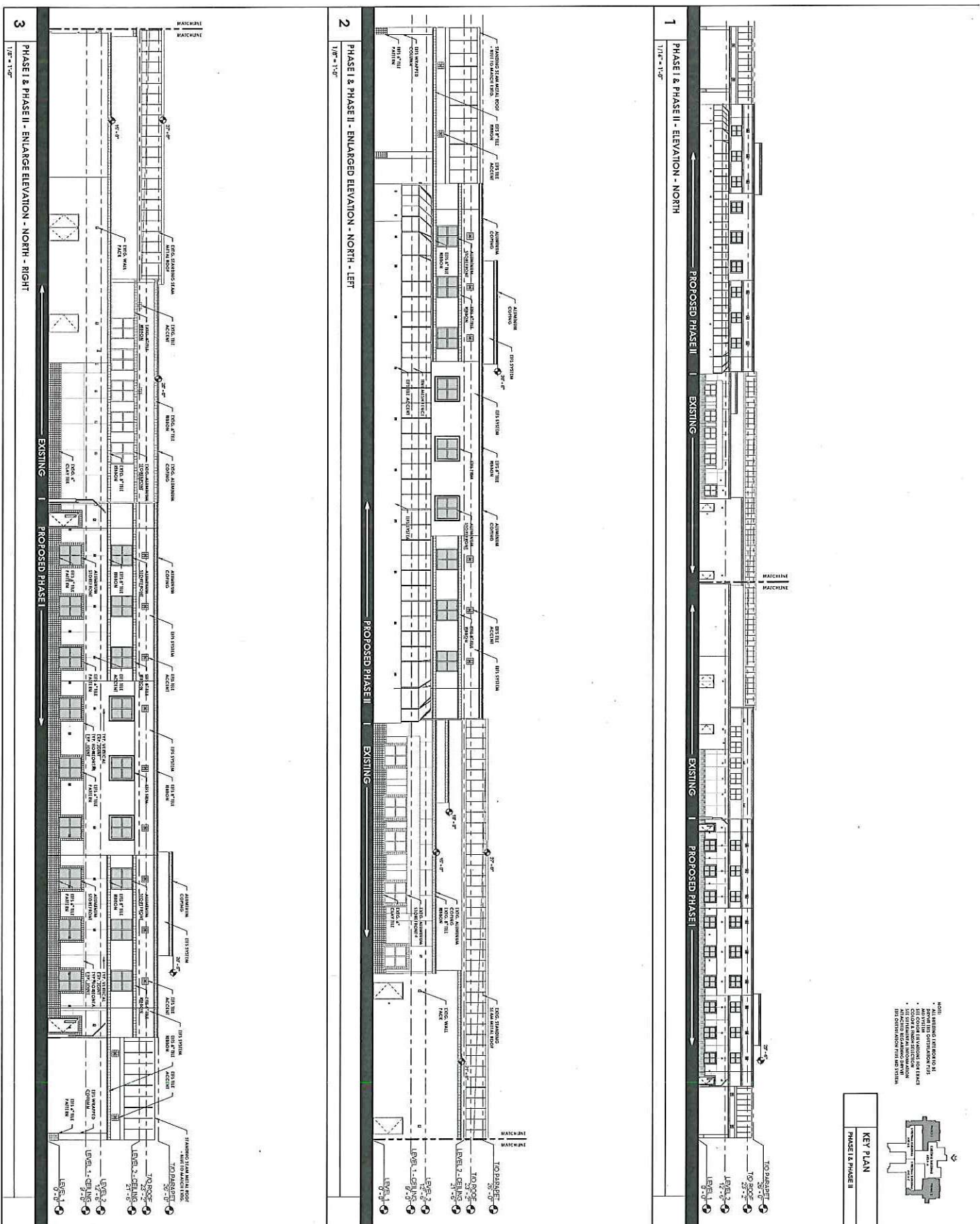
CHINA LU, 1/16/2019
REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 24.05.01.000.0000

DATE: 1/16/19

OFFICE OF ENVIRONMENTAL PLANNING AND DEVELOPMENT DIVISION

NO.	NAME	DOB
1	CHINA LU	1/16/19

ELEVATIONS - WEST



- NOTES:
- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 2. ALL FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
- 3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN ON THE SPECIFICATIONS.
- 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- 5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



KEY PLAN
PHASE I & PHASE II



NELSON ARCHITECT OF CALIFORNIA, LTD
4401 S. Central Ave., San Jose, CA 95128



MALPA CONSULTING ENGINEERS

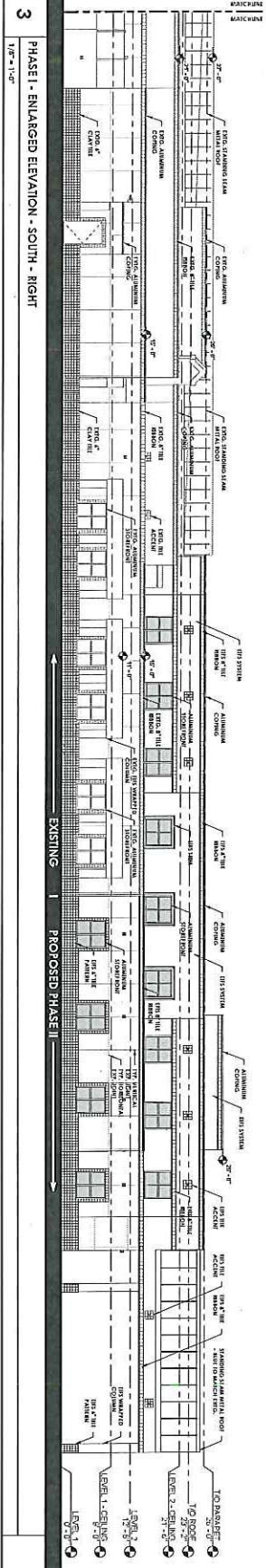
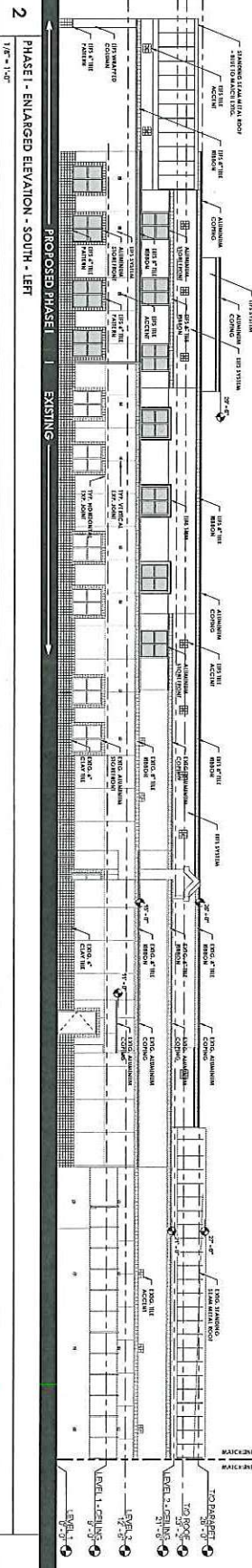
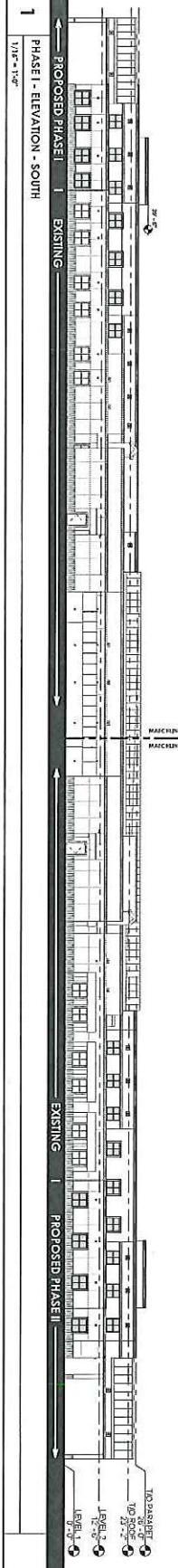
San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



ACADIA CONSULTANTS
OFFICE OF ATTORNEY IN CHARGE
AND DEVELOPMENT DIVISION

DATE	REVISION
12-18-19	ISSUE

ELEVATIONS - NORTH



NOTES:
 1. ALL DIMENSIONS SHOWN TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.



KEY PLAN
 PHASE I & PHASE II



NELSON ARCHITECT OF CALIFORNIA, LTD.
 4401 S. Central Ave., Redwood Park II, 4523



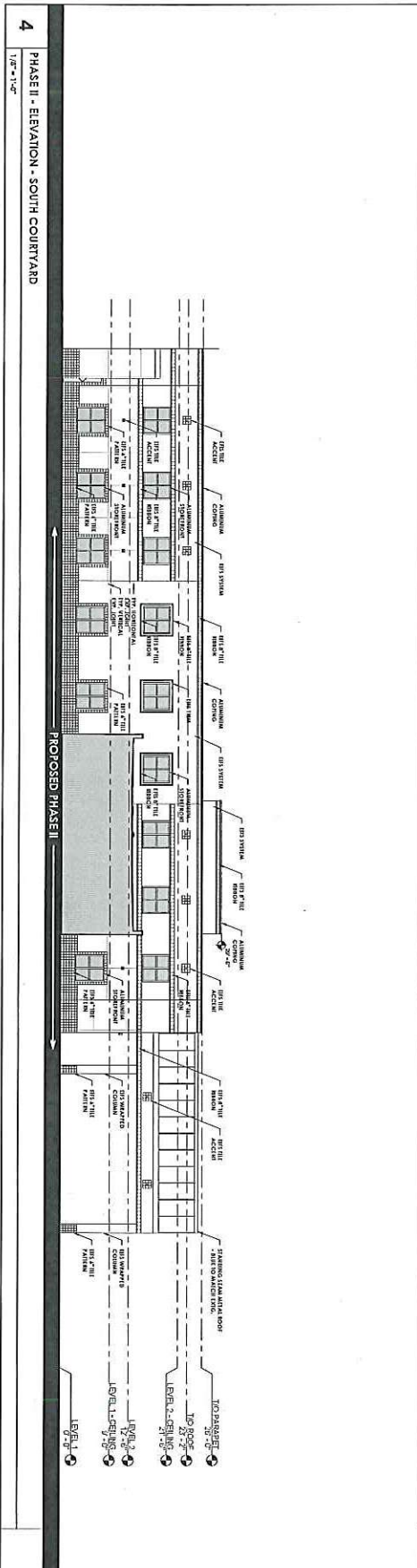
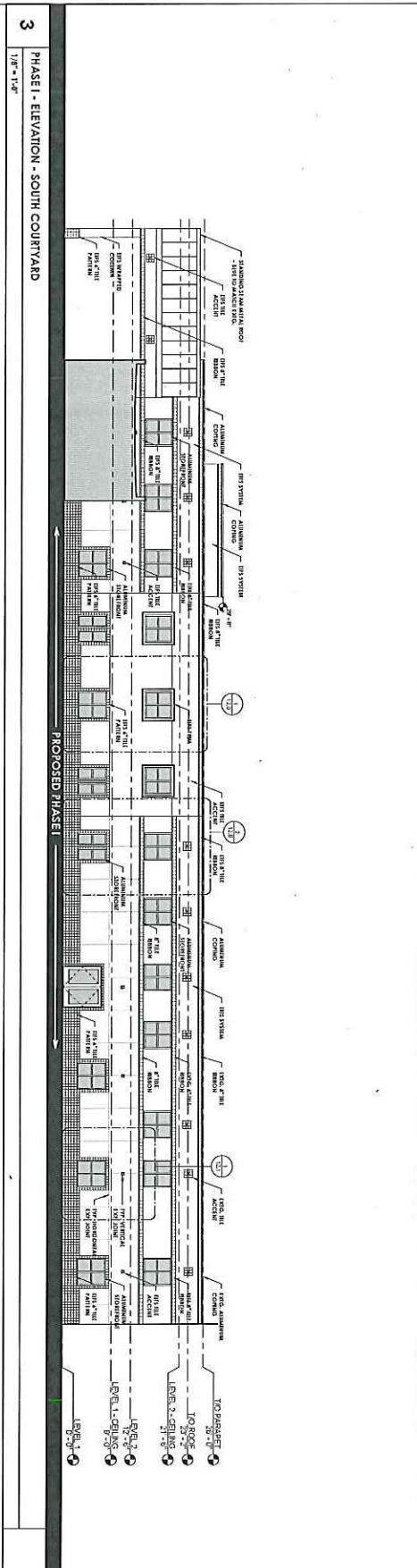
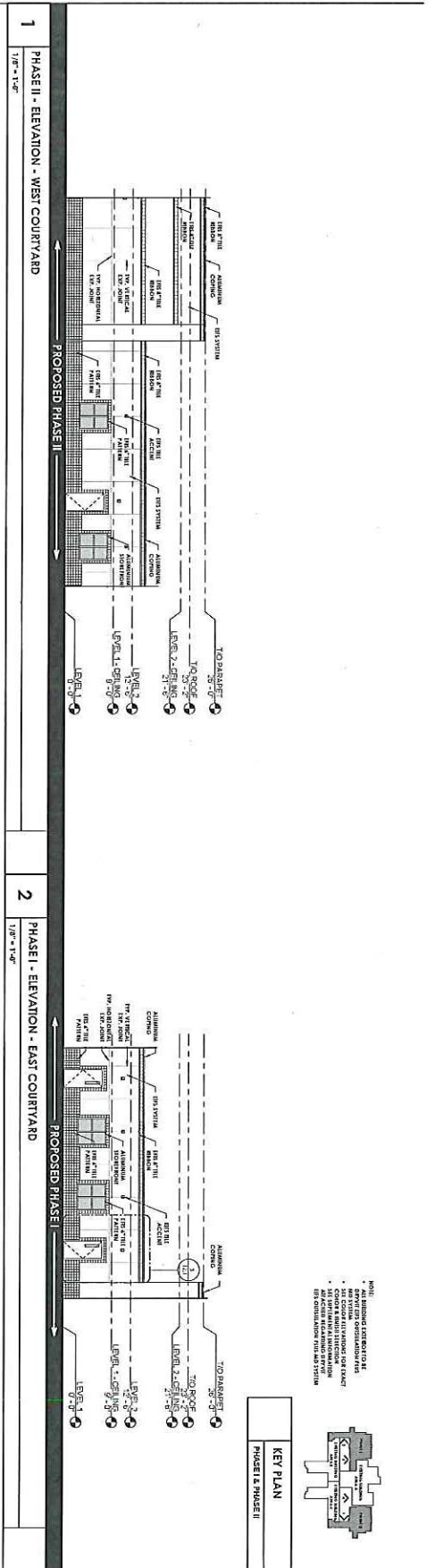
San Jose Behavioral Health
 455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
 02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



CHP#106 10454022
 REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 9.5.2.2

DATE: 02/15/19
 OFFICE OF STAFFING, TRAINING AND DEVELOPMENT SERVICES
 DEVELOPMENT DIVISION

ELEVATIONS - SOUTH



NEILON ARCHITECT OF CALIFORNIA, LTD
4401 S. Central Ave., Redwood Park II, 45426



San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
02-15-2019 ISSUED FOR CONDITIONAL USE PERMIT



CONTRACT NO. 10443032
REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CODE REGULATIONS 1704 AND 1709

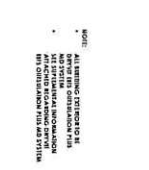
DATE: 11-28-18

OFFICE OF ARCHITECTURAL PLANNING AND DEVELOPMENT DIVISION

DESIGNED	DATE
DRAWN	DATE

ELEVATIONS - COURTYARD

- 1. 015.1 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH
- 2. 015.2 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH
- 3. 015.3 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH
- 4. 015.4 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH
- 5. 015.5 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH
- 6. 015.6 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH
- 7. 015.7 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH
- 8. 015.8 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH
- 9. 015.9 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH
- 10. 015.10 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH
- 11. 015.11 - CONCRETE SLAB WITH GRANITE POLISHED FLOOR FINISH



KEY PLAN
PHASE I PHASE II



NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. CENTER AVENUE, SUITE 100, SAN JOSE, CA 95128



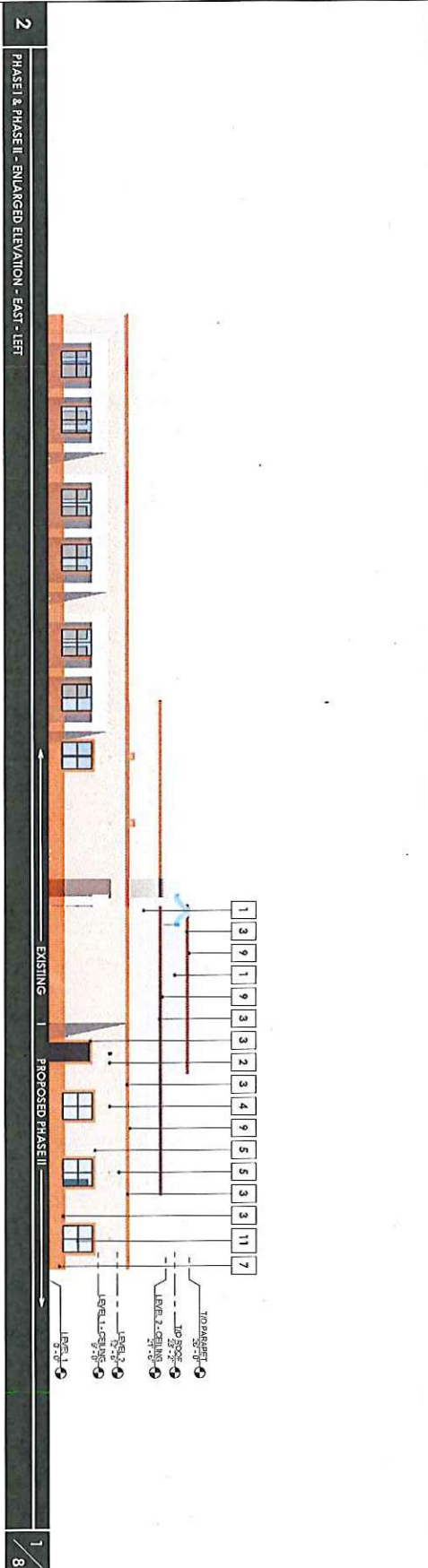
San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



DATE: 7/2/18
OFFICE OF STANDARD HEALTH PLANNING AND REGULATORY MATTERS
SAN JOSE BEHAVIORAL HEALTH

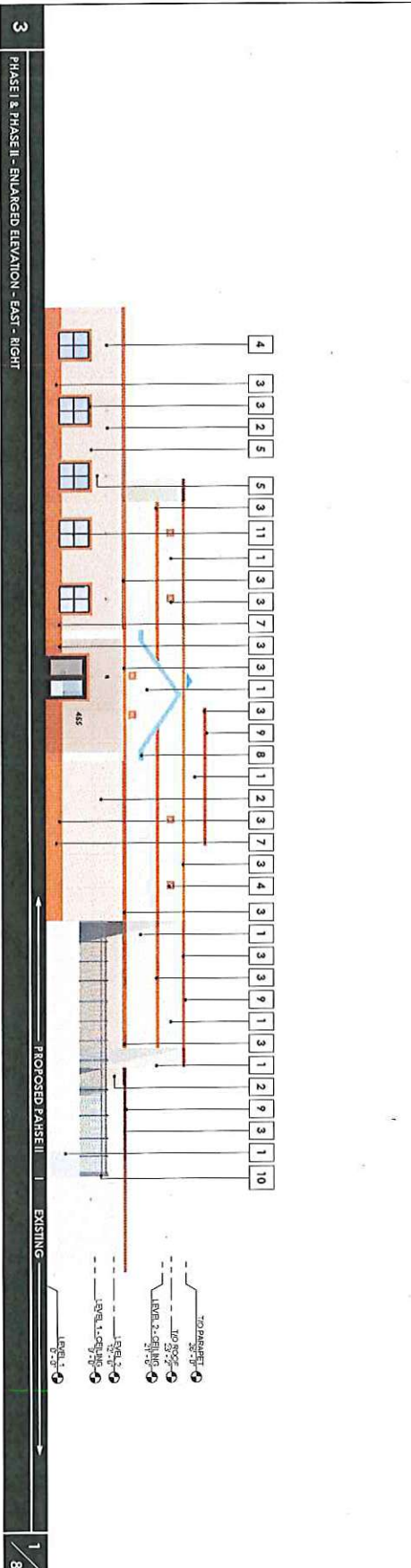
1 PHASE I & PHASE II - ELEVATION - EAST

1/16



2 PHASE I & PHASE II - ENLARGED ELEVATION - EAST - LEFT

1/8



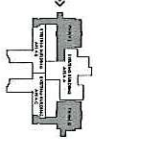
3 PHASE I & PHASE II - ENLARGED ELEVATION - EAST - RIGHT

1/8

7.8

- 1. EXISTING INTERIOR WALLS AND CEILING
- 2. EXISTING INTERIOR WALLS AND CEILING
- 3. EXISTING INTERIOR WALLS AND CEILING
- 4. EXISTING INTERIOR WALLS AND CEILING
- 5. EXISTING INTERIOR WALLS AND CEILING
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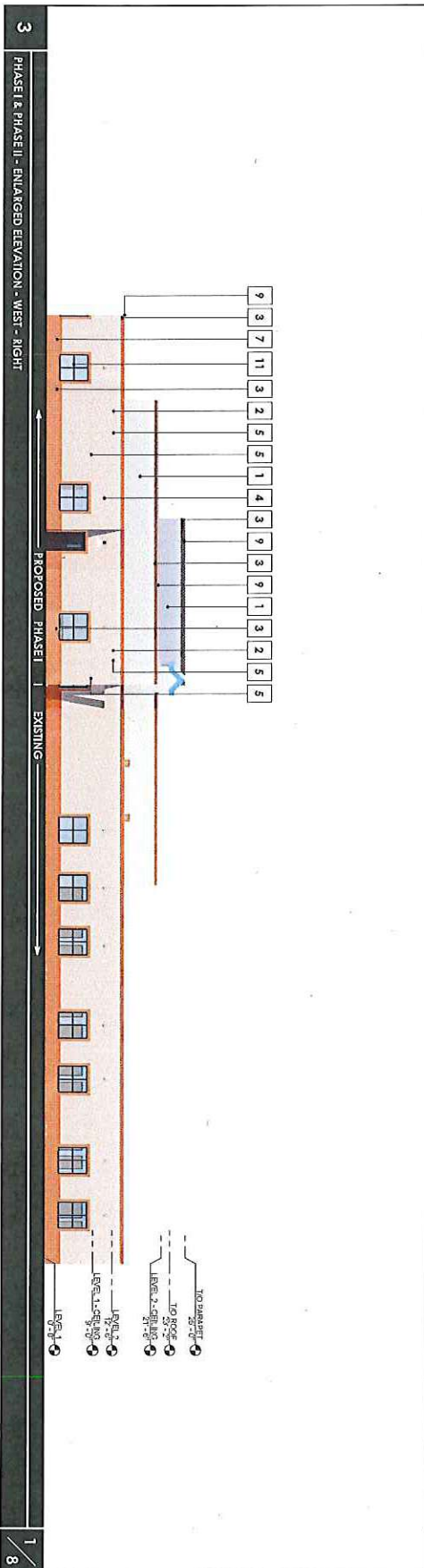
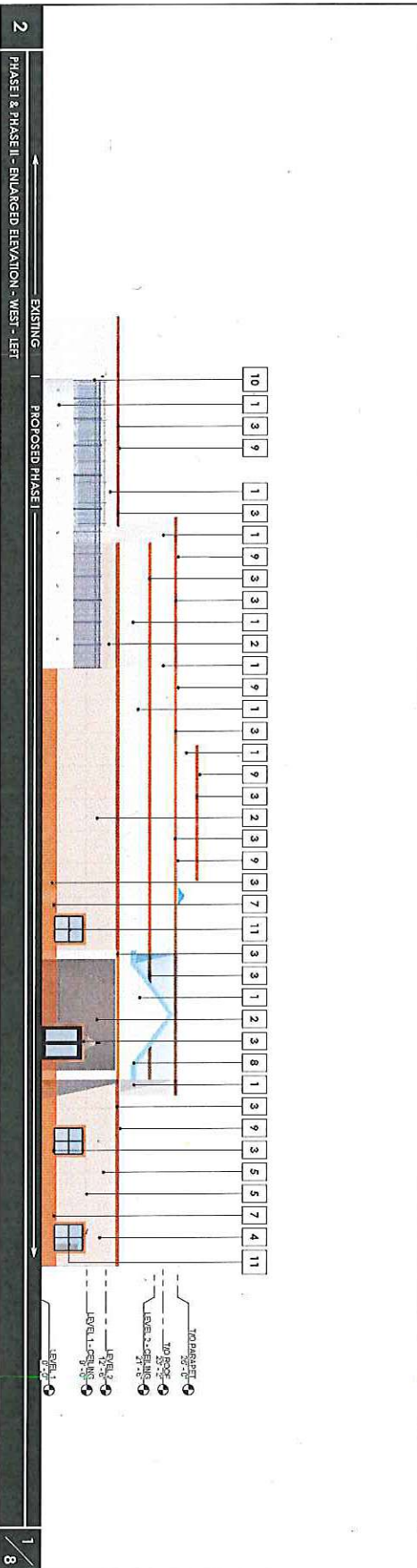
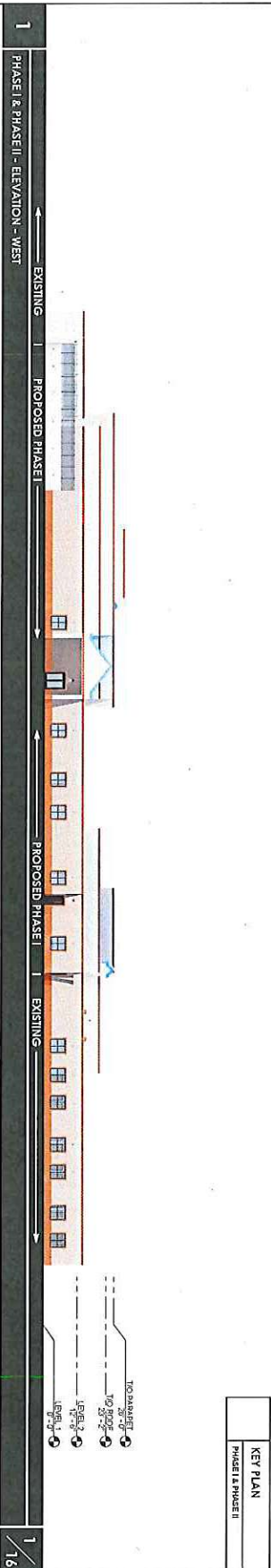
NOTE:
 ALL FINISHES TO BE
 APPROVED BY THE
 ARCHITECT AND THE
 CLIENT PRIOR TO
 COMMENCEMENT OF
 WORK. THE ARCHITECT
 SHALL BE RESPONSIBLE
 FOR OBTAINING ALL
 NECESSARY PERMITS
 AND APPROVALS FROM
 THE APPROPRIATE
 AGENCIES.



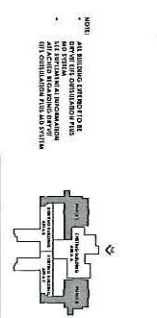
KEY PLAN
 PHASE I & PHASE II

ALPHA
 CONSULTING

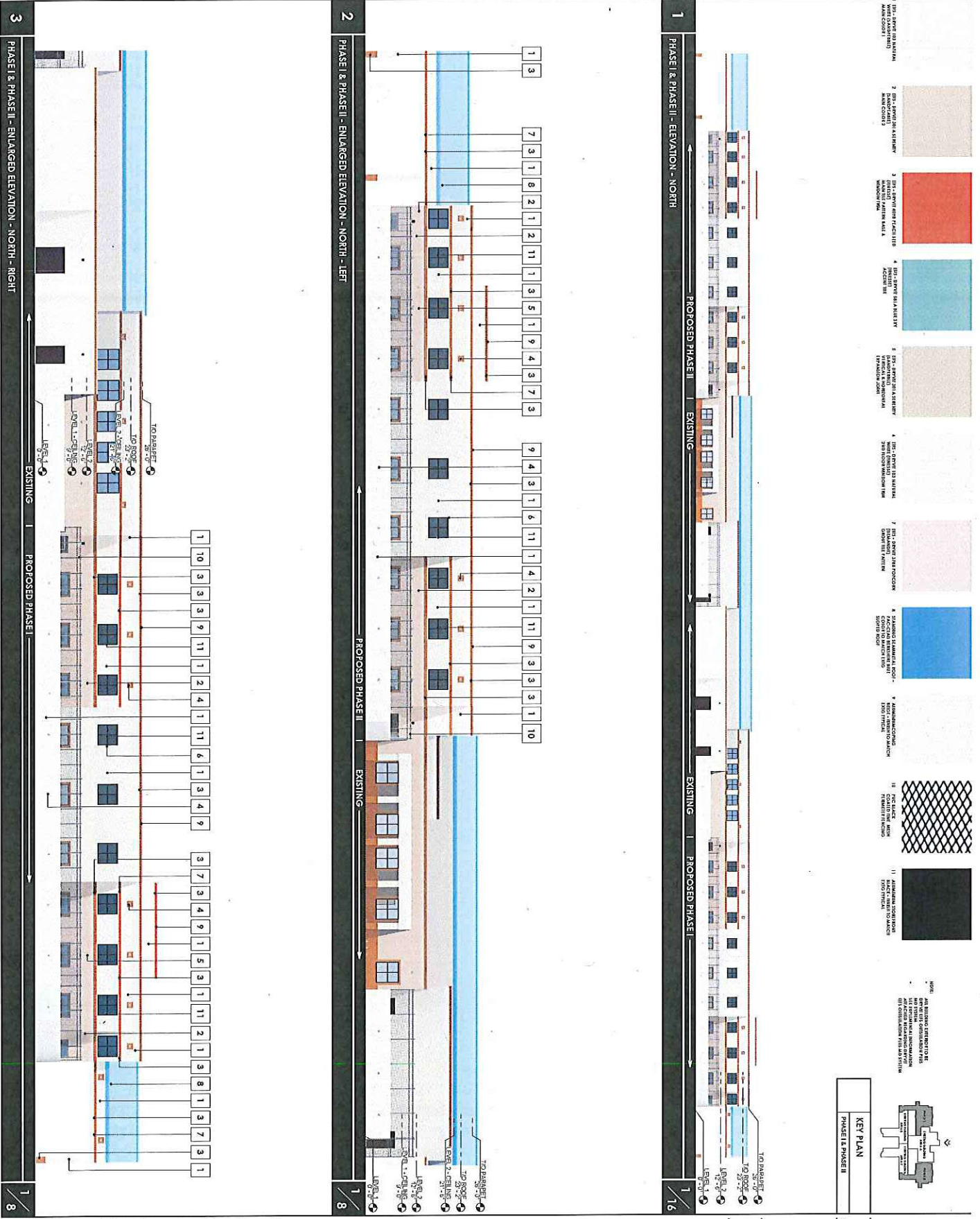
NELSON ARCHITECT OF CALIFORNIA, LTD.
 4491 S. Camino Ave. Bedford Park II, #4026



- 1. 2018 - STONE BRICK MASONRY (EXISTING)
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- 100. 2018 - STONE BRICK MASONRY (PROPOSED)



KEY PLAN
PHASE I & PHASE II



ALPHA
CONSULTING

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

NEILSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Central Ave. Redwood Park II, 40832

ACADIA
REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 9.5.2

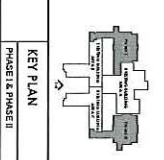
DATE: 12/14/18
PROJECT: PHASE I & PHASE II BUILDING ADDITION AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION

NO.	REVISION	DATE
1	ISSUED	12/14/18

7.10
ELEVATIONS - PROPOSED - NORTH

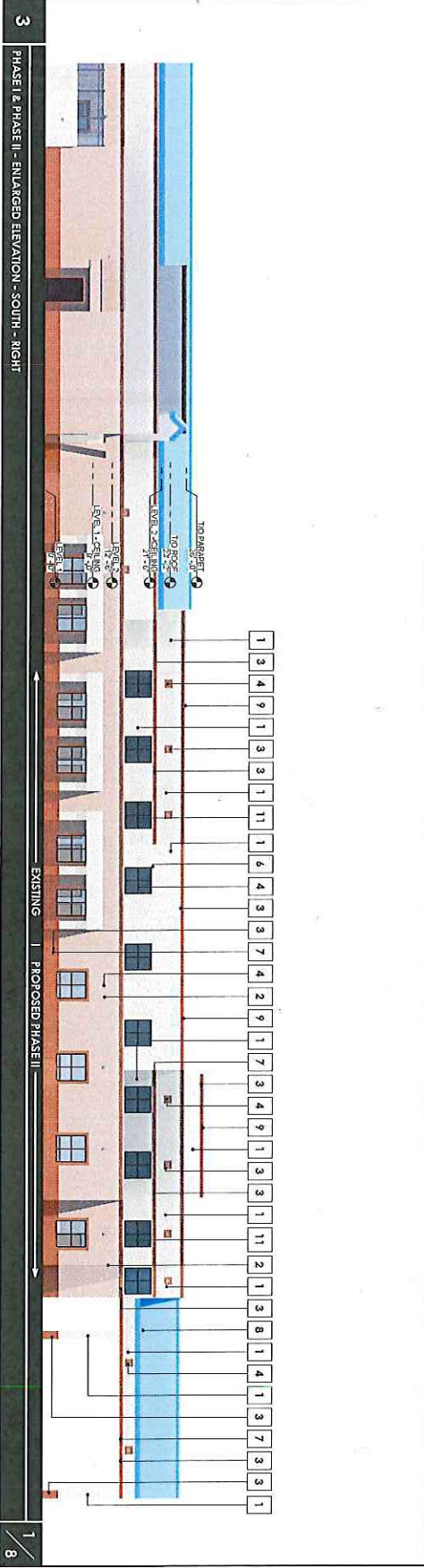
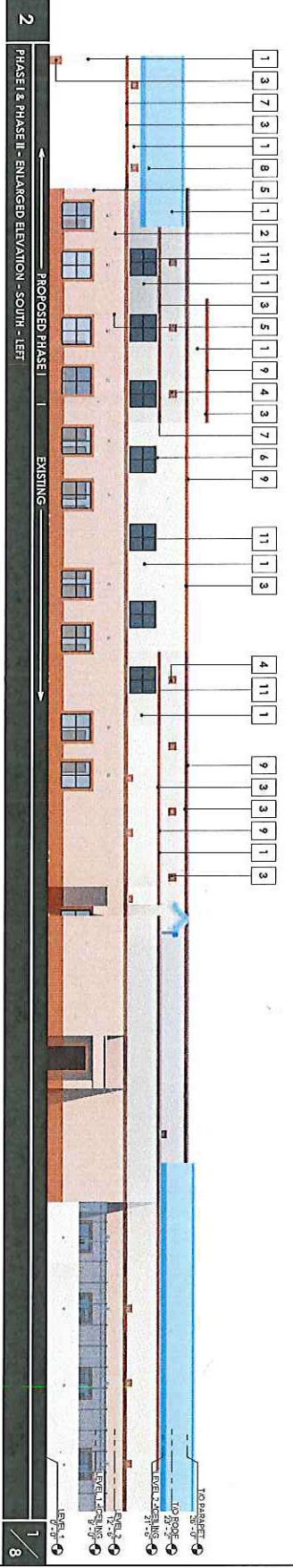
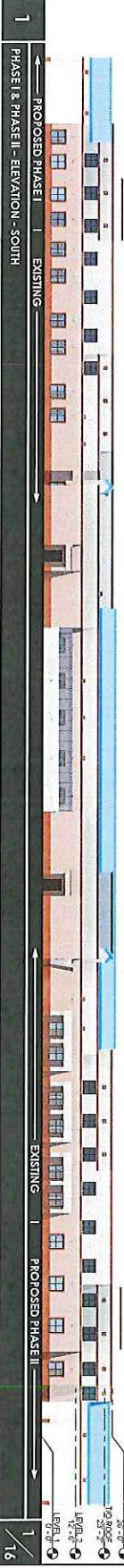
- 1 - EXT. STONE AND MASONRY
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- 40 - EXT. STONE AND MASONRY

NOTE: ALL MATERIALS SHOWN TO BE USED IN THIS DRAWING ARE APPROXIMATIVE AND ALL MATERIALS WILL BE SELECTED AND ALL DIMENSIONS WILL BE DETERMINED BY THE CONTRACTOR.



KEY PLAN
PHASE I & PHASE II

NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Central Ave, Burbank Park II, 48326



MALPA
CONSTRUCTION

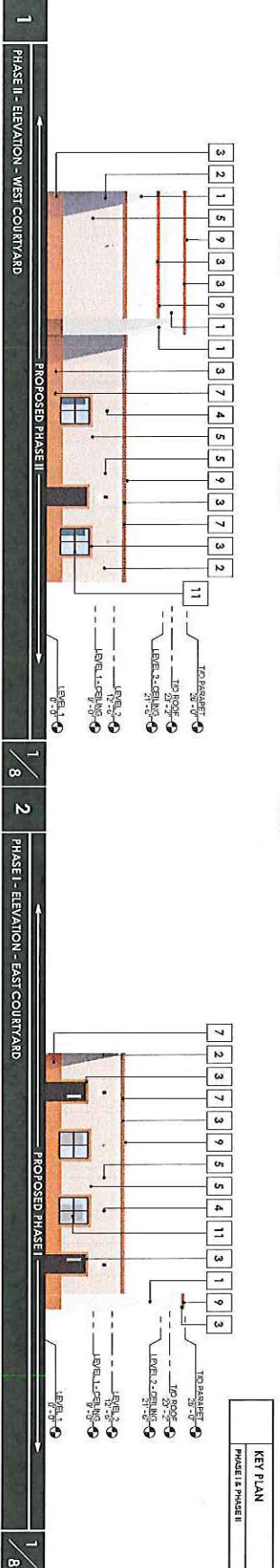
San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
02-15-2019 ISSUED FOR CONDITIONAL USE PERMIT

AGABIA
A G. A. B. I. A. INC.
CONTRACT NO. 19060002
REVIEWED AND APPROVED WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 7.5, SUBCHAPTER 2.

DATE: 12/28/18
OFFICE OF STAFFORD PETERSON AND ASSOCIATES, ARCHITECTS AND ENGINEERS, INC.
PROJECT DEVELOPMENT DIVISION
ELEVATIONS - PROPOSED - SOUTH

7.11

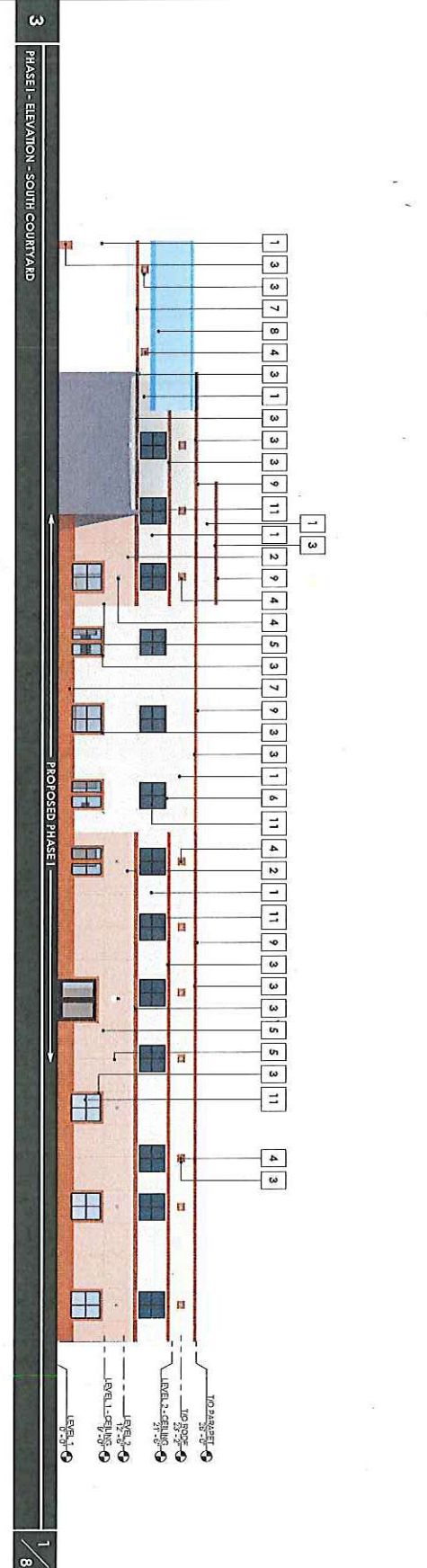
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- 201 - STAINLESS STEEL BRUSHED FINISH
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- 801 - STAINLESS STEEL BRUSHED FINISH
- 901 - STAINLESS STEEL BRUSHED FINISH
- 1001 - STAINLESS STEEL BRUSHED FINISH
- 1101 - STAINLESS STEEL BRUSHED FINISH



1 PHASE II - ELEVATION - WEST COURTYARD

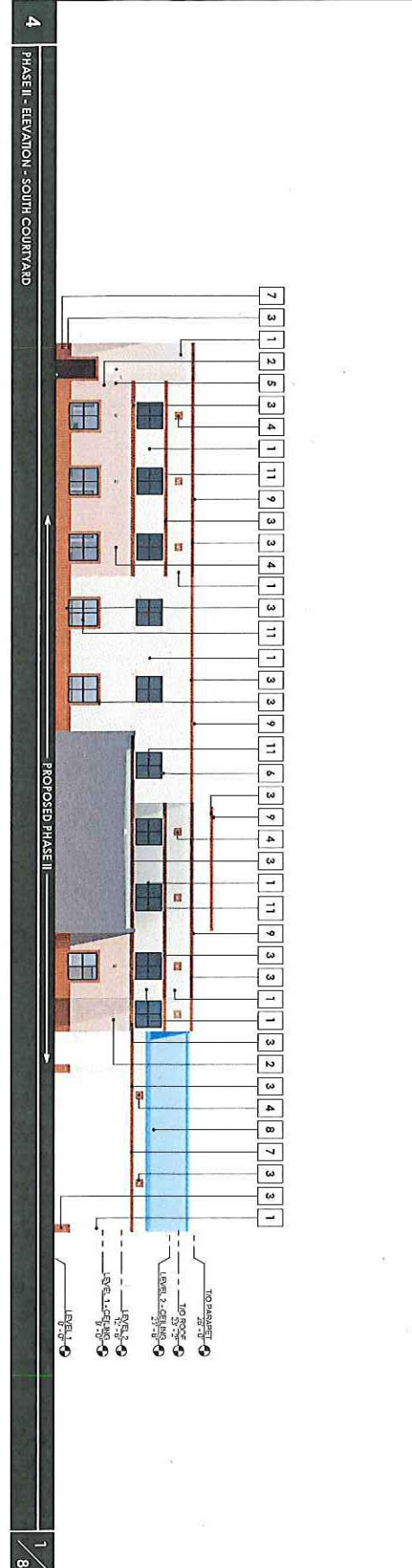
1 / **8** **2** PHASE I - ELEVATION - EAST COURTYARD

1 / **8**



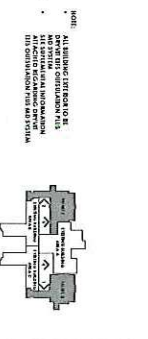
3 PHASE I - ELEVATION - SOUTH COURTYARD

1 / **8**



4 PHASE II - ELEVATION - SOUTH COURTYARD

1 / **8**



KEY PLAN

PHASE I & PHASE II



NOTE: ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.

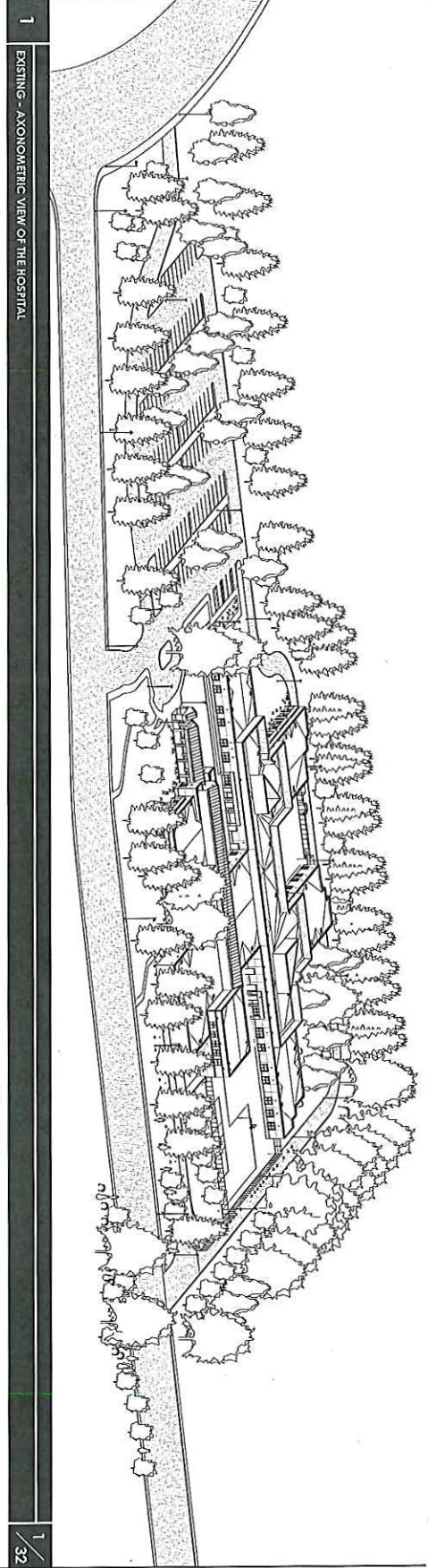
ALPHA CONSTRUCTION

San Jose Behavioral Health
 455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
 02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

AGADIA CONSULTANTS

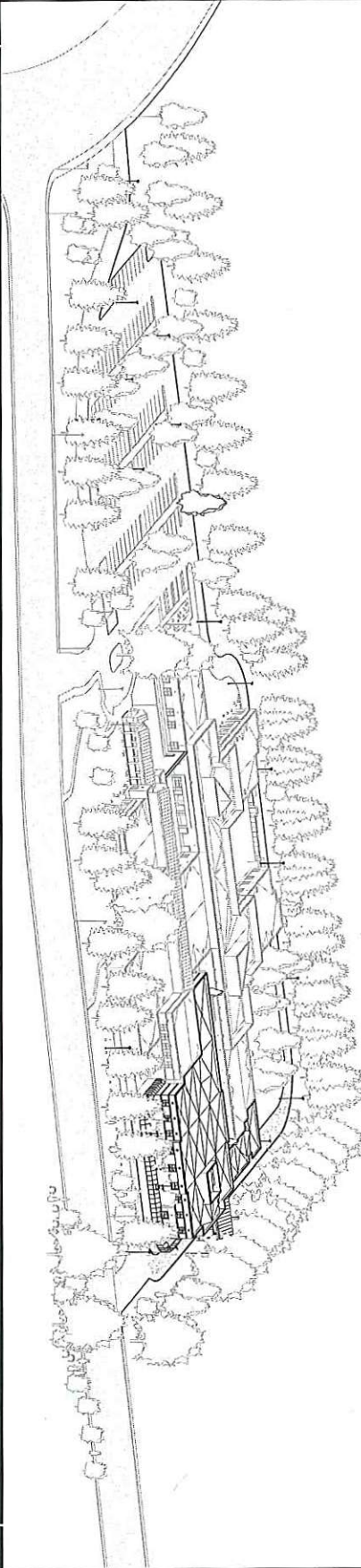
DATE: 7/18/19
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

7.12



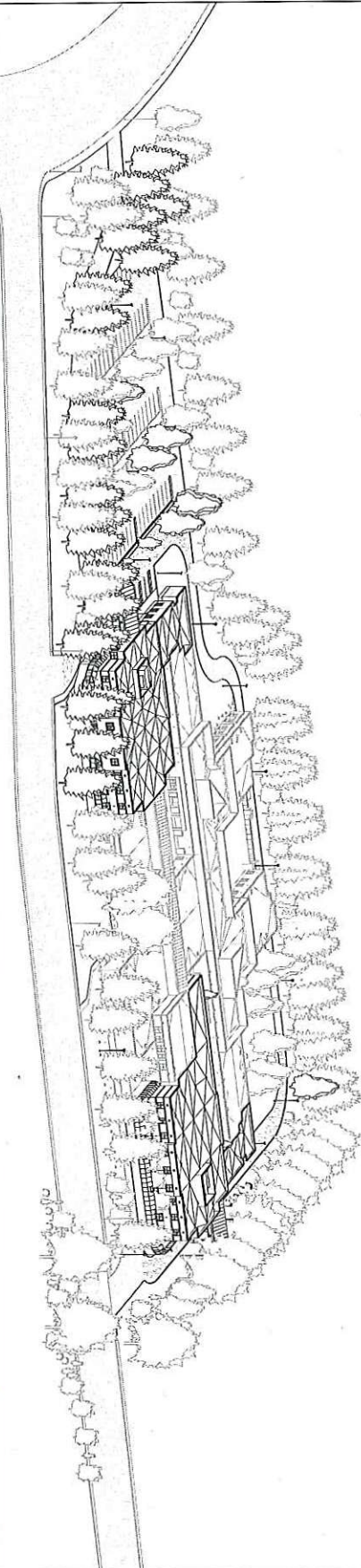
1 EXISTING - AXONOMETRIC VIEW OF THE HOSPITAL

1 / 32



2 PHASE I - AXONOMETRIC VIEW OF THE HOSPITAL

1 / 32



3 PHASE II - AXONOMETRIC VIEW OF THE HOSPITAL

1 / 32



NELSON ARCHITECT OF CALIFORNIA, LTD.
 4401 S. CENTER AVE., BEVERLY HILLS, CALIF. 90210



San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



CONTRACT NO. 18A0002
 PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAN JOSE HEALTH CARE DEVELOPMENT DIVISION

DATE: 11/2018

OFFICE OF PLANNING & HEALTH SERVICES
 DEVELOPMENT DIVISION

NO.	REVISION	DATE
1	Issued	11/2018

AXONOMETRIC - PROGRESSION OF PHASES

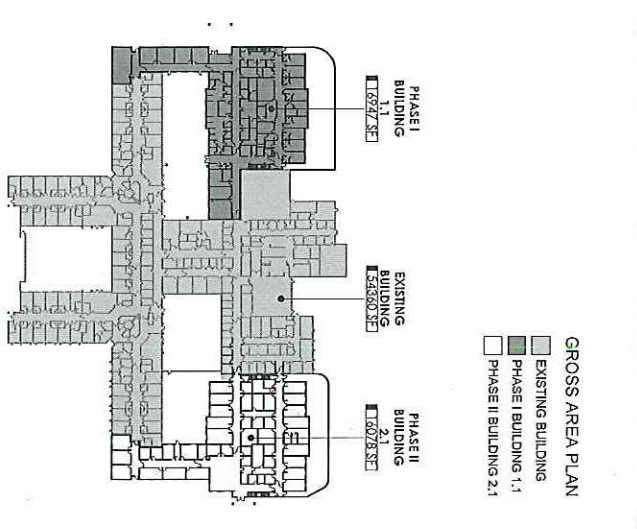
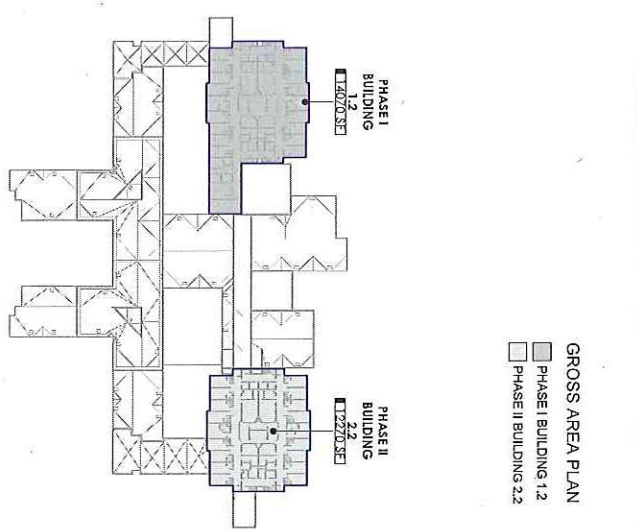
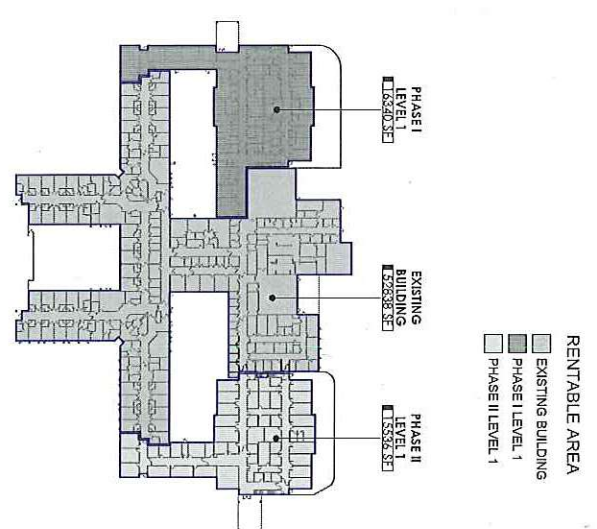
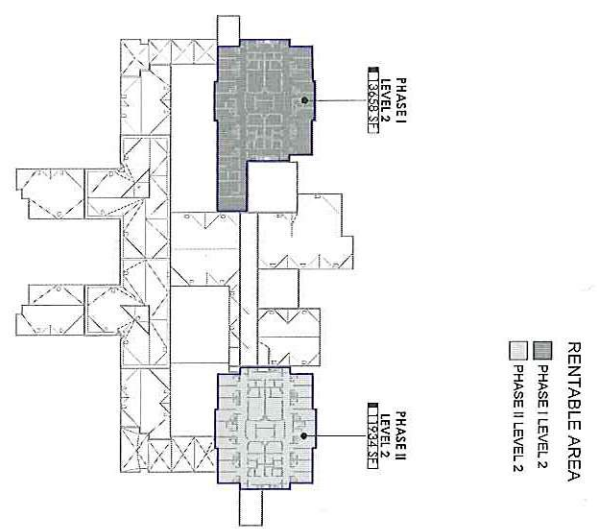
BUILDING CODE - EGRESS

Area	Code	Exit	Exit Area	Exit Capacity	Exit Width	Exit Height	Exit Depth	Exit Length	Exit Area	Exit Width	Exit Height	Exit Depth	Exit Length	Exit Area
PHASE I BUILDING 1.1	1.1	1.1	1000	100	10	10	10	10	1000	10	10	10	10	1000
PHASE I BUILDING 1.2	1.2	1.2	1000	100	10	10	10	10	1000	10	10	10	10	1000
PHASE II BUILDING 2.1	2.1	2.1	1000	100	10	10	10	10	1000	10	10	10	10	1000
PHASE II BUILDING 2.2	2.2	2.2	1000	100	10	10	10	10	1000	10	10	10	10	1000

PHASE I & PHASE II BUILDING EGRESS REQUIREMENTS PER CALIFORNIA BUILDING CODE (CBC) AND LOCAL ORDINANCES. ALL EGRESS ARE SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY. PHASE I & PHASE II BUILDING EGRESS REQUIREMENTS PER CBC AND LOCAL ORDINANCES. ALL EGRESS ARE SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.

BUILDING CODE - SUMMARY

Code	Code Description	Code Reference	Code Reference	Code Reference	Code Reference	Code Reference	Code Reference	Code Reference	Code Reference	Code Reference	Code Reference	Code Reference	Code Reference	Code Reference
1.1	PHASE I BUILDING 1.1	1.1	1.1	1.1	1.1	1.1	1.1	1.1	1.1	1.1	1.1	1.1	1.1	1.1
1.2	PHASE I BUILDING 1.2	1.2	1.2	1.2	1.2	1.2	1.2	1.2	1.2	1.2	1.2	1.2	1.2	1.2
2.1	PHASE II BUILDING 2.1	2.1	2.1	2.1	2.1	2.1	2.1	2.1	2.1	2.1	2.1	2.1	2.1	2.1
2.2	PHASE II BUILDING 2.2	2.2	2.2	2.2	2.2	2.2	2.2	2.2	2.2	2.2	2.2	2.2	2.2	2.2



NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Central Ave., Redwood City, CA 94061



San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



ORDER ID# 10434023
REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 24 HOUR REVIEW PROGRAM

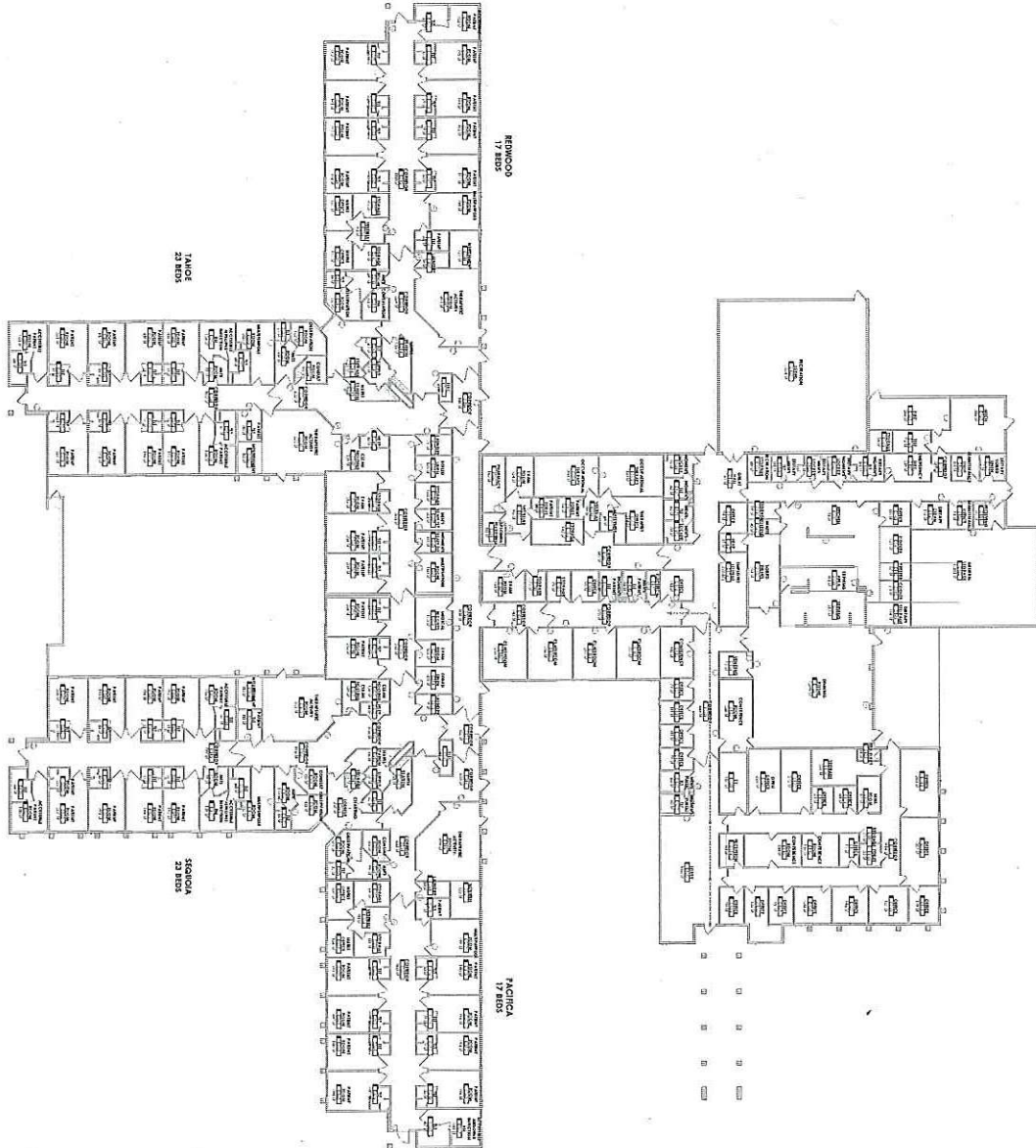
DATE: 07-18-19

OFFICE OF ENVIRONMENTAL HEALTH PLANNING AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION

BUILDING - AREA PLANS

9.0

1 LEVEL 1 - EXISTING FACILITY FLOOR PLAN
1/16" = 1'-0"



NELSON ARCHITECT OF CALIFORNIA, LTD
 4401 S. Central Ave., Redwood Park II, #4013



San Jose Behavioral Health
 455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
 02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

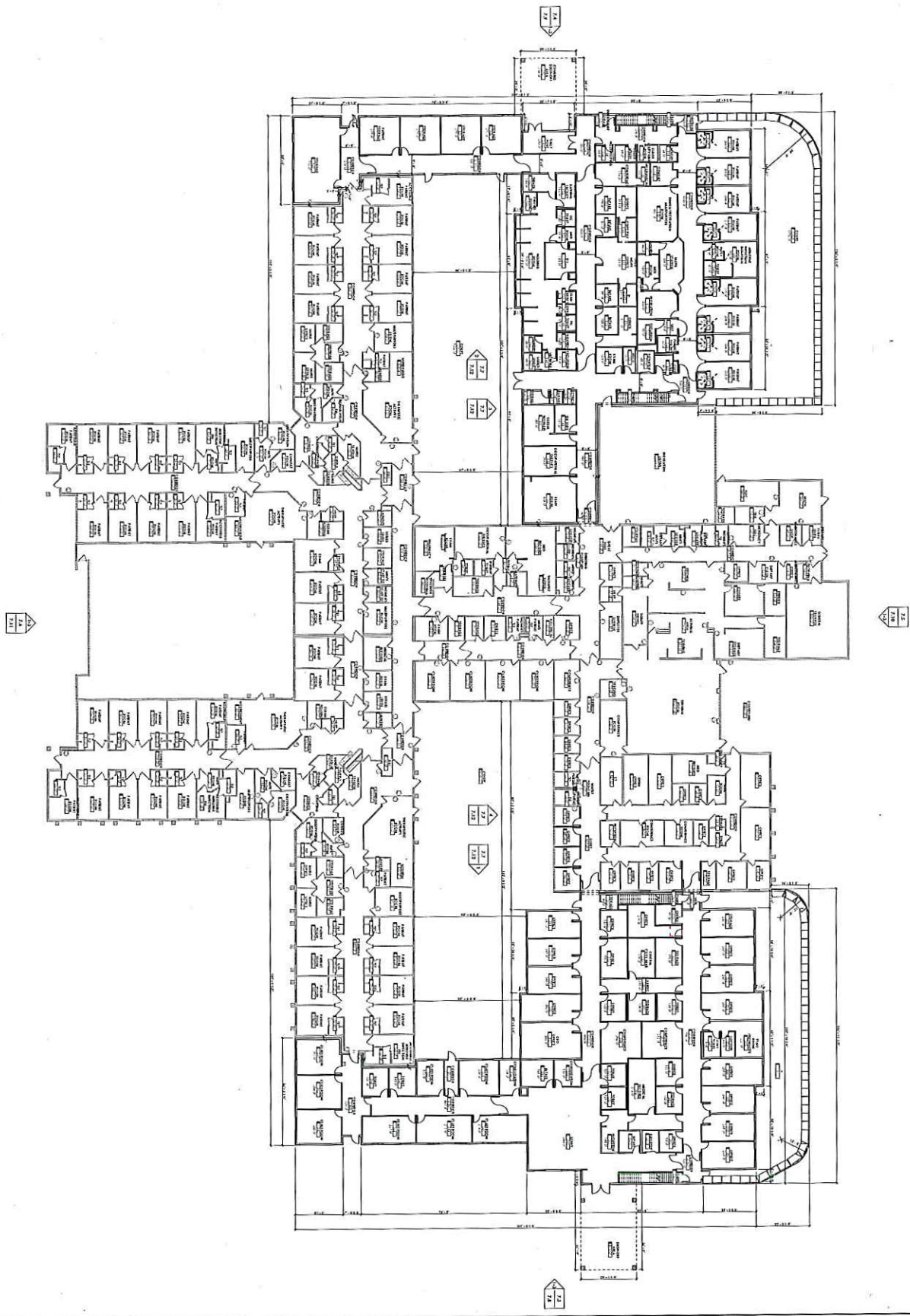


OFFICE OF STATEwide HEALTH PLANNING AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION
 DATE: 11-15-19

NO.	REVISED	DATE	BY	CHKD
1		11-15-19	JG	JG

EXISTING FLOOR PLAN

1 LEVEL 1 - ARCHITECTURE - OVERALL PLAN
1/16" = 1'-0"




NELSON ARCHITECT OF CALIFORNIA, LTD.
401 S. Central Ave., San Jose, CA 95128



ALPA
ALTERNATIVE LEARNING PARTNERSHIP

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



ACADIA
HEALTHCARE

CONTR. 104-1043023
REVIEWED IN ACCORDANCE WITH THE BOARD OF HEALTH SERVICES

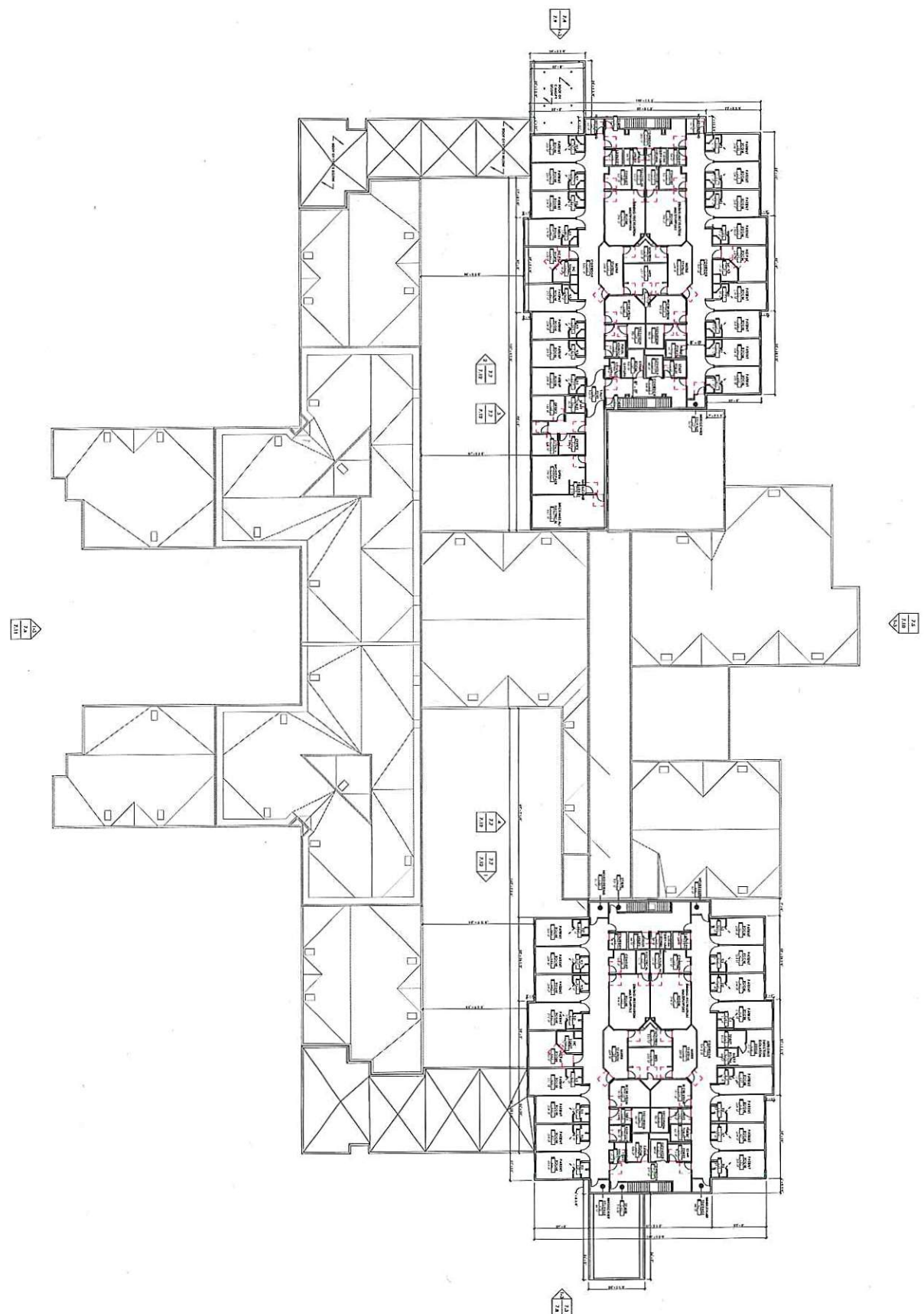
DATE: _____

OFFICE OF STRATEGIC PLANNING AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION

NO.	REVISION	DATE
1	Issued	11-18-19

COMPLETION - LEVEL 1 - ARCHITECTURE PLAN

1
LEVEL 2 - ARCHITECTURE - OVERALL PLAN
1/8" = 1'-0"



DATE: 10/10/18
 PREPARED BY: ARCHITECTS AND DESIGNERS
 CHECKED BY: ARCHITECTS AND DESIGNERS
 OFFICE OF STATISTICAL HEALTH PLANNING AND DEVELOPMENT SERVICES
 SAN JOSE BEHAVIORAL HEALTH CENTER
 4501 SILICON VALLEY BLVD., SAN JOSE, CA 95138

REGISTERED ARCHITECT
 REGISTERED ARCHITECT
 REGISTERED ARCHITECT
 REGISTERED ARCHITECT
 REGISTERED ARCHITECT

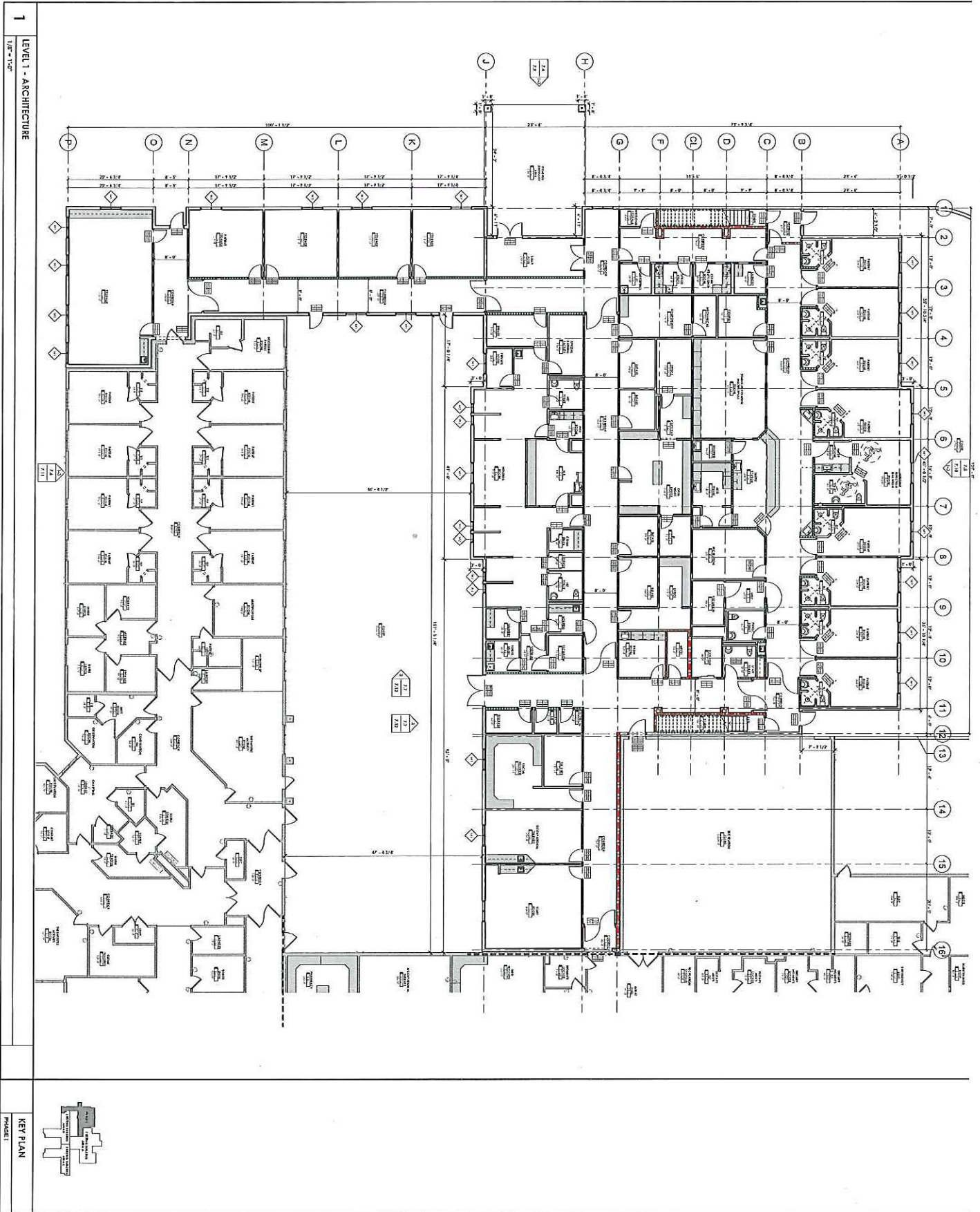
NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/10/18

San Jose Behavioral Health
 455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
 02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

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 CONSULTING ARCHITECTS

NEISON ARCHITECT OF CALIFORNIA, LTD
 4401 S. Central Ave., San Jose, CA 95128

ACADIA
 HEALTHCARE
 GEORGE J. HARRIS
 REGISTERED ARCHITECT
 REGISTERED ARCHITECT
 REGISTERED ARCHITECT
 REGISTERED ARCHITECT



KEY PLAN
PHASE I

9.4

ACADIA
ARCHITECTURE

OFFICE OF ENVIRONMENTAL HEALTH TRAINING
AND SAFETY
DEVELOPMENT DIVISION
SATE
375481

OSHPD ID# 10444222
REVIEWED IN ACCORDANCE WITH
THE REQUIREMENTS OF TITLE 24,
SECTION 4139.02

NO.	NUMBER	DATE
1	175481	

PHASE I - LEVEL 1 -
ARCHITECTURE PLAN

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

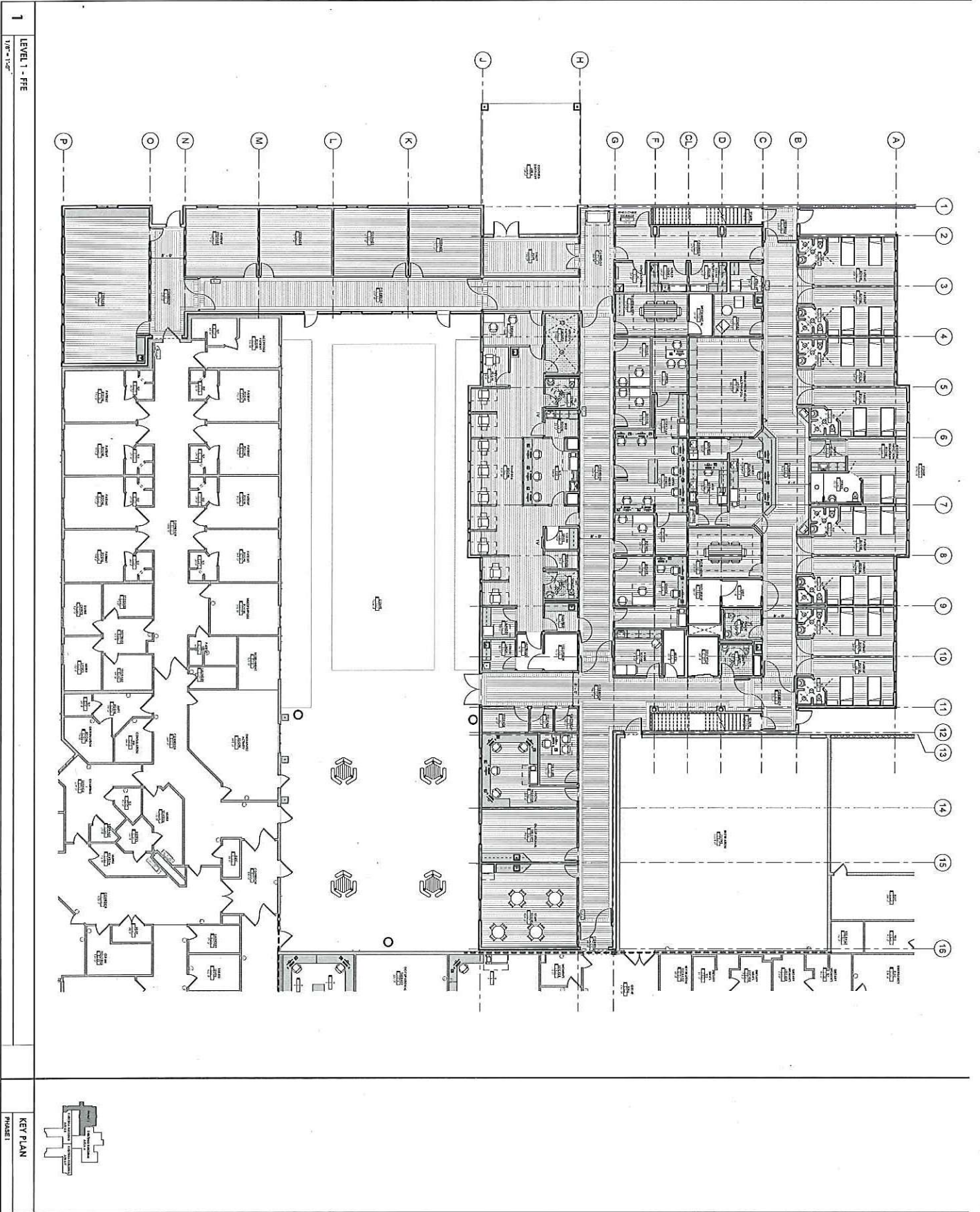


ALPA
CONSTRUCTION

4401 S. Condit Ave, Bedford Park IL 60438

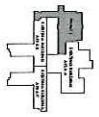


NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Condit Ave, Bedford Park IL 60438



1
LEVEL 1 - FFE
1/8" = 1'-0"

KEY PLAN
PHASE I



PHASE I - LEVEL 1 - FINISH PLAN

DATE: 11.14.18

OFFICE OF ENVIRONMENTAL HEALTH AND SAFETY
DEVELOPMENT DIVISION

ACADIA
ARCHITECTURE

OWNER: THE RESIDENTS OF THE 24 CENTRAL ROOMS

DESIGNED BY: TUCKER+KLEIN

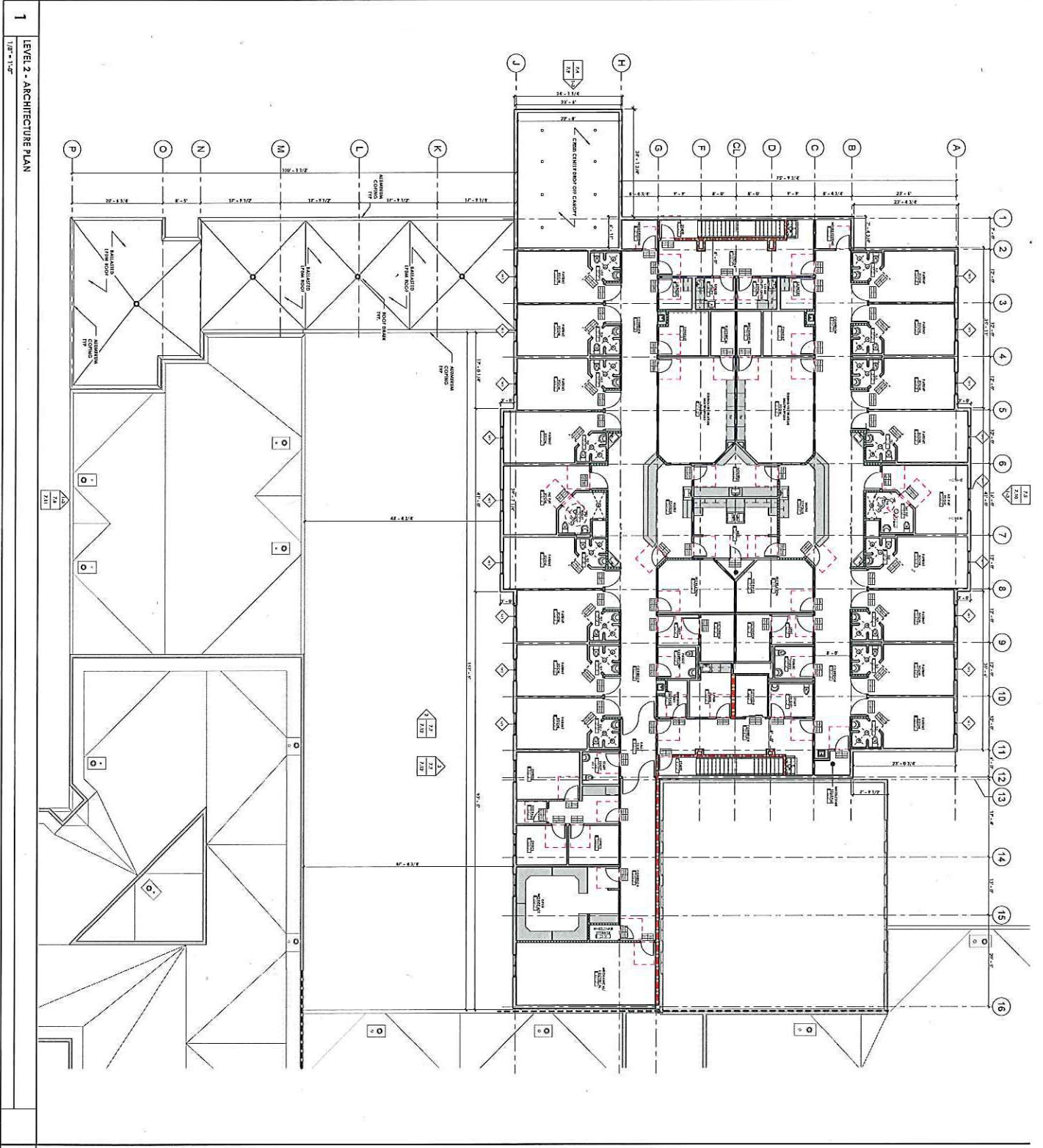
REVIEWED BY: ACCORDANCE WITH THE RESIDENTS OF THE 24 CENTRAL ROOMS

San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



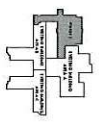
NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Central Ave., Redwood Park II, #2435





1 LEVEL 2 - ARCHITECTURE PLAN
 1/8" = 1'-0"

KEY PLAN
 PHASE I



PHASE I - LEVEL 2 - ARCHITECTURE PLAN

NO.	REVISION	DATE
1	ISSUED	07/18/19
2	DATE	

OFFICE OF PLANNING AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION

DATE: 07/18/19

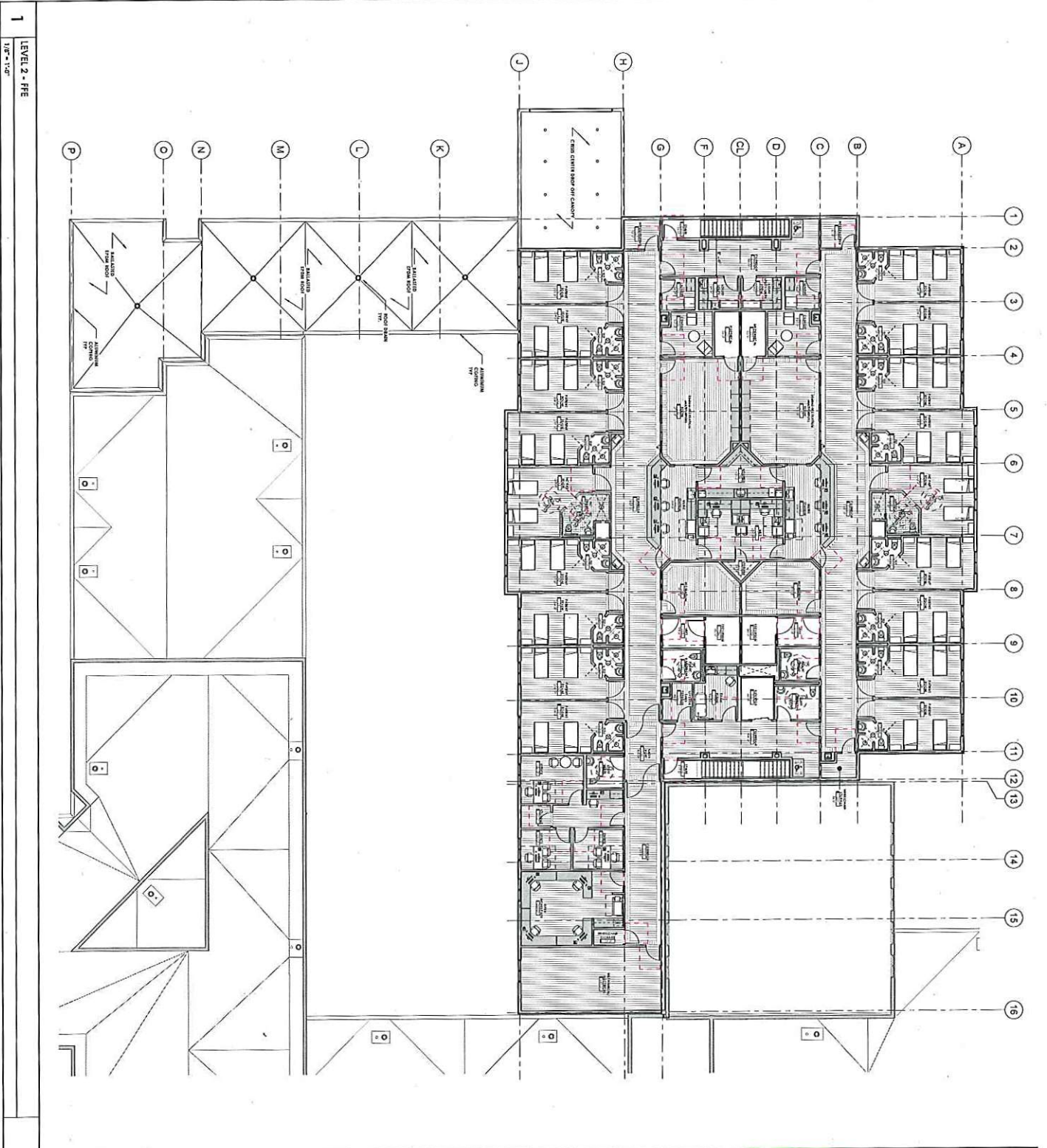
REVISIONS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 9.5, PART 2.

San Jose Behavioral Health
 455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
 02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



NEILON ARCHITECT OF CALIFORNIA, LTD.
 4401 S. Central Ave., Redwood Park II, 40134





1	LEVEL 2 - FFE 1/8" = 1'-0"	KEY PLAN PHASE I
----------	-------------------------------	---------------------

9.7

PHASE I - LEVEL 2 -
FINISH PLAN

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



ALPA
ARCHITECTS



**NECON ARCHITECT OF
CALIFORNIA, INC.**
4401 S. Central Ave., San Jose, CA 95128

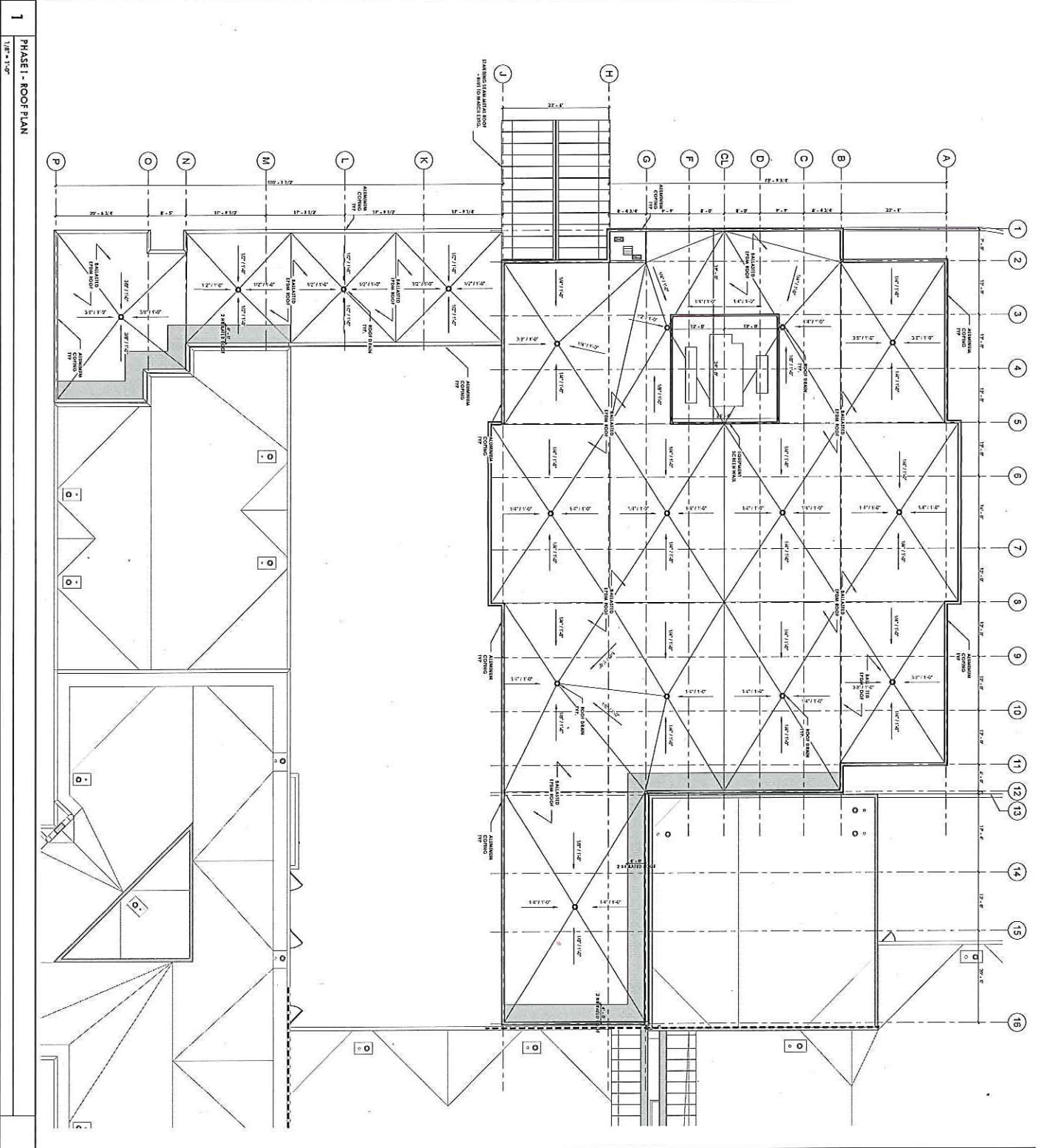
AGADIA ARCHITECTS

OFFICE: 10446622
REVISION: IN ACCORDANCE WITH THE REQUIREMENTS OF THE 24, 2015 REGULATIONS

DATE: 12-18-19

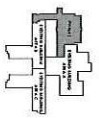
OFFICE OF STRATEGIC PLANNING AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION

NO.	NAME	DATE



1 PHASE I - ROOF PLAN
1/8" = 1'-0"

KEY PLAN
PHASE I



9.8

DATE: 11/11/2019
OFFICE OF PLANNING AND ENVIRONMENTAL DEVELOPMENT DIVISION
PHASE I - ROOF PLAN

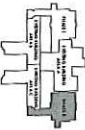
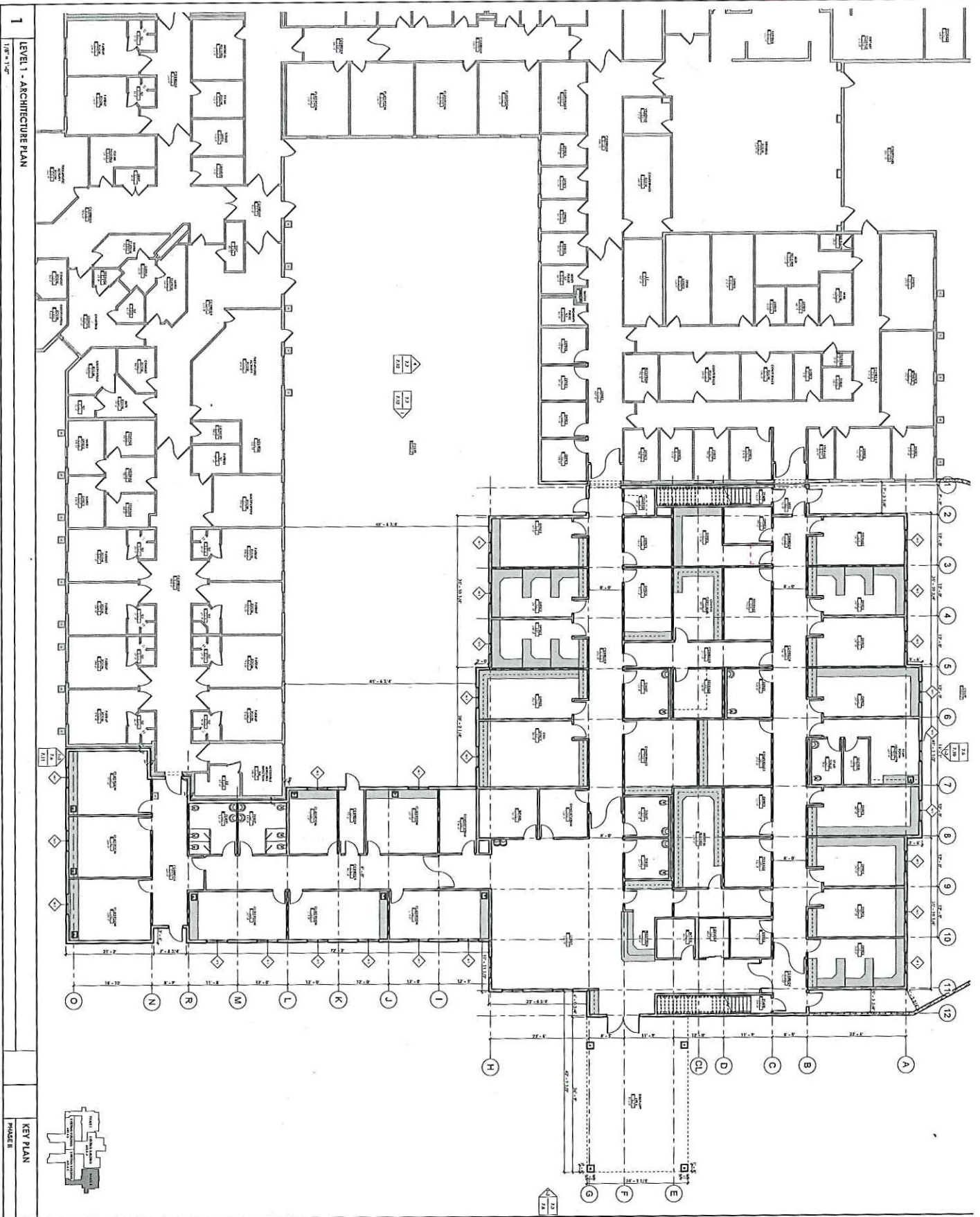
ACADIA
ARCHITECTURAL
CONSTRUCTION
CONTRACT NO. 174181-012
REVISION NO. 01
THE REQUIREMENTS OF TITLE 24, CHAPTER 14.18

San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

ALPA
CONSTRUCTION

NEISON ARCHITECT OF CALIFORNIA, LTD
4401 S. Central Ave, Redwood Park II 48125





9.9

DATE: _____
 OFFICE OF STATISTICAL PLANNING AND DEVELOPMENT FACILITIES
 DEVELOPMENT DIVISION
 PHASE II - LEVEL 1 - ARCHITECTURE

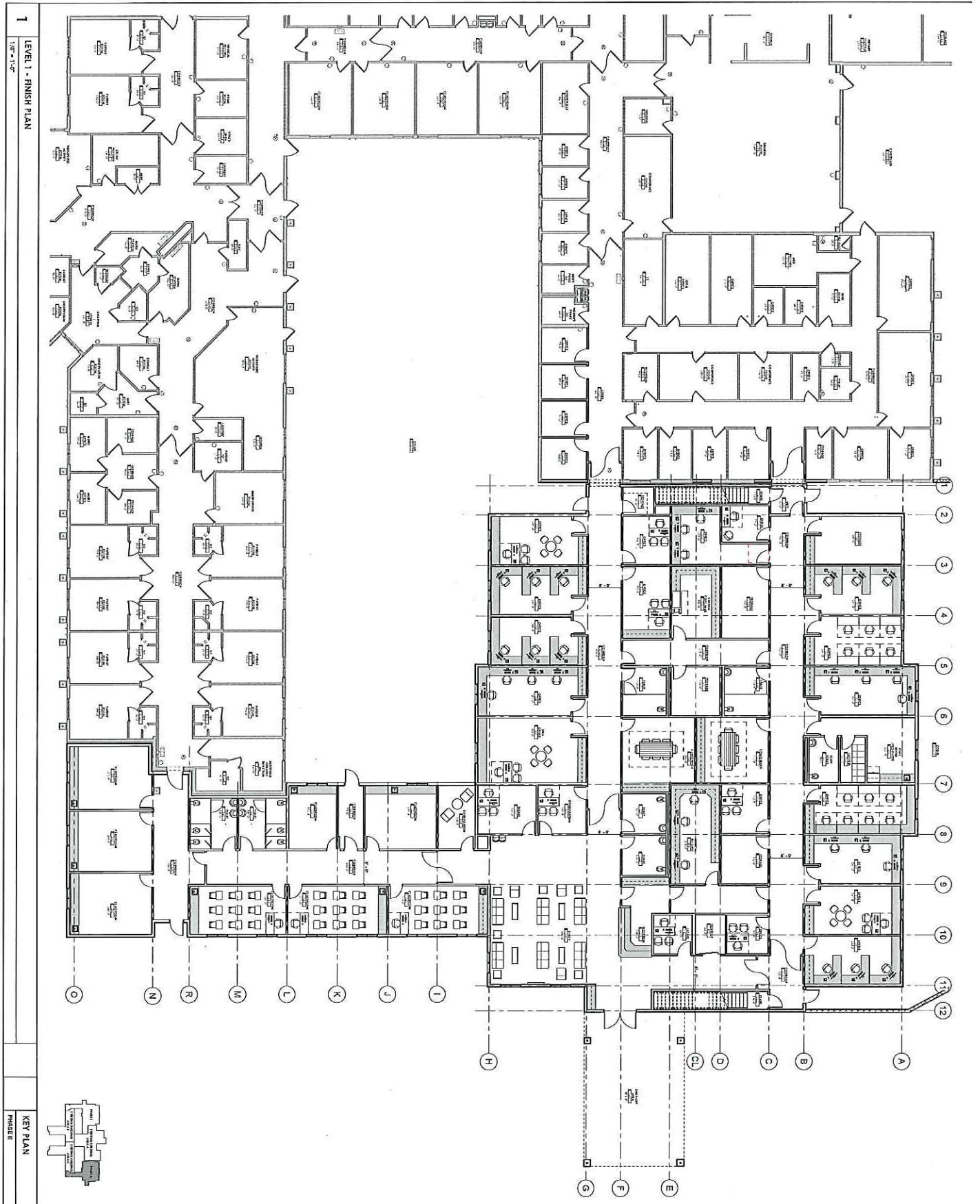
AGADIA
 ARCHITECT
 GRAND ID# 103440023
 REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 9.1

San Jose Behavioral Health
 455 Silicon Valley Blvd, San Jose, CA 65138
Phase I & Phase II - Building Addition
 02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

ALPHA
 CONSTRUCTION

NEGON ARCHITECT OF CALIFORNIA, LTD
 440 S. CALLE ANA, BERKELEY, CA 94704





San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 65138
Phase I & Phase II - Building Addition
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

ALPHA CONSTRUCTION

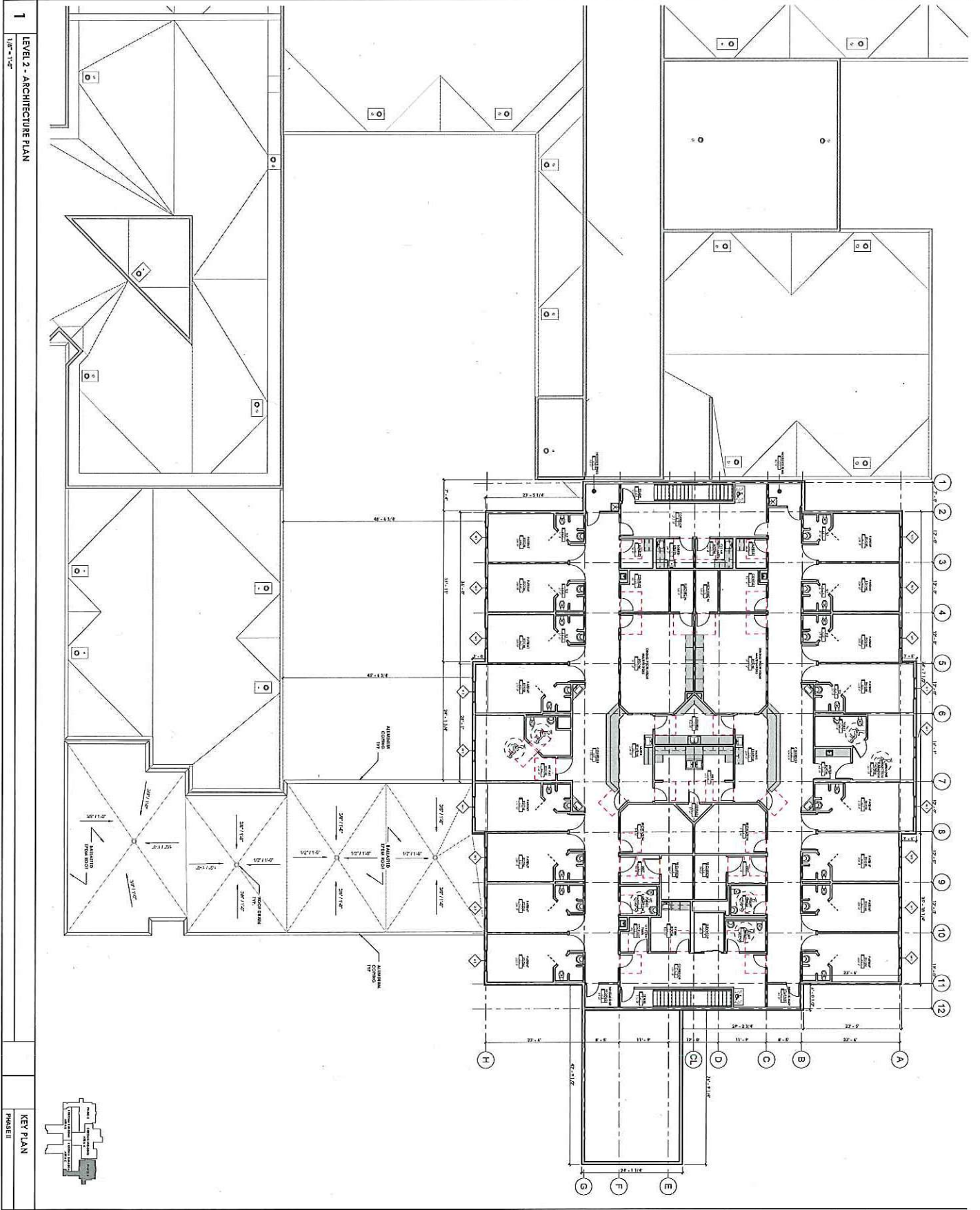
NEILON ARCHITECT OF CALIFORNIA, LTD.
440 S. Central Ave, Redwood Park II, 68124

ACADIA ARCHITECTS
OFFICE OF STRATEGIC PLANNING AND DEVELOPMENT - PUBLIC ENGAGEMENT DIVISION
DATE: 12/20/19
DRAWN BY: [Signature]
CHECKED BY: [Signature]

OSHPD PER 16-04-0023
HEALTH CARE ACCREDITATION BOARD
THE REQUIREMENTS OF TITLE 24
C.C.P. 16-04-0023

PHASE II - LEVEL 1 - FINISH PLAN

9.10



1 LEVEL 2 - ARCHITECTURE PLAN
 1/8" = 1'-0"

KEY PLAN
 PHASE II



San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 65138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

ALPA
 CONSTRUCTION

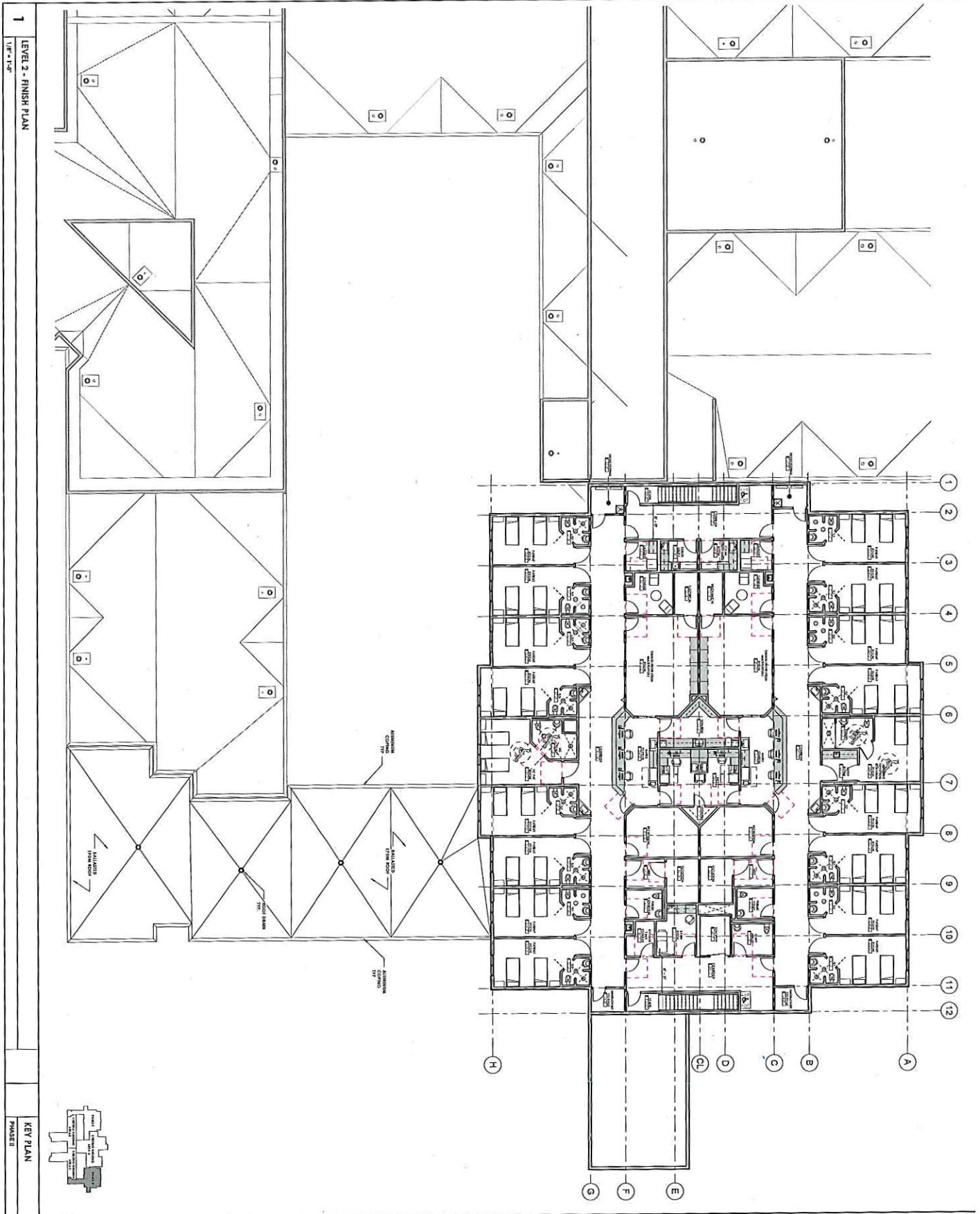
N
 NELSON ARCHITECT OF CALIFORNIA, LTD
 4401 S. Central Ave., Redwood Park II, 65138

ACAPEDIA
 HEALTH CARE ARCHITECTURE

OSHPD ID# 10444003
 RECEIVED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 9.11, ARTICLE 20202

DATE: 12/18/18
 OFFICE OF GENERAL PLANNING AND DEVELOPMENT DIVISION

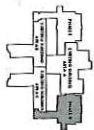
PHASE II - LEVEL 2 - ARCHITECTURE
 9.111



1
LEVEL 2 - FINISH PLAN
1/8" = 1'-0"

KEY PLAN
PHASE II

9.12



DATE: 12-18-18

OFFICE OF STRATEGIC PLANNING AND DEVELOPMENT DIVISION

PHASE II - LEVEL 2 - FINISH PLAN

AGADIA ARCHITECTS INC. CALIFORNIA

OSHPD ID# 15342423

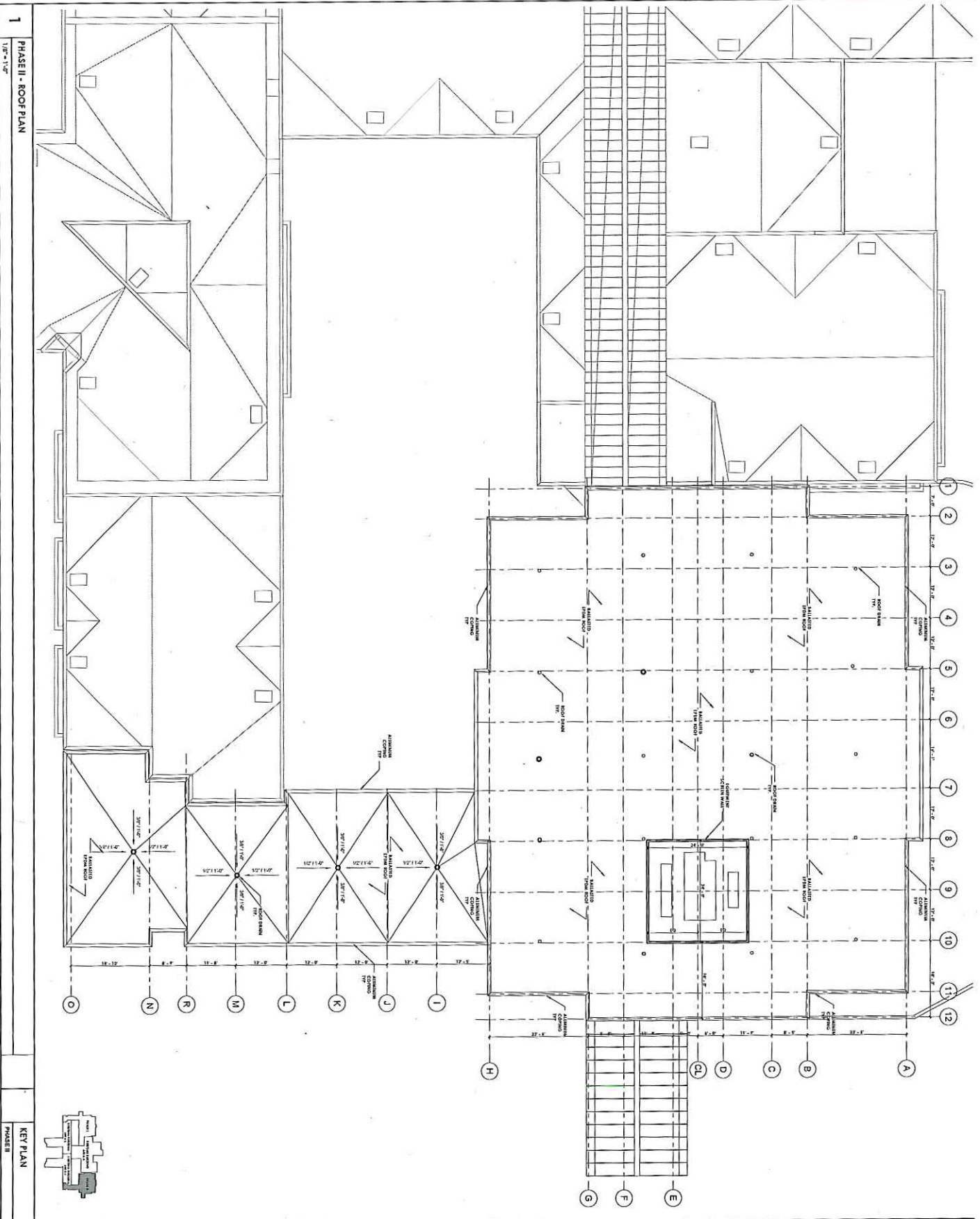
REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, SECTION 150200.2

San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 65138
Phase I & Phase II - Building Addition
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

ALPHA
CONSTRUCTION

NESON ARCHITECT OF CALIFORNIA, LTD
4401 S. Central Ave. Redwood Park II, 44126





1 PHASE II - ROOF PLAN
1/8" = 1'-0"



DATE: 12/18/18

NO.	REVISION	DATE
1	Issued	12/18/18
2		

OFFICE OF PLANNING AND DEVELOPMENT DIVISION
SAN JOSE BEHAVIORAL HEALTH CENTER

AGADIA
ARCHITECTS

OWNER: SAN JOSE BEHAVIORAL HEALTH CENTER
PROJECT: PHASE II - BUILDING ADDITION

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 65138

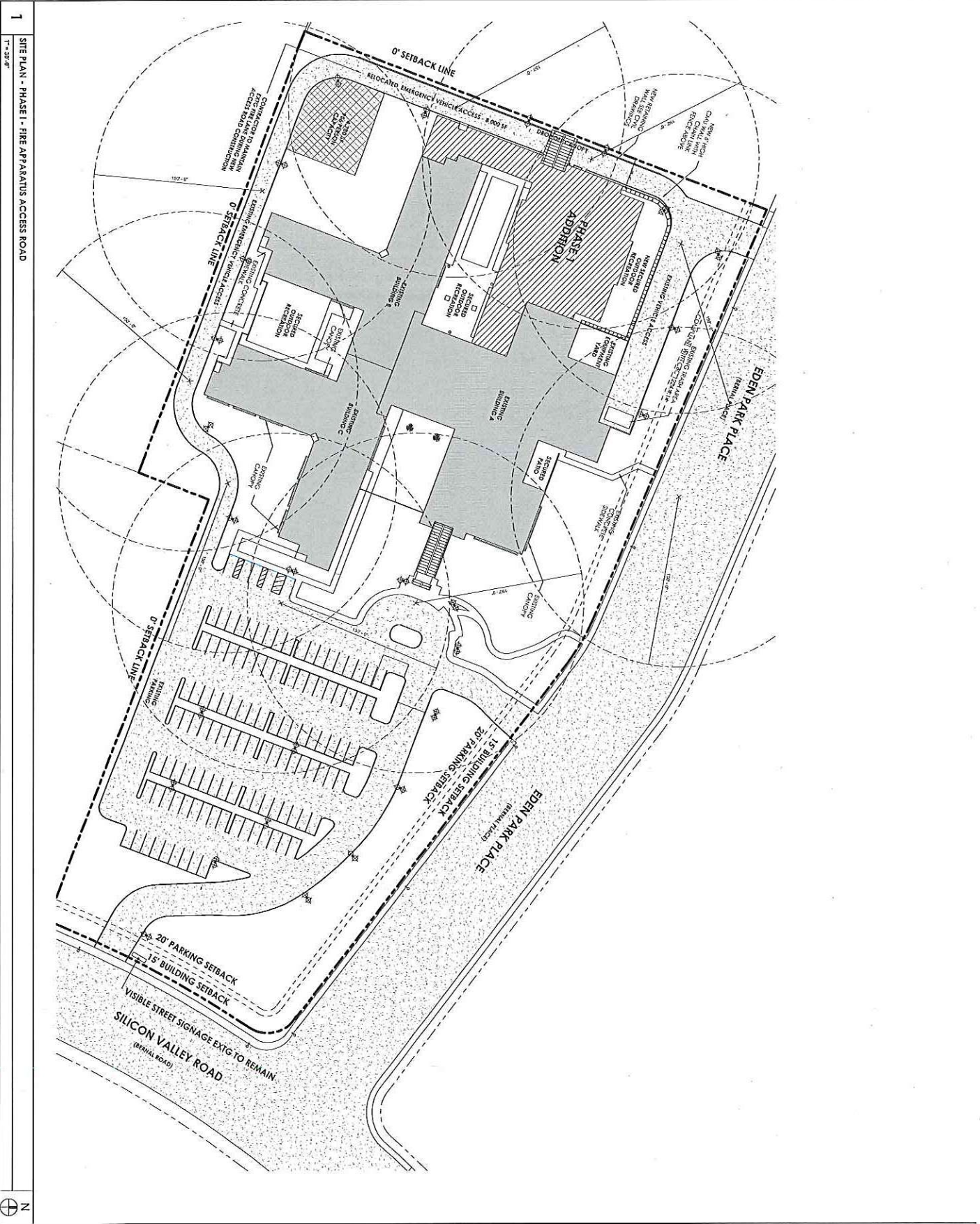
Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



NELSON ARCHITECT OF CALIFORNIA, INC.
4481 S. Campbell Ave., San Jose, CA 95128





1 SITE PLAN - PHASE I - FIRE APPARATUS ACCESS ROAD
 T-3000

9.14

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

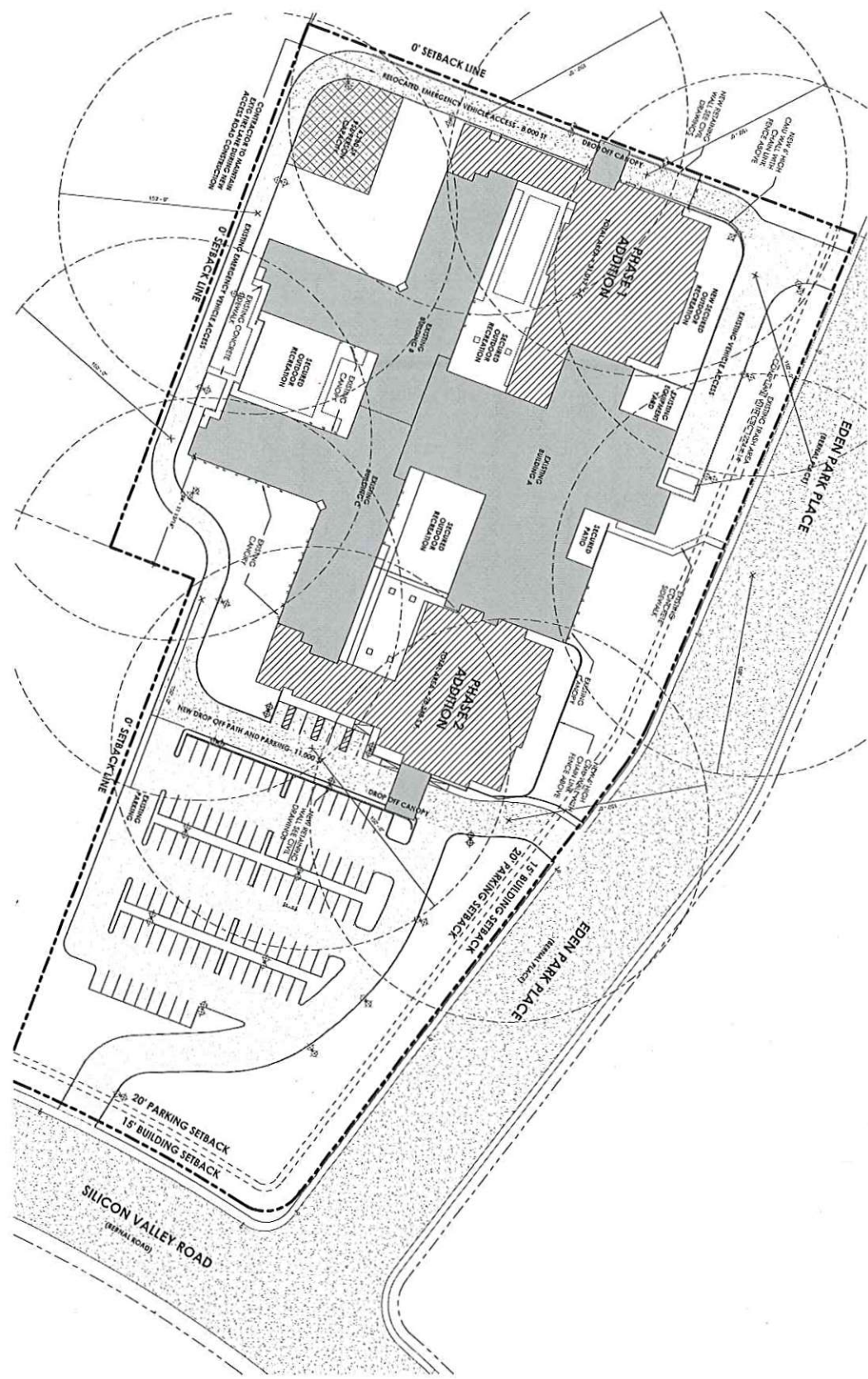
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

ALPA
CONSTRUCTION

NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Central Ave., Redwood Park, IL 60226

<p>ACADIA HASTINGS, CA</p>	<p>OSHPD USE 104340232</p> <p>REQUIRED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 9.14.0020</p>	<p>DATE: 12/28/18</p> <p>OFFICE OF STATEWIDE PLANNING AND DEVELOPMENT DIVISION</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">REVISION</th> <th style="width: 50%;">DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REVISION	DATE						
REVISION	DATE										

1 SITE PLAN - PHASE II - FIRE APPARATUS ACCESS ROAD
1" = 30'-0"



9.15

DATE: 11-21-18
 PHASE II - FIRE APPARATUS ACCESS ROAD

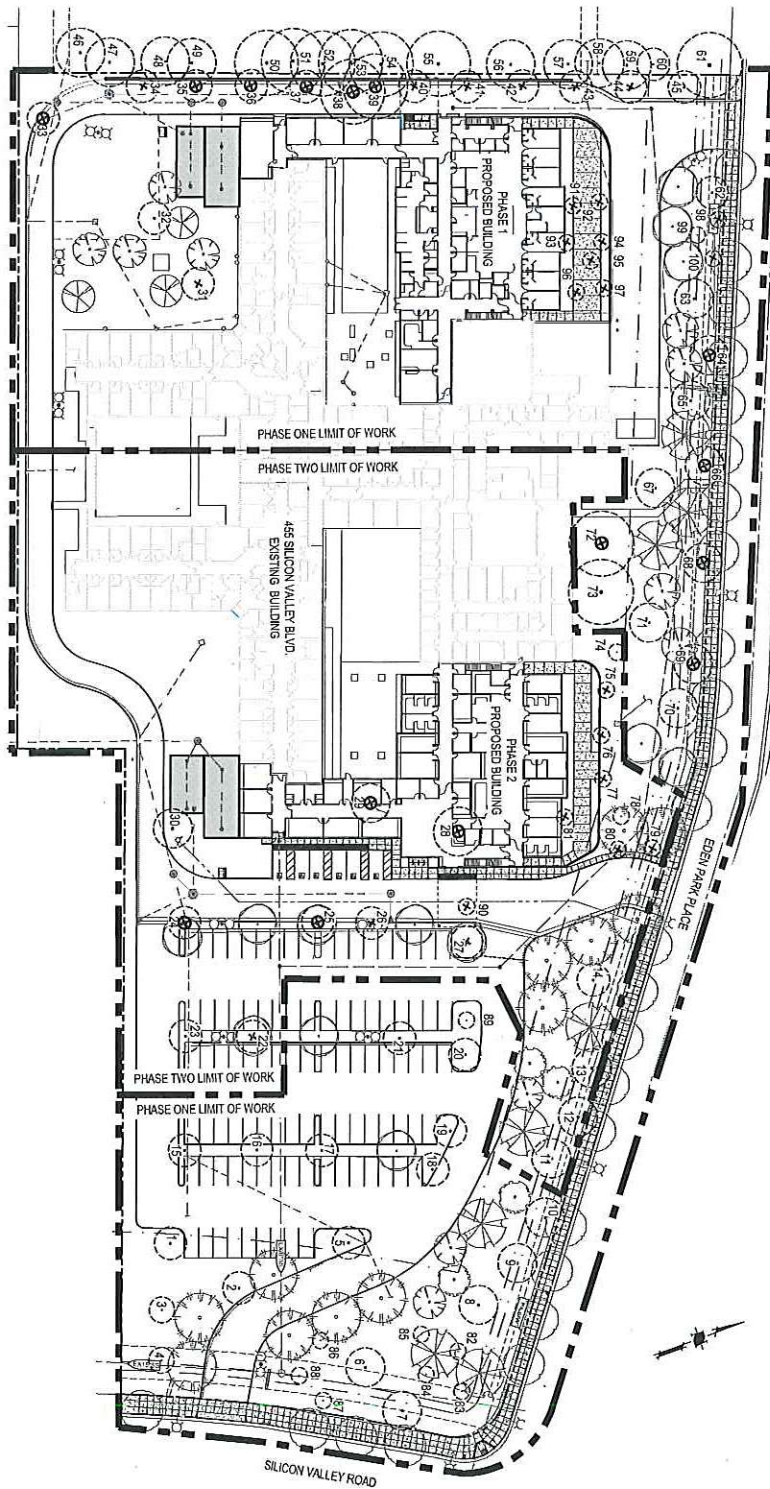
ACADIA HEALTH SERVICES
 17411
 OFFICE OF SUSTAINABLE PLANNING AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION

San Jose Behavioral Health
 455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
 02-15-2019 ISSUED FOR CONDITIONAL USE PERMIT



NEILSON ARCHITECT OF CALIFORNIA, LTD.
 4401 S. Central Ave. Redwood Park, IL 60468





PROPOSED TREE LEGEND		TREE MITIGATION SUMMARY TABLE - PHASE ONE		TREE MITIGATION SUMMARY TABLE - PHASE TWO		TREE MITIGATION LEGEND	
SYMBOL	DESCRIPTION	SIZE	QUANTITY	SYMBOL	DESCRIPTION	SIZE	QUANTITY
○	ACER RUBRA MAJESTICUS	24" BOX	13	○	ACER RUBRA MAJESTICUS	24" BOX	13
○	ACER RUBRA MAJESTICUS	24" BOX	4	○	ACER RUBRA MAJESTICUS	24" BOX	4
○	ACER RUBRA MAJESTICUS	24" BOX	3	○	ACER RUBRA MAJESTICUS	24" BOX	3
○	ACER RUBRA MAJESTICUS	24" BOX	12	○	ACER RUBRA MAJESTICUS	24" BOX	12
○	ACER RUBRA MAJESTICUS	24" BOX	8	○	ACER RUBRA MAJESTICUS	24" BOX	8
○	ACER RUBRA MAJESTICUS	24" BOX	11	○	ACER RUBRA MAJESTICUS	24" BOX	11
○	ACER RUBRA MAJESTICUS	15' DOLLAR	28	○	ACER RUBRA MAJESTICUS	15' DOLLAR	28

TREE MITIGATION SUMMARY TABLE - PHASE ONE		TREE MITIGATION SUMMARY TABLE - PHASE TWO	
TOTAL TREES REQUIRED TO MEET MITIGATION REQUIREMENTS	TOTAL TREES TO BE REMOVED	TOTAL TREES REQUIRED TO MEET MITIGATION REQUIREMENTS	TOTAL TREES TO BE REMOVED
342	0	171	0
ON-SITE TREE MITIGATION TABLE - PHASE ONE	ON-SITE TREE MITIGATION TABLE - PHASE TWO	ON-SITE TREE MITIGATION TABLE - PHASE ONE	ON-SITE TREE MITIGATION TABLE - PHASE TWO
TOTAL TREES TO BE REMOVED	TOTAL TREES TO BE REMOVED	TOTAL TREES TO BE REMOVED	TOTAL TREES TO BE REMOVED
0	0	0	0
TOTAL NUMBER OF NON-NATIVE TREES TO BE REMOVED	TOTAL NUMBER OF NON-NATIVE TREES TO BE REMOVED	TOTAL NUMBER OF NON-NATIVE TREES TO BE REMOVED	TOTAL NUMBER OF NON-NATIVE TREES TO BE REMOVED
0	0	0	0

TREE MITIGATION LEGEND	
SYMBOL	DESCRIPTION
○	TREES TO BE REMOVED
○	CHANCE TREE TO BE REMOVED
○	TREES TO BE PROTECTED AND REMAIN IN PLACE
○	LANDSCAPING TREES TO BE PLANTED
○	LANDSCAPING TREES TO BE REMOVED

OFFICE OF STAFF AND PLANNING
DEVELOPMENT DIVISION

DATE: 1/15/19

TREE MITIGATION PLAN

L10.1

ACADIA
CONSULTING ENGINEERS

CONTRACT NO. 10454323

WORKING IN ACCORDANCE WITH THE REQUIREMENTS OF THE 24th DEVELOPMENT DIVISION

San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

ALPHA
CONSTRUCTION

1501 Oakland Road
San Jose, CA 95131
Tel: 408.487.2200
www.alphaconstruction.com

NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Central Ave., Bedford Park II, 95033

TABLE 2 - TREE EVALUATION TABLE

Table with columns: Tree ID, Species, DBH, Height, Condition, and Comments. Lists various trees like Redwood, Sycamore, and Oak with their respective measurements and health status.

Table with columns: Tree ID, Species, DBH, Height, Condition, and Comments. Continuation of tree evaluation data from the previous table.

TREE PROTECTION NOTES

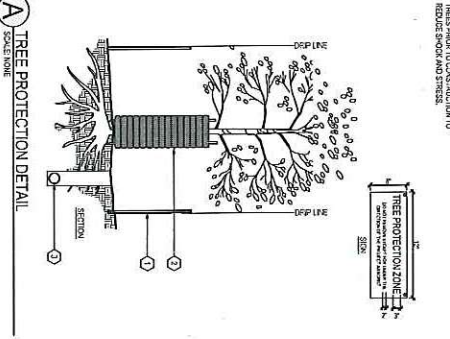
1. PROTECT ALL EXISTING TREES TO REMAIN. ALL EXISTING TREES SHALL BE PROTECTED BY A TREE PROTECTION ZONE (TPZ) AS DEFINED IN THE TREE PROTECTION DETAIL. THE TPZ SHALL BE ESTABLISHED BY THE TREE PROTECTION DETAIL AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE TPZ SHALL BE MAINTAINED BY THE CONTRACTOR AND SHALL BE RESTORED TO ORIGINAL CONDITION AFTER CONSTRUCTION IS COMPLETE.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY THE PROJECT SITE PRIOR TO BEING TO OBTAIN THE EXISTING TREE REMOVAL PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL OF ALL EXISTING TREES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL OF ALL EXISTING TREES TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL OF ALL EXISTING TREES TO BE REMOVED.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL OF ALL EXISTING TREES TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL OF ALL EXISTING TREES TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL OF ALL EXISTING TREES TO BE REMOVED.

- 1. PROTECT ALL EXISTING TREES TO REMAIN. ALL EXISTING TREES SHALL BE PROTECTED BY A TREE PROTECTION ZONE (TPZ) AS DEFINED IN THE TREE PROTECTION DETAIL. THE TPZ SHALL BE ESTABLISHED BY THE TREE PROTECTION DETAIL AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.



3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL OF ALL EXISTING TREES TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL OF ALL EXISTING TREES TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL OF ALL EXISTING TREES TO BE REMOVED.

NELSON ARCHITECT OF CALIFORNIA, LTD. 401 S. Central Ave., Redwood City, CA 94063

HPH 1570 Oakland Road (650) 465-2200 2nd Floor, Suite 200 Fremont, CA 94538

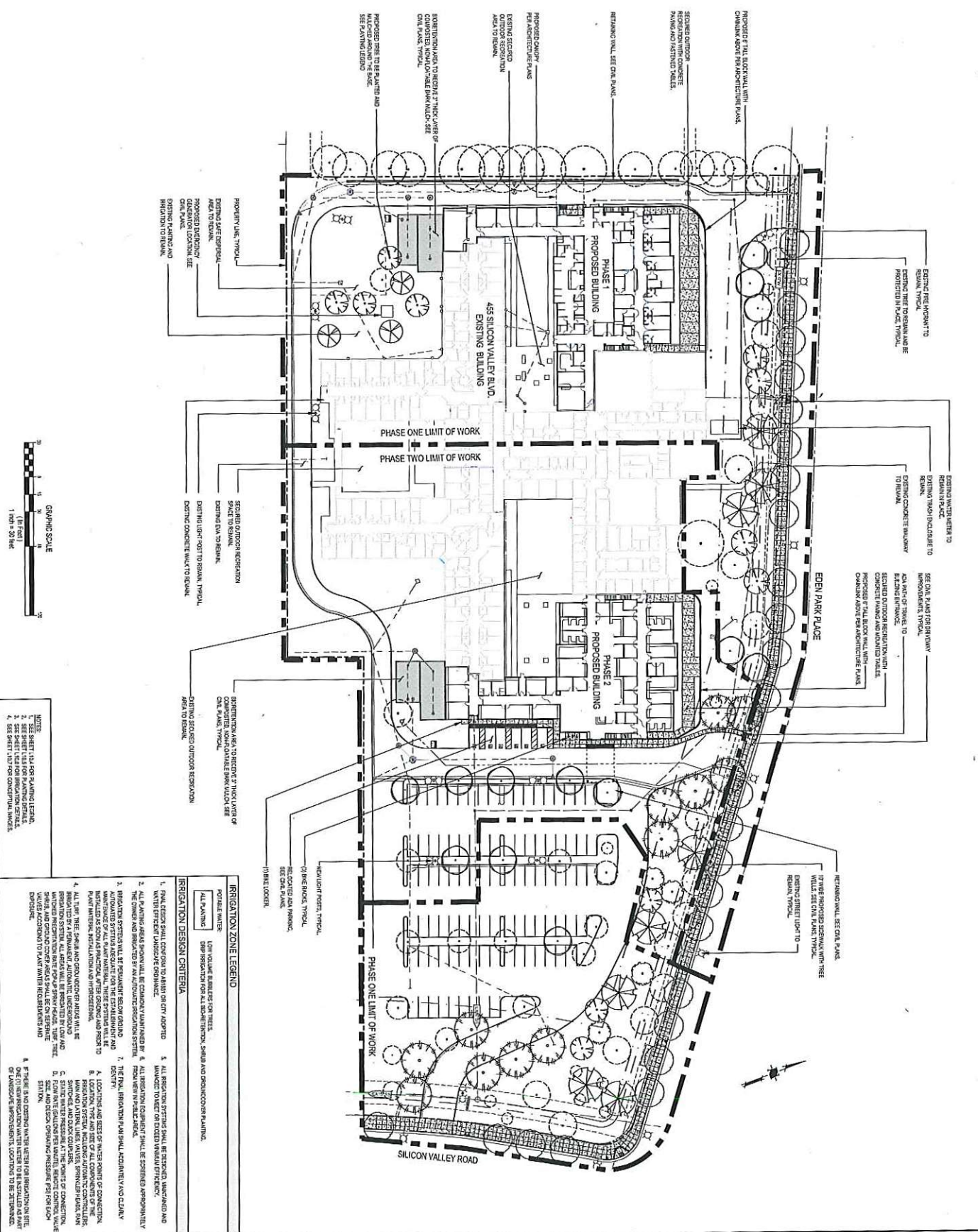
ALPA 174511

San Jose Behavioral Health 455 Silicon Valley Blvd, San Jose, CA 95138 Phase I & Phase II - Building Addition 02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

ACADIA 10454303 REVISED IN ACCORDANCE WITH THE 2018 CALIFORNIA BUILDING CODE

DATE: 17-481

TREE INVENTORY, NOTES, AND PROTECTION DETAIL L10.2



IRRIGATION ZONE LEGEND

SPRINKLER ZONES:

ALL PLANTING Low volume emitter for trees.

DRIP IRRIGATION FOR ALL SUBSTENTION, SHRUB AND DECIDUOUS PLANTING.

IRRIGATION DESIGN CRITERIA

1. PAUL DESIGN SHALL DESIGN TO MATCH OR EXCEED THE IRRIGATION DESIGN CRITERIA AND DESIGN CONFORMANCE STANDARDS FOR ALL SUBSTENTION, SHRUB AND DECIDUOUS PLANTING.
2. ALL PLANTING AREAS SHALL BE COMPANION MAINTAINED BY 4. ALL IRRIGATION EQUIPMENT SHALL BE SPECIFIED APPROPRIATELY FROM THE MANUFACTURER'S CATALOG.
3. IRRIGATION SYSTEMS SHALL BE PERMANENT BELOW GROUND AND SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER GROUND AND TREES TO PLANT MATERIALS, INSTALLATION AND INTERCEPTION.
4. ALL TREE, SHRUB AND DECIDUOUS AREAS SHALL BE IRRIGATED BY PERMANENT ABOVE GROUND IRRIGATION SYSTEMS. IRRIGATION SYSTEMS SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER GROUND AND TREES TO PLANT MATERIALS, INSTALLATION AND INTERCEPTION.
5. IRRIGATION SYSTEMS SHALL BE DESIGNED, MANAGED AND MAINTAINED TO MEET OR EXCEED MAINTENANCE EFFICIENCY FROM THE MANUFACTURER'S CATALOG.
6. IRRIGATION SYSTEMS SHALL BE DESIGNED, MANAGED AND MAINTAINED TO MEET OR EXCEED MAINTENANCE EFFICIENCY FROM THE MANUFACTURER'S CATALOG.
7. THE PAUL IRRIGATION SHALL ACQUISITELY AND CLEARLY IDENTIFY:
 - A. LOCATION AND SIZE OF WATER POINTS OF CONNECTION.
 - B. LOCATION AND SIZE OF ALL MAINS AND SUBMANS.
 - C. LOCATION AND SIZE OF ALL VALVES, SPRINKLER HEADS, BURNERS AND OTHER IRRIGATION EQUIPMENT.
 - D. LOCATION AND SIZE OF ALL IRRIGATION EQUIPMENT.
8. IRRIGATION SYSTEMS SHALL BE DESIGNED, MANAGED AND MAINTAINED TO MEET OR EXCEED MAINTENANCE EFFICIENCY FROM THE MANUFACTURER'S CATALOG.

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019 ISSUED FOR CONDITIONAL USE PERMIT

ACADIA

ARCHITECTS

1570 Oakland Road, Suite 100, San Jose, CA 95131

4081 S. Central Ave, Bedford Park, IL 60435

ALPHA

CONSTRUCTION

1570 Oakland Road, Suite 100, San Jose, CA 95131

4081 S. Central Ave, Bedford Park, IL 60435

NELSON ARCHITECT OF CALIFORNIA, LTD

1570 Oakland Road, Suite 100, San Jose, CA 95131

4081 S. Central Ave, Bedford Park, IL 60435

LANDSCAPE PLAN

DATE: 11/14/18

OFFICE OF PLANNING AND DEVELOPMENT SERVICES

DATE: 11/14/18

CONTRACT NO. 1704002

REVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2A CUP 110.30

110.3

PLANTING LEGEND

SYMBOL	SPERMAL NAME	COMMON NAME	QUANTITY PLANTING	CONTAINER SIZE	HT	MOULD NUMBER USE
	QUINCY WALKER		10	10 GALLON	10'	U
	QUINCY WALKER		10	10 GALLON	10'	U
	QUINCY WALKER		10	10 GALLON	10'	U
	QUINCY WALKER		10	10 GALLON	10'	U

BIO-TREATMENT AREAS

SYMBOL	SPERMAL NAME	COMMON NAME	QUANTITY PLANTING	CONTAINER SIZE	HT	MOULD NUMBER USE
	QUINCY WALKER		10	10 GALLON	10'	U
	QUINCY WALKER		10	10 GALLON	10'	U
	QUINCY WALKER		10	10 GALLON	10'	U
	QUINCY WALKER		10	10 GALLON	10'	U



PLANTING LEGEND FOR THE LANDSCAPE ARCHITECT FOR BIO-TREATMENT AREAS FOR EMPLOYED IN THE SAN JOSE COUNTY WATER TREATMENT PLANT. PLANTING LEGEND FOR THE LANDSCAPE ARCHITECT FOR BIO-TREATMENT AREAS FOR EMPLOYED IN THE SAN JOSE COUNTY WATER TREATMENT PLANT. PLANTING LEGEND FOR THE LANDSCAPE ARCHITECT FOR BIO-TREATMENT AREAS FOR EMPLOYED IN THE SAN JOSE COUNTY WATER TREATMENT PLANT.

NOTES

1. ALL PLANTING AREAS TO BE REVEALED TO MATCH SURROUNDING AREAS.
2. ALL BIO-TREATMENT AREAS SHALL INCLUDE 3 INCHES OF COMPOSTED, MOUNT-DOWNABLE MULCH IN AREAS BETWEEN STORMWATER MANAGEMENT CHANNELS.

PLANTING LEGEND

SYMBOL	SPERMAL NAME	COMMON NAME	QUANTITY PLANTING	CONTAINER SIZE	HT	MOULD NUMBER USE
	ACER NIPONICUM		10	10 GALLON	10'	U
	ACER NIPONICUM		10	10 GALLON	10'	U
	ACER NIPONICUM		10	10 GALLON	10'	U

TREES

SYMBOL	SPERMAL NAME	COMMON NAME	QUANTITY PLANTING	CONTAINER SIZE	HT	MOULD NUMBER USE
	ACER NIPONICUM		10	10 GALLON	10'	U
	ACER NIPONICUM		10	10 GALLON	10'	U
	ACER NIPONICUM		10	10 GALLON	10'	U

SHRUBS AND GRASSES

SYMBOL	SPERMAL NAME	COMMON NAME	QUANTITY PLANTING	CONTAINER SIZE	HT	MOULD NUMBER USE
	ACER NIPONICUM		10	10 GALLON	10'	U
	ACER NIPONICUM		10	10 GALLON	10'	U
	ACER NIPONICUM		10	10 GALLON	10'	U

NOTES

1. ALL PLANTING AREAS TO BE REVEALED TO MATCH SURROUNDING AREAS.
2. ALL BIO-TREATMENT AREAS SHALL INCLUDE 3 INCHES OF COMPOSTED, MOUNT-DOWNABLE MULCH IN AREAS BETWEEN STORMWATER MANAGEMENT CHANNELS.



NELSON ARCHITECT OF CALIFORNIA, LTD
 4411 S. Cherry Ave, Redwood City, CA 94061

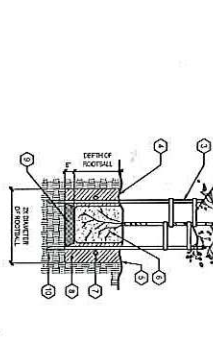
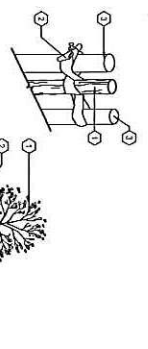
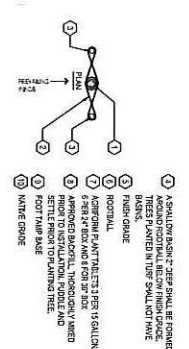


San Jose Behavioral Health
 455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
 02-15-2019_ISSUED FOR CONSTRUCTION PERMIT



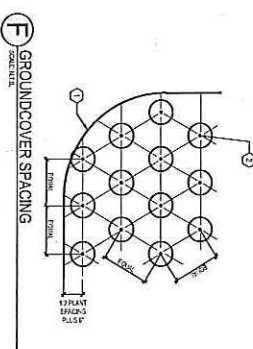
OFFICE OF PLANNING & PLANNING
 1575 OAKLAND ROAD, SUITE 200, SAN JOSE, CA 95131
 (408) 455-2200
 1575 OAKLAND ROAD, SUITE 200, SAN JOSE, CA 95131
 (408) 455-2200

NOTES:
 1. TREE PLANTING SPECIFICATIONS SHALL BE LOCATED IN THE PROJECT MANUAL.
 2. ALL TREE TRUNKS SHALL BE PROTECTED BY TREE GUARD.
 3. TREE GUARD SHALL BE INSTALLED AT THE BASE OF THE TRUNK.
 4. TREE GUARD SHALL BE INSTALLED WITH THE TREE GUARD.
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E TREE STAKING (DOUBLE)
 SCALE: N.T.S.

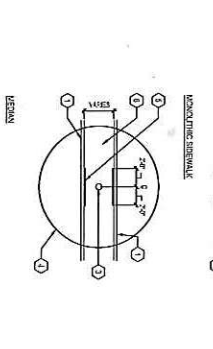
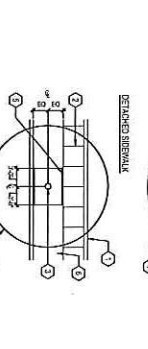
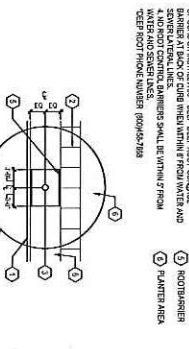
NOTES:
 1. TREE PLANTS TO BE STAKED BY DOUBLE STAKING SHALL BE STAKED AS SHOWN.
 2. STAKES SHALL BE INSTALLED AT THE BASE OF THE TRUNK.
 3. STAKES SHALL BE INSTALLED WITH THE TREE GUARD.
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F GROUND COVER SPAACING
 SCALE: N.T.S.

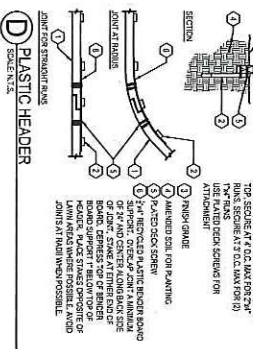


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C ROOT BARRIER
 SCALE: N.T.S.

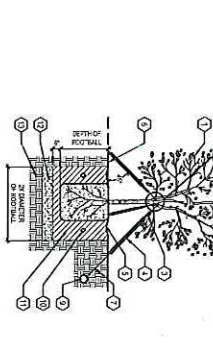
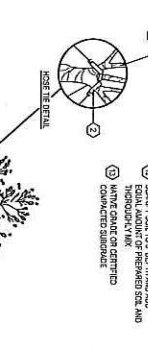
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D PLASTIC HEADER
 SCALE: N.T.S.

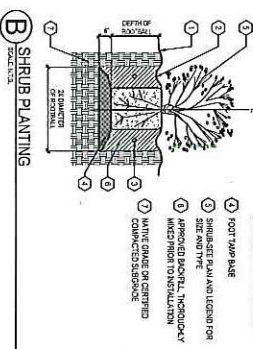


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A TREE GUYING
 SCALE: N.T.S.

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B SHRUB PLANTING
 SCALE: N.T.S.



ALPHA
 CONSULTING

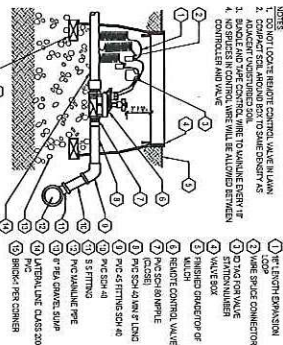
CONTRACTOR

San Jose Behavioral Health
 455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition
 02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

AGADIA
 CHAIRMAN

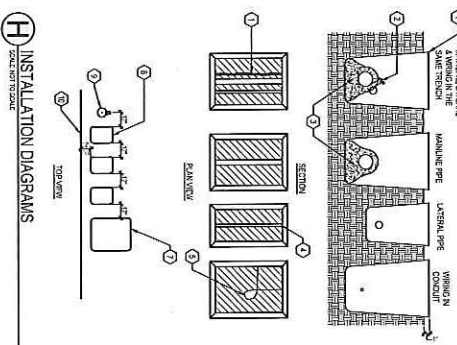
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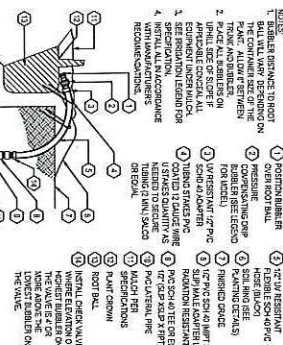


G REMOTE CONTROL VALVE
SCALE NOT TO SCALE

- NOTES
1. DO NOT LOCATE REMOTE CONTROL VALVE IN LAWN
 2. COMPACTED FILL UNDER FOOT SHALL BE AS SHOWN AS
 3. BRICK AND CURB CONTROL WERE TO MAINTAIN EVEN IF
 4. CONTROL VALVE SHALL BE ALIGNED BETWEEN
 5. CONTROL VALVE AND WALKWAY
- LEGEND
- 1 PVC 90° ELBOW EXPANSION
 - 2 PVC 90° ELBOW EXPANSION
 - 3 PVC 90° ELBOW EXPANSION
 - 4 PVC 90° ELBOW EXPANSION
 - 5 PVC 90° ELBOW EXPANSION
 - 6 PVC 90° ELBOW EXPANSION
 - 7 PVC 90° ELBOW EXPANSION
 - 8 PVC 90° ELBOW EXPANSION
 - 9 PVC 90° ELBOW EXPANSION
 - 10 PVC 90° ELBOW EXPANSION
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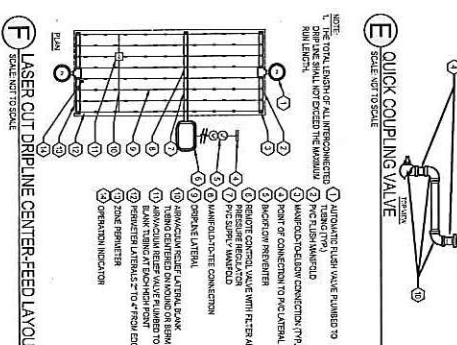


H INSTALLATION DIAGRAMS
SCALE NOT TO SCALE

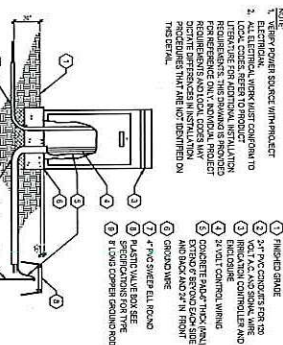


D ON GRADE TREE BUBBLER
SCALE NOT TO SCALE

- NOTES
1. BUBBLER RESISTANCE TO ROOT BALL
 2. PRESSURE
 3. POTTING BUBBLER OVER ROOT BALL
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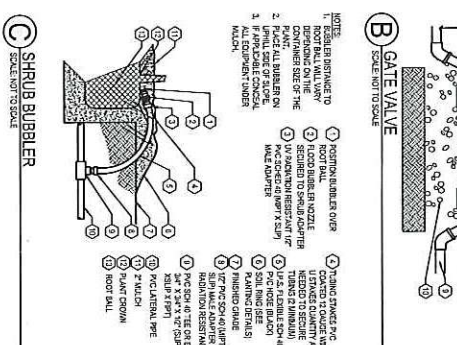


E QUICK COUPLING VALVE
SCALE NOT TO SCALE



A PEDESTAL MOUNT CONTROLLER
SCALE NOT TO SCALE

- NOTES
1. VALVE END WITH LID
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C SHRUB BUBBLER
SCALE NOT TO SCALE

NELSON ARCHITECT OF CALIFORNIA, LTD.
4401 S. Canal Ave., Redwood Park E. 60434
San Jose, CA 95128

ALPHA CONSTRUCTION

HPH
1570 CALLE DEL REAL #1001 95128
San Jose, CA 95128

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

AGADIA
CONSTRUCTION

COMP ID# 1034042
REVIEWED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA CONSTRUCTION

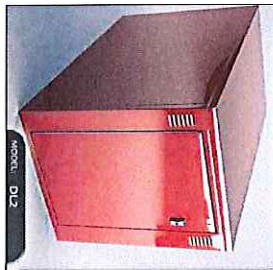
DATE
OFFICE OF STAFFWORK HEALTH PLANNING AND DEVELOPMENT FACILITIES DEVELOPMENT DIVISION

IRRIGATION DETAILS

L10.6



C CHAIN LINK FENCE ON 6' BLOCK WALL



D BIKE LOCKER FOR TWO BIKES



E BIKE RACK



A SAWCUT CONCRETE WITH LIGHT SANDBLAST



B MOUNTED TABLE WITH SEATING



NELSON ARCHITECT OF CALIFORNIA, LTD
4401 S. Central Ave., Redwood Park, IL 60463

1570 Oakridge Blvd
San Jose, CA 95131
1409 483-2200
1409 483-2200
1409 483-2200

MALPA
CONSTRUCTION

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

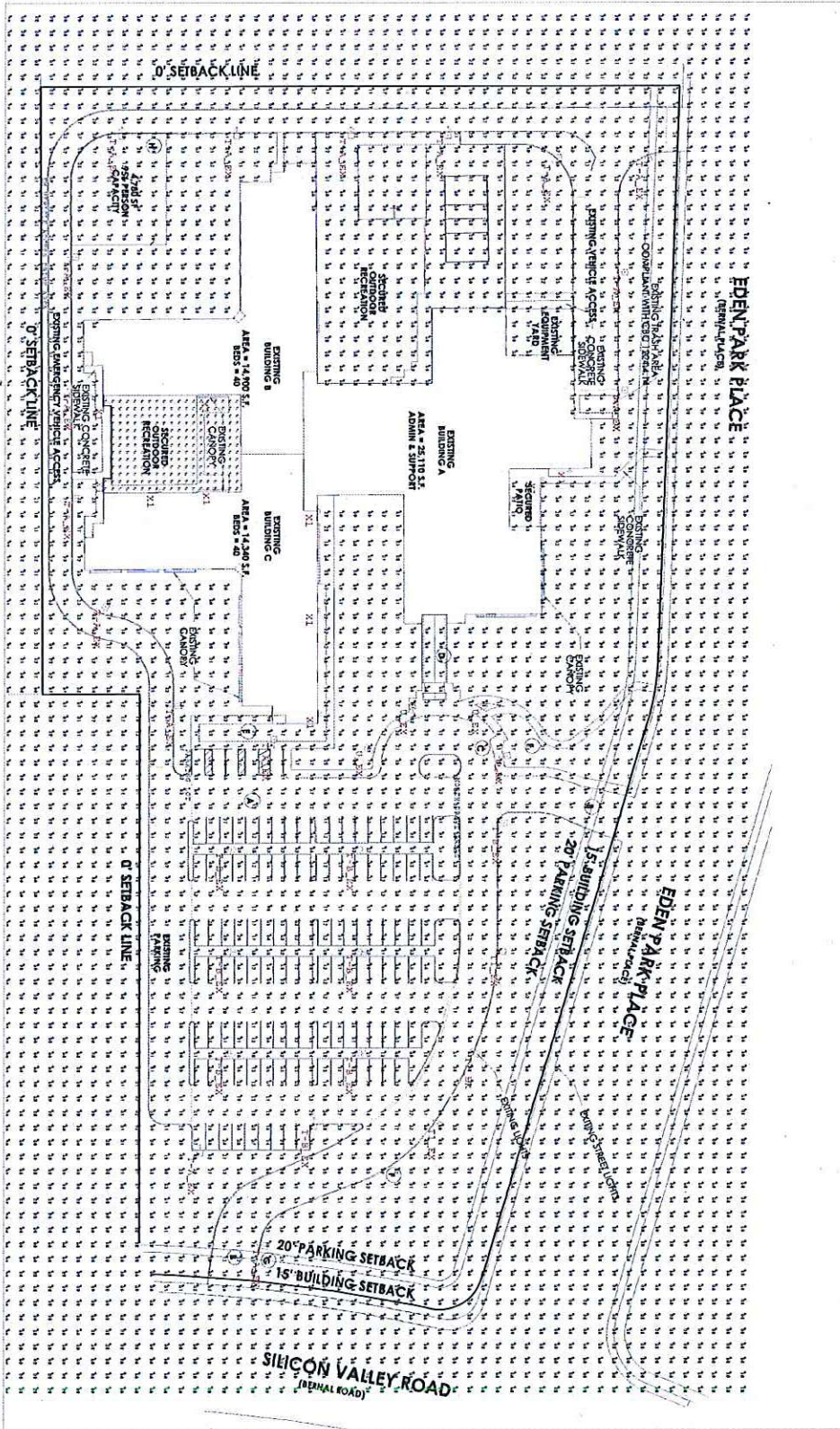
02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

AGADIA
ARCHITECTS

OSHPD ID# 103454032
REVIEWED IN ACCORDANCE WITH
THE REQUIREMENTS OF TITLE 24,
CS 170420.010

DATE	17-418
OFFICE OF PLANNING, DESIGN AND ENVIRONMENT FACILITIES DEVELOPMENT DIVISION	
REVISION	
DATE	

CONCEPTUAL IMAGES



Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	Luminaire Watt	Ac. Lum. Luminaire	LF
18	1	T4 EX	SINGLE	RFS-F1-32AS	11011	0.00	
8	1	T8 EX	SINGLE	RFS-610V-32AS	11391	0.00	
3	1	T1 EX	SINGLE	RFS-F1-12BPS	11011	0.00	
4	1	U EX	SINGLE	RFS-F1-30AS	6297	0.00	
10	1	X1	SINGLE	RFS-F1-30AS (700MHV (700MHV))	474	0.00	

Condition Summary

Label	Qty	Category	Units	Avg	Max	Min	Application	Location
SECURED OUTDOOR RECEPTION	1	luminaire	154	4.4	0.0	N/A	N/A	N/A
BAIWAY ACCESS DRIVE AREA	1	luminaire	229	5.0	0.0	N/A	N/A	N/A
NORTH DRIVE ACCESS	1	luminaire	156	8.3	0.0	N/A	N/A	N/A
PARKING LOT	1	luminaire	153	6.7	0.1	15.0	0.20	

Point-By-Point Illuminance Calculation
(At Grade)

SAN JOSE BEHAVIORAL HEALTH CENTER
APPROXIMATE FOR EXISTING LPS

DRAWN BY: L.C.P.
AGENCY: PG enlighten
Date: 11/10/2017
SCALE: 1" = 300'

NOTES:
See schedule for luminaire specifications.
Luminaire Symbols are not to scale.
Verify the position, mounting height,
or orientation from what is specified in this
drawing will invalidate the calculation performed.

U.S. ARCHITECTURAL & SUN VALLEY
LIGHTING
6600 AVE. CLAYMERE, CA 95131
415.233.2000

U.S. ARCHITECTURAL
SUN VALLEY
LIGHTING

ACADIA
ARCHITECTURE

OFFICE OF EXISTING PLANNING
AND DEVELOPMENT FACILITIES
DEVELOPMENT DIVISION

DATE: 11/20/18

11.0

San Jose Behavioral Health

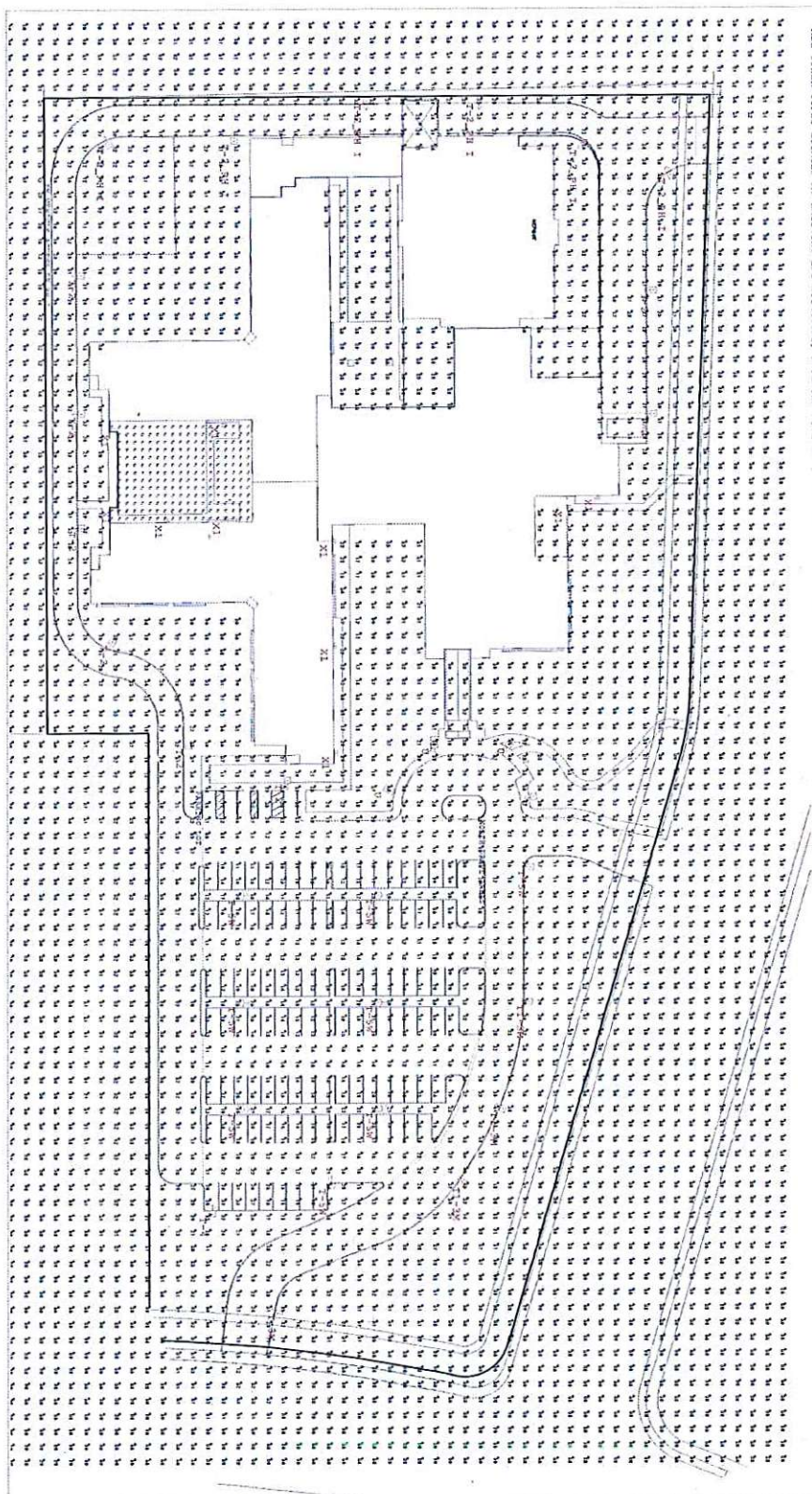
455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

ALPHA
CONSTRUCTION

NEILSON ARCHITECT OF
CALIFORNIA, LTD
4491 S. Central Ave, San Jose, CA 95128



Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	Luminaire Size	Ac. Lum. Luminaire	LIFF
8	172	12	SING E	R22-P172-ED-3-40-ED-7004-WW (27 Pole)	8'x8'	10375	0.220
1	138	13	SING E	R22-P172-ED-3-40-ED-7004-WW (27 Pole)	8'x8'	10375	0.220
1	14	14	SING E	R22-P172-ED-3-40-ED-7004-WW (27 Pole)	8'x8'	10375	0.220
3	13	11	SING E	R22-P172-ED-3-40-ED-7004-WW (27 Pole)	8'x8'	10375	0.220
4	U	U	SING E	R22-P172-ED-3-40-ED-7004-WW (27 Pole)	4'x7'	5306	0.280
6	13	11	SING E	R22-P172-ED-3-40-ED-7004-WW (27 Pole)	8'x8'	10375	0.220
10	XI	XI	SING E	R22-MH-A-F17-09-ED-7004-WW (27 Pole)	4'x4'	418	0.230

TYPES "8", "3", "4" & "10" POLE LOCATIONS MODIFIED FROM EXISTING LOCATIONS, ADJUSTED PER PAGE 2.
 ALL OTHER TYPES LOCATED AT EXISTING LPS LOCATIONS, REPLACED WITH L20.

Calculator Summary

Label	Unit	Avg	Max	Min	Angle	Headset
SCENARIO OUTDOOR RECREATION PH I	luminaire	76	164	44	0.0	N.A.
EVAPORATIVE COOLING PH I	luminaire	76	227	4.0	0.5	4.74
NORTH DRIVE AVENUE	luminaire	76	2.10	4.5	0.3	7.00
PARKING LOT	luminaire	76	1.45	3.3	0.7	2.07

San Jose Behavioral Health Exterior Lighting Title 24 Compliance

This exterior lighting fixture (San Jose Behavioral Health fixture) is 12' and 20' tall poles in the parking lot, main entrance, and driveway leading up to the building. It also has wall-mounted exterior fixtures along the perimeter of the building.

The site lighting is exempt from the Title 24 requirements below:

Section 150210(a) - All new exterior light fixtures are LED type. Therefore, this section does not apply to this project.

Section 150210(a)(2) - All new exterior light fixtures are 100% efficient. Therefore, this section does not apply to this project.

The following table provides the proposed fixture arrangement for lighting of outdoor areas.

Point-By-Point Luminance Calculation
 (At Grade)

SAN JOSE BEHAVIORAL HEALTH CENTER
 PHASE I

DRAWN BY: L.C.P.
 AGENCY: PG enlighten
 Date: 11/10/2017

SCALE: 1" = 300'

NOTE:
 See schedule for luminaire specifications.
 Luminaire Symbols are not to scale.
 Varying the position, mounting height,
 or orientation from what is specified in this
 drawing will invalidate the calculation performed.

U.S. ARCHITECTURAL & SUN VALLEY LIGHTING

600 W AVE G, FLEMINGDALE, CA 95151
 925.233.2200

SUN VALLEY LIGHTING

AGACEDIA CONSULTANTS

OSHPD PER: 1066002

APPROVED BY ACCREDITATION WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 150200

DATE: 11/15/2017

OFFICE OF PLANNING & REGULATORY AFFAIRS
 DEVELOPMENT DIVISION

PHASE I - PHOTOMETRICS

San Jose Behavioral Health

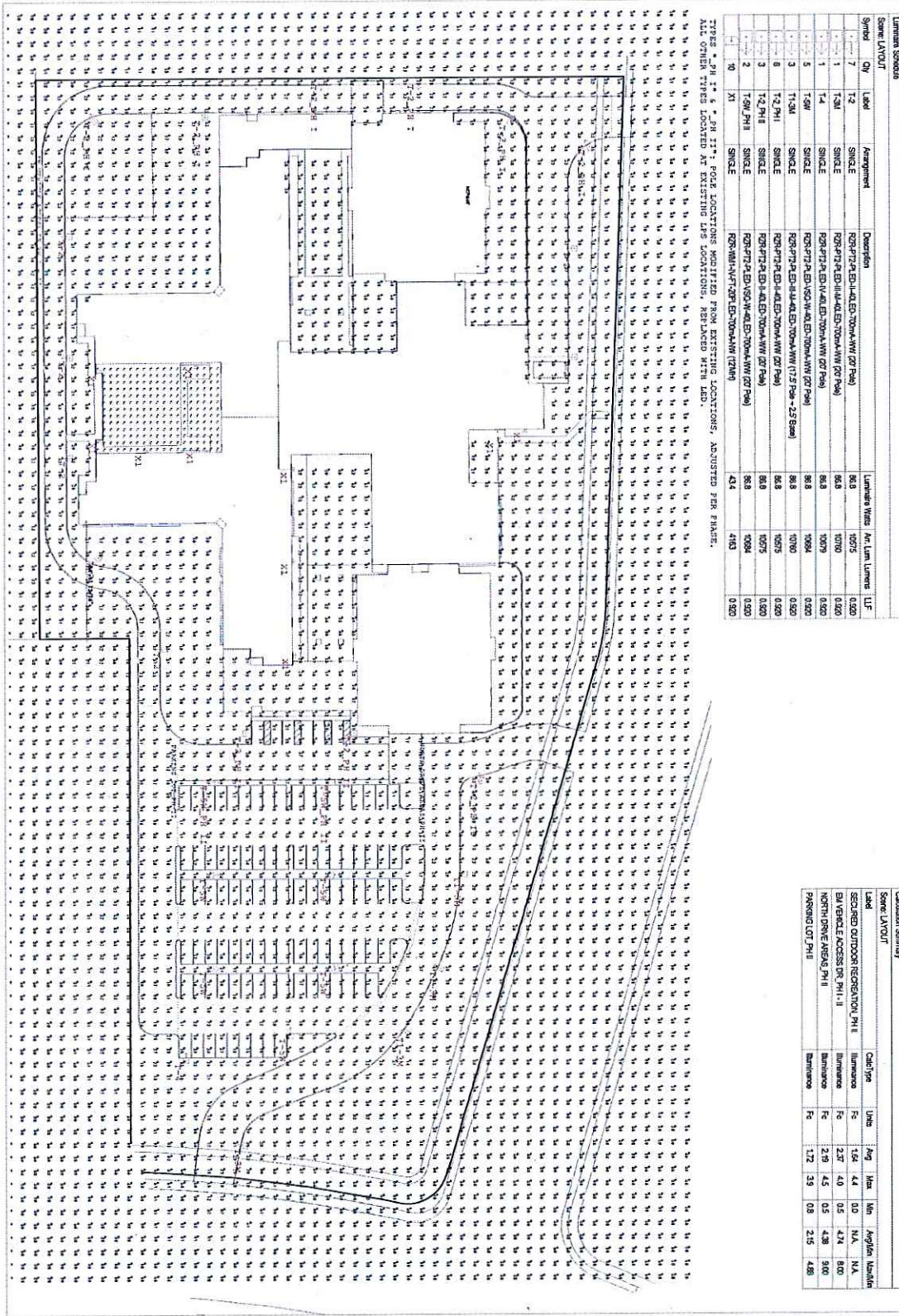
455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019 ISSUED FOR CONDITIONAL USE PERMIT

ALPHA CONSTRUCTION

NEISON ARCHITECT OF CALIFORNIA, LTD
 4811 S. Central Ave. Burbank, CA 91504



San Jose Behavioral Health Exterior Lighting Title 24 Compliance

The exterior lighting for San Jose Behavioral Health includes 17,000 sq ft of light fixture area for the project and 17,000 sq ft of light fixture area for the proposed Phase II addition. The lighting for the project and the proposed Phase II addition will be provided by LED luminaires. The lighting for the proposed Phase II addition is shown in red in the drawing. The lighting for the project is shown in blue in the drawing. The lighting for the proposed Phase II addition is shown in yellow in the drawing.

The lighting is exempt from the Title 24 requirements below:

- Section 100.2(9) - All the proposed light fixtures are LED. Therefore, this section does not apply to this project.
- Section 100.2(8) - All the proposed light fixtures will have a minimum 100% "throwback", therefore, the BLCI shall be 0.0.
- The lighting shall be provided to the exterior lighting.
- Section 100.2(6) - Each light fixture and wall fixture shall have a photocell for turning on and off the light fixture from dusk to dawn. The photocell and wall distance shall not cause more than a motion sensor. The light fixture shall be 8 ft. high when the sun is visible.

Symbol	Qty	Description	Luminaire Watts	Air Lum. Lumens	LF
7	134	RGR-P724-ED-I-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
1	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
2	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
3	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
4	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
5	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
6	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
7	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
8	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
9	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
10	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
11	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
12	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
13	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
14	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
15	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
16	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
17	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
18	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
19	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
20	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220

Symbol	Qty	Description	Luminaire Watts	Air Lum. Lumens	LF
1	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
2	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
3	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
4	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
5	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
6	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
7	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
8	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
9	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
10	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
11	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
12	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
13	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
14	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
15	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
16	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
17	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
18	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
19	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220
20	134	RGR-P724-ED-I-4-LED-T20xWx4W (27 Pw)	66.8	6075	0.220

NOTES
See schedule for luminaire specifications.
Luminaire Symbols are not to scale.
Verify the position, mounting height,
or orientation for what is specified in this
drawing will invalidate the calculation performed.

U.S. ARCHITECTURAL & SUN VALLEY
LIGHTING
660 W. ALICE CLIFTON BLVD., SUITE 101
SAN JOSE, CA 95128

U.S. ARCHITECTURAL
LIGHTING
SUN VALLEY
LIGHTING

Point-By-Point Illuminance Calculation
(At Grade)
SAN JOSE BEHAVIORAL HEALTH CENTER
PHASE II
DRAWN BY: L.C.P.
AGENCY: PG enlighten
Date: 11/10/2017
SCALE: 1" = 300"

AGENDA
NATIONAL BOARD OF ARCHITECTS
OFFICE OF RATING HEALTH PLANNING
REQUIRE IN ACCORDANCE WITH
THE REQUIREMENTS OF TITLE 24,
CHAPTER 4.3
CCL 18464022
DATE
12/8/17
PHASE II -
PHOTOMETRICS

San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT

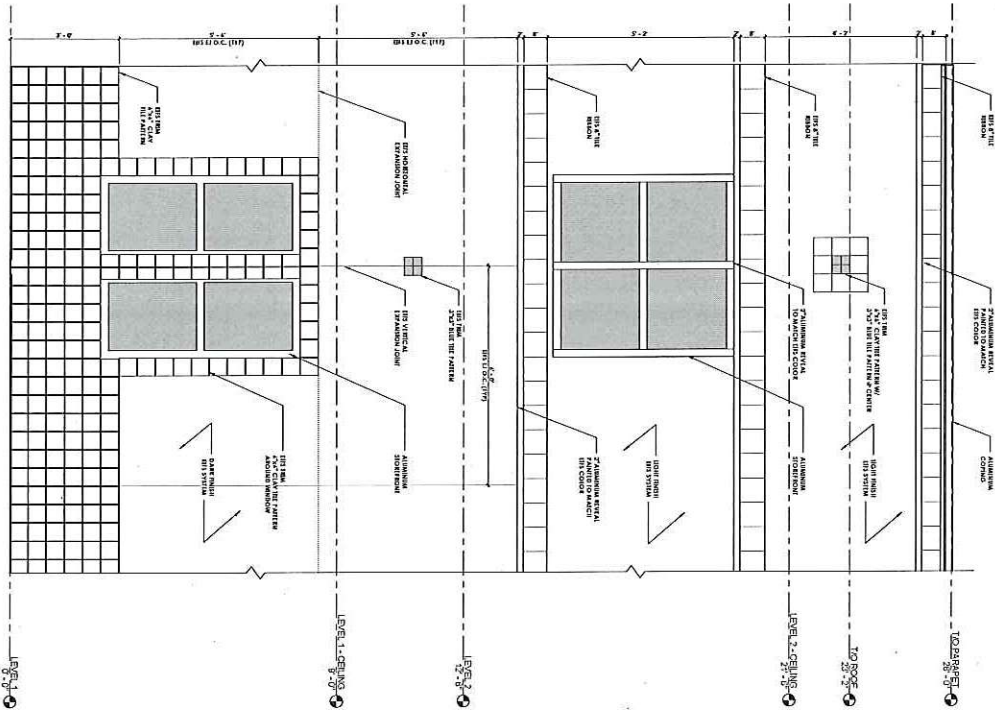
ALPHA
CONSTRUCTION

NELSON ARCHITECT OF
CALIFORNIA, LTD.
4401 S. Central Ave, Suite 401, 4434



2

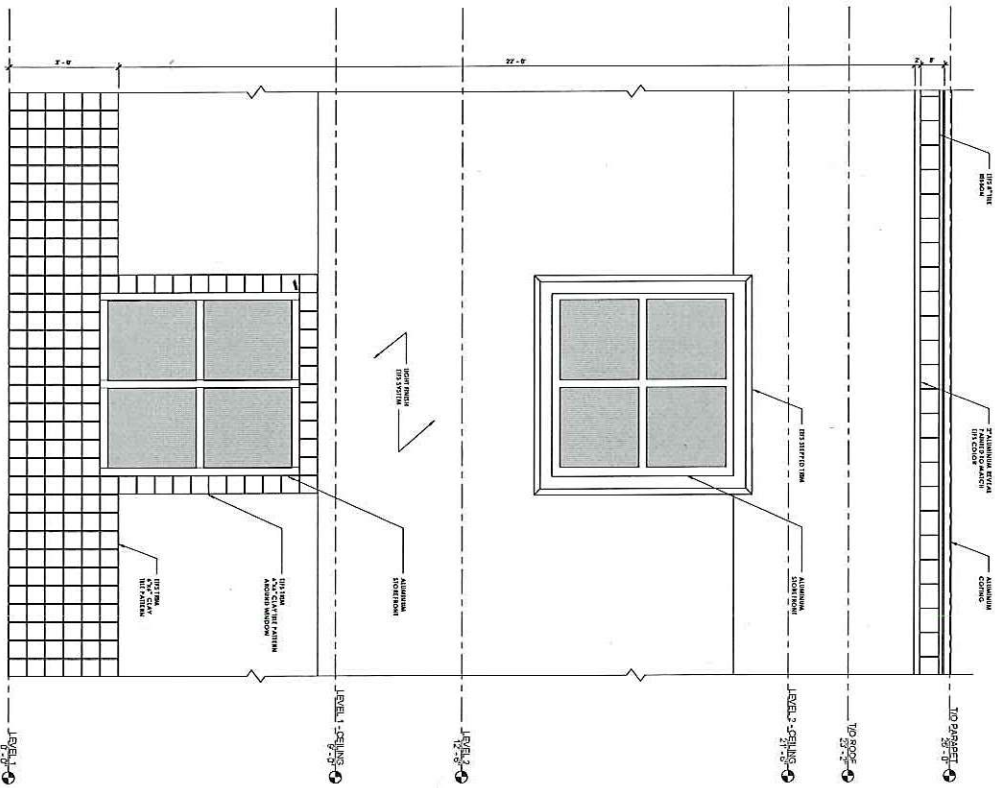
ELEVATION - SECTION OF TYPICAL TWO STORY ELEVATION
3/4" = 1'-0"



NOTE
SEE COLOR ELEVATIONS FOR MATERIAL
MANUFACTURER AND COLOR

1

ELEVATION - SECTION OF ATYPICAL TWO STORY ELEVATION AT BUMPOUTS
3/4" = 1'-0"



NOTE
SEE COLOR ELEVATIONS FOR MATERIAL
MANUFACTURER AND COLOR



NELSON ARCHITECT OF
CALIFORNIA, LTD
4401 S. Central Ave, Bedford Park, IL 60438



San Jose Behavioral Health

455 Silicon Valley Blvd, San Jose, CA 95138

Phase I & Phase II - Building Addition

02-15-2019_ISSUED FOR CONDITIONAL USE PERMIT



CONTRACT NO. 17-031-000002
REVIEWED IN ACCORDANCE WITH
THE REQUIREMENTS OF TITLE 24,
SECTION 170805.05

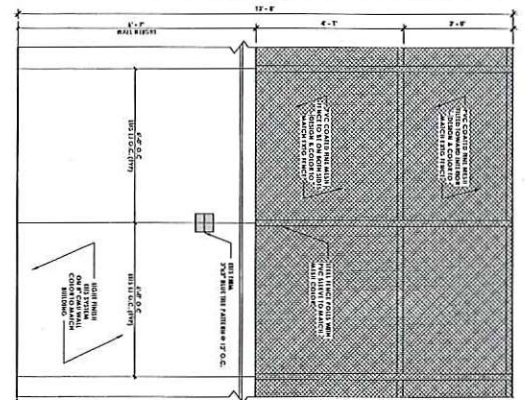
DATE

OFFICE OF STAFFING, HEALTH SERVICES
AND DEVELOPMENT FACILITIES
DEVELOPMENT DIVISION

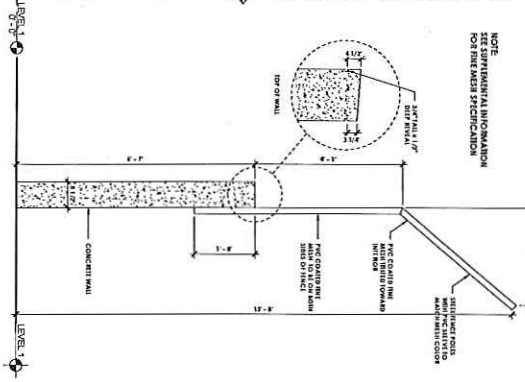
NO.	BY	DATE
1	Issued	02/15/19
2	Check	

DETAILS - ENLARGED
EXTERIOR WALLS

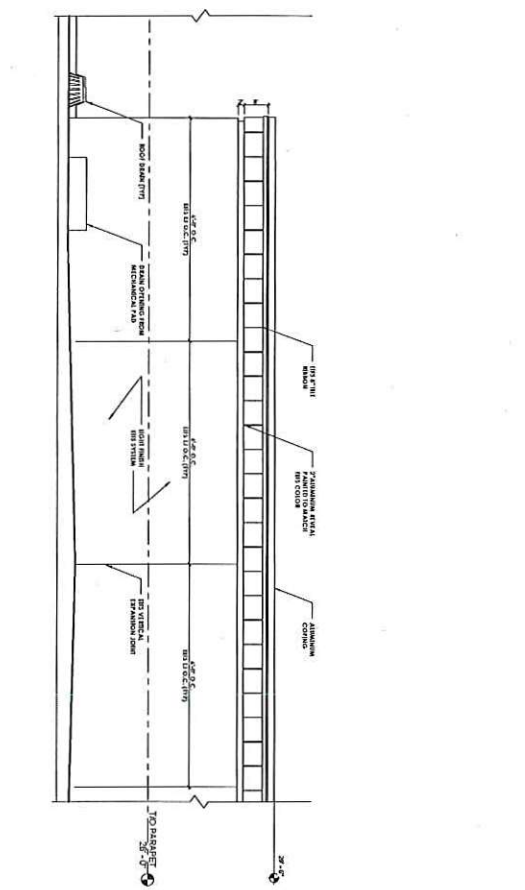
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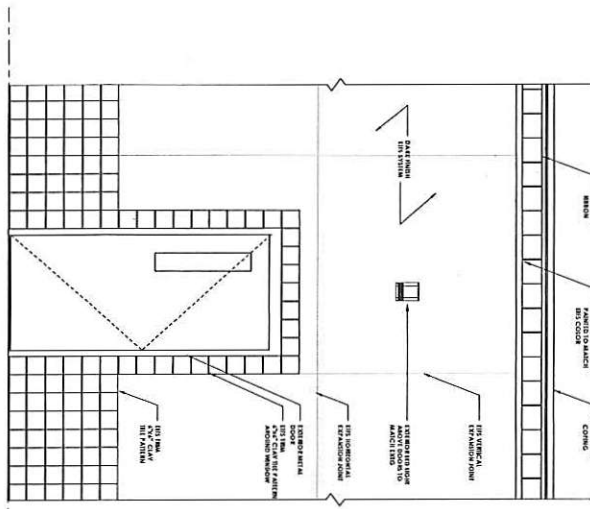
3 ELEVATION - ENCLOSURE FENCE WALL
3/4" = 1'-0"



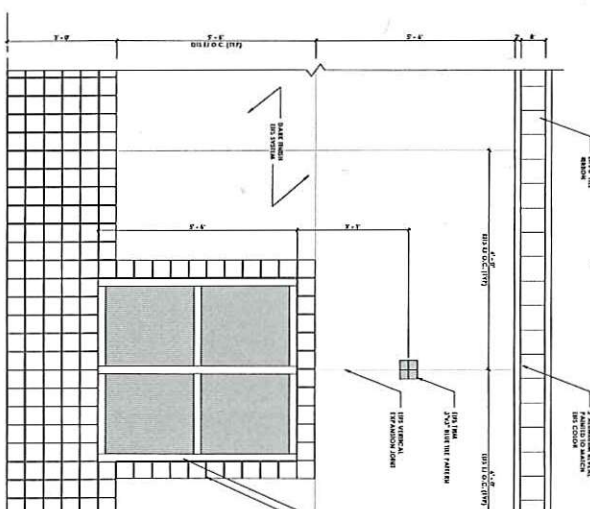
4 SECTION - ENCLOSURE FENCE WALL
3/4" = 1'-0"



2 ELEVATION - TYPICAL ROOF MECHANICAL UNITS ENCLOSURE WALL
3/4" = 1'-0"



3 ELEVATION - SECTION OF TYPICAL SINGLE STORY ELEVATION @ DOOR
3/4" = 1'-0"



1 ELEVATION - SECTION OF TYPICAL SINGLE STORY ELEVATION @ WINDOW
3/4" = 1'-0"



NELSON ARCHITECT OF CALIFORNIA, LTD
4401 S. Central Expressway, Redwood City, CA 94063



San Jose Behavioral Health
455 Silicon Valley Blvd, San Jose, CA 95138
Phase I & Phase II - Building Addition

02-15-2019 ISSUED FOR CONDITIONAL USE PERMIT



OFFICE OF SATELITE HEALTH PLANNING AND DEVELOPMENT FACILITIES EXPANSION DIVISION

DATE: _____
TYPED: _____
DRAWN: _____
12.1

DETAILS - ENLARGED EXTERIOR WALLS & SCREEN WALLS



**Civil
Engineering
Associates**

2055 Gateway Place
Suite 550
San Jose, CA 95110
Tel: (408) 453-1066
Fax: (408) 453-1060

**WINCHESTER RANCH – WEEKLY PLANNING MEETING AGENDA
FEBRUARY 28, 2019**

1. Discussion of status of Site Plan and proposed resubmittal / submittal process:
 - a. Resubmit PD Zoning Package
 - i. Work done to date – meetings with community and other departments
 - ii. Final clarification on City comments
 - iii. Attempt to address any EIR feedback
 - b. PD Permit and Tentative Map submittal proposed in May of 2019 (within 60 days of mobile home park closure notice)
 - c. DRC – Historic Landmark meeting – feedback/guidance
 - i. Any additional required meetings
 - d. 2 Required Community Meetings
 - i. EIR Scoping Meeting
 - ii. 1 additional – timing?
2. Clarification of Planning Comments:
 - a. Review Building Height Limit adjacent to residential district – any flexibility?
 - i. See exhibit provided based on City comments
 - b. Confirm required visualization number and location – Image says “5” but over 10 arrows are shown.
 - i. Can these be submitted with the PD Permit package – will involve more detailed architecture?
 - c. Discuss parking and 20% reduction due to project being within Urban Village.
 - i. Code requires 3 TDM measures to be provided for 20% or less – discuss possible options.
 - d. Discuss Conceptual Landscape Plans
 - i. Confirm Conceptual Lighting Plan not required for PD Zoning but can be provided for PD Permit submittal
3. Discussion of existing cul-de-sacs and potential alternatives – basic background – details to be discussed at subsequent meeting with Public Works and Parks